



# PUBLIC NOTICE DETAILS

## PLANNING APPLICATION DETAILS

<b>Application Number:</b>	DA 2026/23
<b>Application Type:</b>	Discretionary Development Application
<b>Property Location:</b>	1 Cramps Bay Esplanade, Cramps Bay
<b>Proposal:</b>	Dwelling
<b>Advertising Commencement Date:</b>	20 April 2026
<b>Representation Period Closing Date:</b>	05 May 2026
<b>Responsible Officer:</b>	Louisa Brown, Senior Planning Officer

The relevant documents may be viewed at Council's website [www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au) or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing [development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au). Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030  
Email: [development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au)

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.



PROPOSED DWELLING  
1 CRAMPS BAY ESPLANADE,  
CRAMPS BAY, 7030.



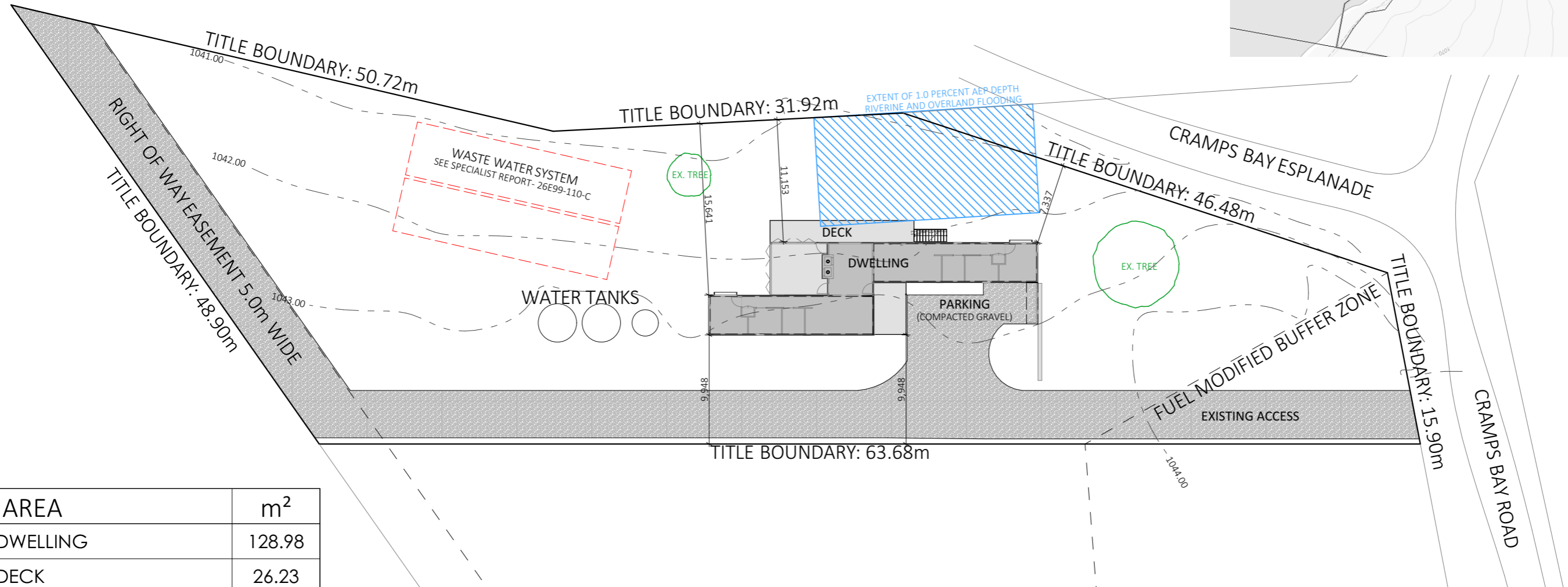
**DRAWINGS**

- A01 COVER PAGE
- A02 SITE PLAN
- A03 FLOOR PLAN
- A04 EXTERNAL SERVICES
- A05 ELEVATIONS NTH-STH
- A06 ELEVATIONS EST-WST
- A07 PERSPECTIVES

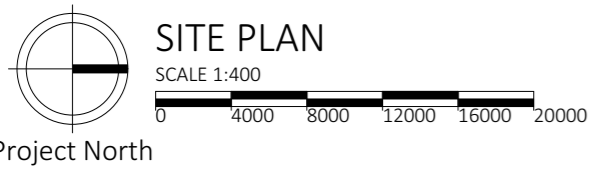
CLASSIFICATION OF BUILDING CLASS 1A	COUNCIL CENTRAL HIGHLANDS	ZONE LOW DENSITY RESIDENTIAL
AREAS (m <sup>2</sup> )	LAND TITLE REFERENCE 134169/13	ENERGY STAR RATING TBC
ALFRESCO 23.84	PROPERTY ID 1985315	CLIMATE ZONE 7
DECK 26.23	LOT SIZE (M <sup>2</sup> ) 3100	ALPINE AREA N/A
DWELLING 128.98	BAL RATING 29	CORROSION ENV' TBC
PORCH 13.96	DESIGN WIND CLASS TBC	SITE HAZARDS TBC
	SOIL CLASSIFICATION TBC	
	PLANNING OVERLAY TBC	

**ATTACHMENTS**

<p>ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au</p>	<p><b>CLIENT/S:</b> SIMCO TAS PTY LTD</p>	<p><b>DRAWING COVER PAGE</b></p>	<p>I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.</p> <p><b>SIGNATURE:</b>                      <b>DATE:</b></p> <p><b>SIGNATURE:</b>                      <b>DATE:</b></p>	<p><b>COPYRIGHT:</b> This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.</p>	<b>REV.</b>	<b>DATE</b>	<b>DESCRIPTION</b>	<b>DESIGNER</b>	M.L.	<b>JOB NUMBER</b>	CRMP01
					R1	11/03/2026	FOR REVIEW	<b>DRAWN</b>	D.M.	<b>DRAWING</b>	A01 1 of 7
					R2	17/03/2026	FOR DA	<b>CHECKED</b>	M.L.	<b>PAGE SIZE</b>	<b>A3</b>



AREA	m <sup>2</sup>
DWELLING	128.98
DECK	26.23
ALFRESCO	23.84
PORCH	13.96



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**CLIENT/S:**  
 SIMCO TAS PTY LTD

**SITE ADDRESS:**  
 1 CRAMPS BAY ESPLANADE,  
 CRAMPS BAY, 7030.

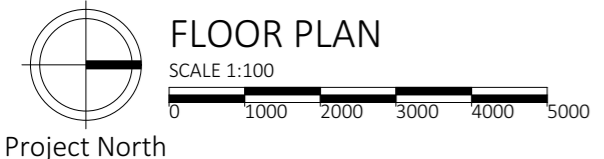
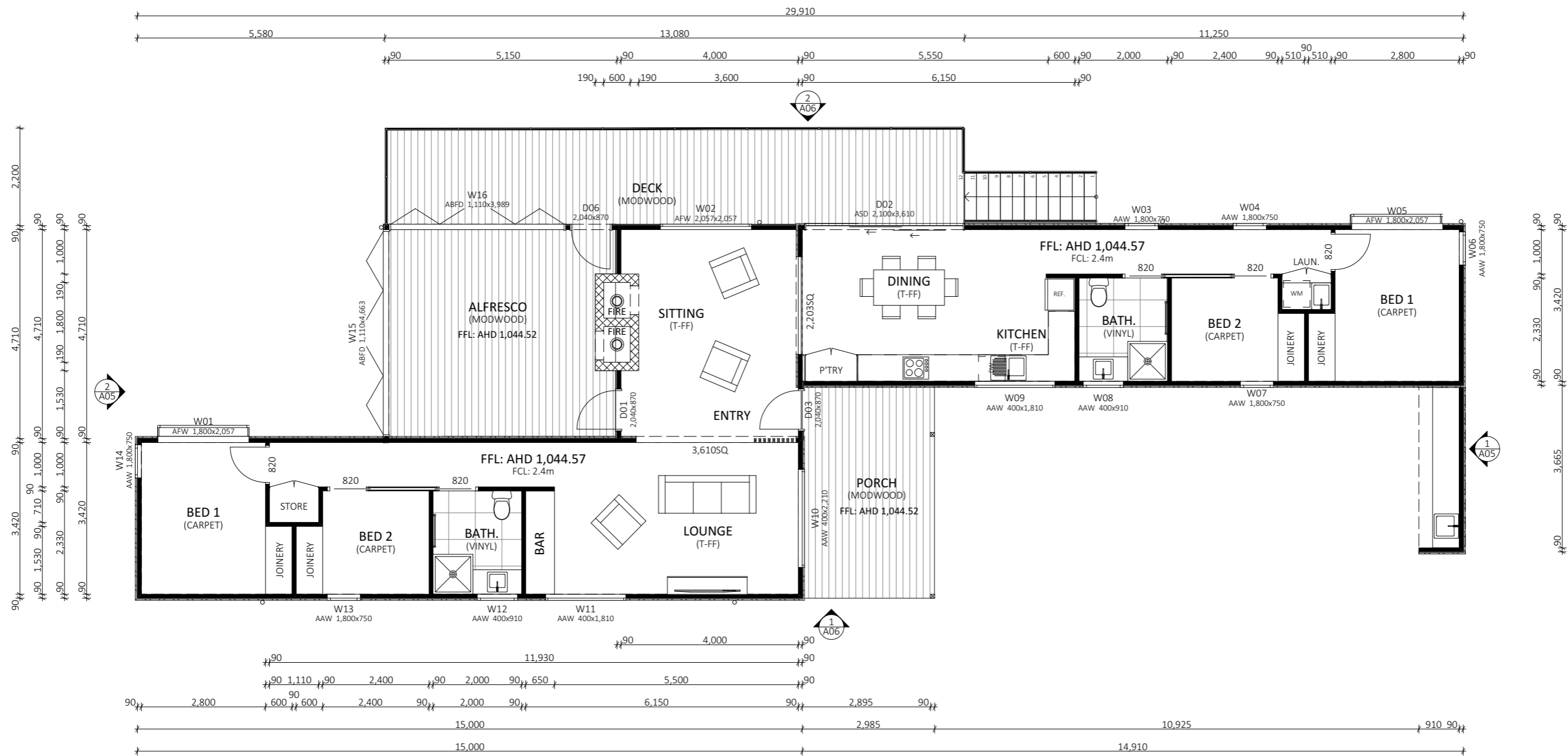
**DRAWING**  
**SITE PLAN**

I/WE APPROVE THESE DRAWING TO BE  
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	CRMP01
R1	11/03/2026	FOR REVIEW	DRAWN	D.M.	DRAWING	A02 2 of 7
R2	17/03/2026	FOR DA				
			CHECKED	M.L.	PAGE SIZE	A3



**FLOOR PLAN**

SCALE 1:100



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 CRAMPS BAY, 7030.

**DRAWING  
 FLOOR PLAN**

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R1	11/03/2026	FOR REVIEW	DRAWN	D.M.	DRAWING	A03 3 of 7
R2	17/03/2026	FOR DA				
			CHECKED	M.L.	PAGE SIZE	A3

LEGEND	
B	BASIN
Ba	BATH (POP-UP PLUG WITH REMOVABLE WASTE)
S	SINK (65Ø)
T	LAUNDRY TUB (65Ø)
SH	SHOWER
WC	WATER CLOSET
FW	FLOOR WASTE
EV	VENT (THROUGH TO ROOF)
IO	INSPECTION OPENING
ORG	O/FLOW RELIEF GULLY
RE	RODDING EYE
X	EXTERNAL TAP
P	DRAINAGE PIT (357x357x452D)
DP	DOWNPIPE (90Ø)
	WET AREAS
	STORMWATER LINE (100mm PVC)
	SEWER LINE (100mm PVC)
	AG. DRAIN

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

**SERVICES**

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:  
 A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND  
 B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND  
 C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/ NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

**1. INTERNAL PIPING**

- a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
  - i) WITHIN AN UNVENTILATED WALL SPACE
  - ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
  - iii) BETWEEN CEILING INSULATION AND A CEILING
 MUST HAVE A MINIMUM R-VALUE OF 0.2

**2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE**

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM, MUST HAVE A MINIMUM R-VALUE OF 0.45

**3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE**

- a) ALL FLOW AND RETURN PIPING
- b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM MUST HAVE A MINIMUM R-VALUE OF 0.6

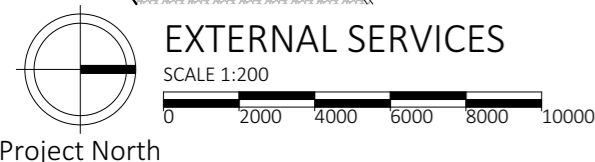
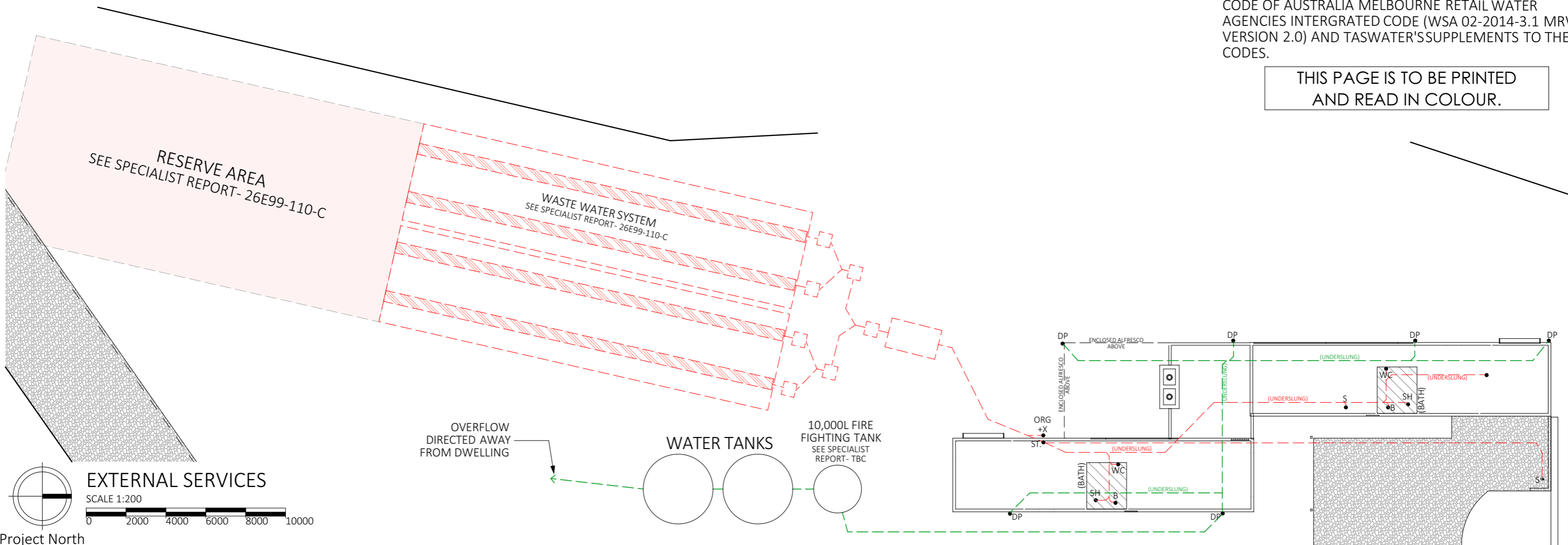
PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

**NOTES:**

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.

THIS PAGE IS TO BE PRINTED AND READ IN COLOUR.



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**CLIENT/S:**  
SIMCO TAS PTY LTD

**SITE ADDRESS:**  
1 CRAMPS BAY ESPLANADE,  
CRAMPS BAY, 7030.

**DRAWING**  
EXTERNAL  
SERVICES

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

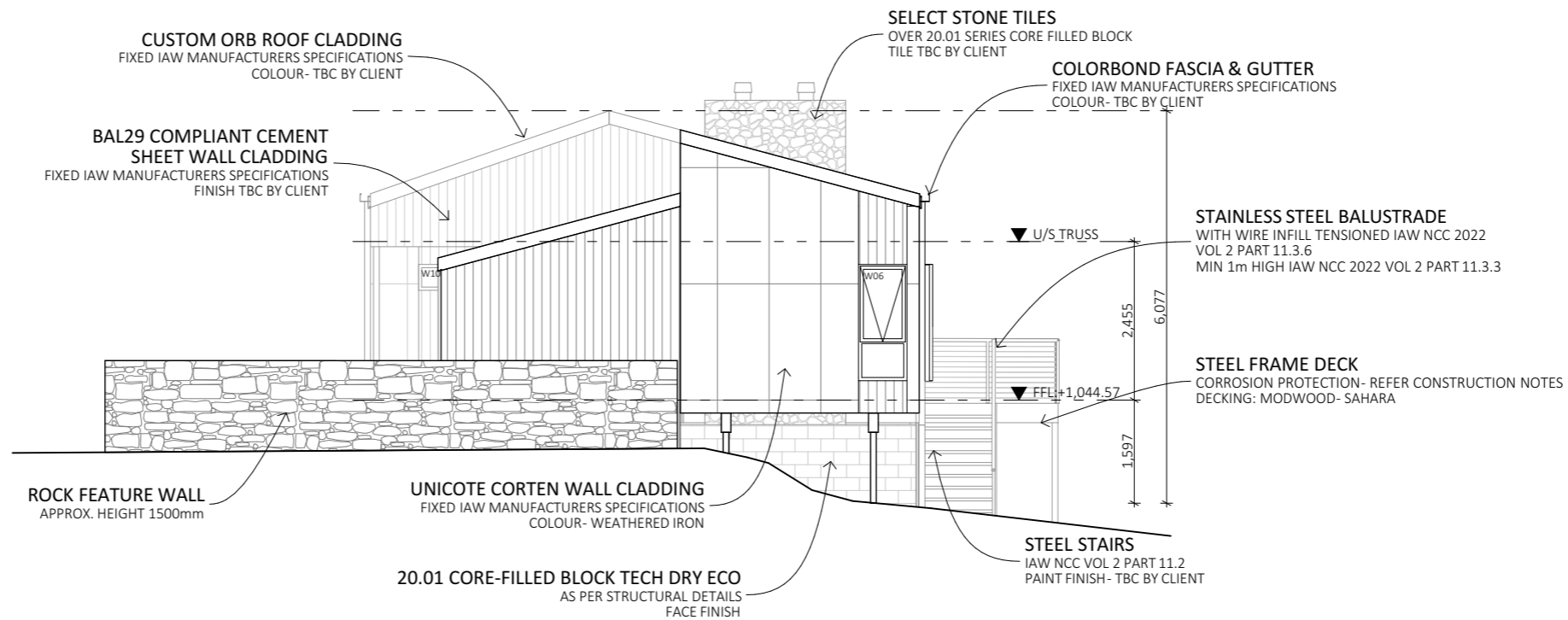
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**DATE:**  
**DATE:**

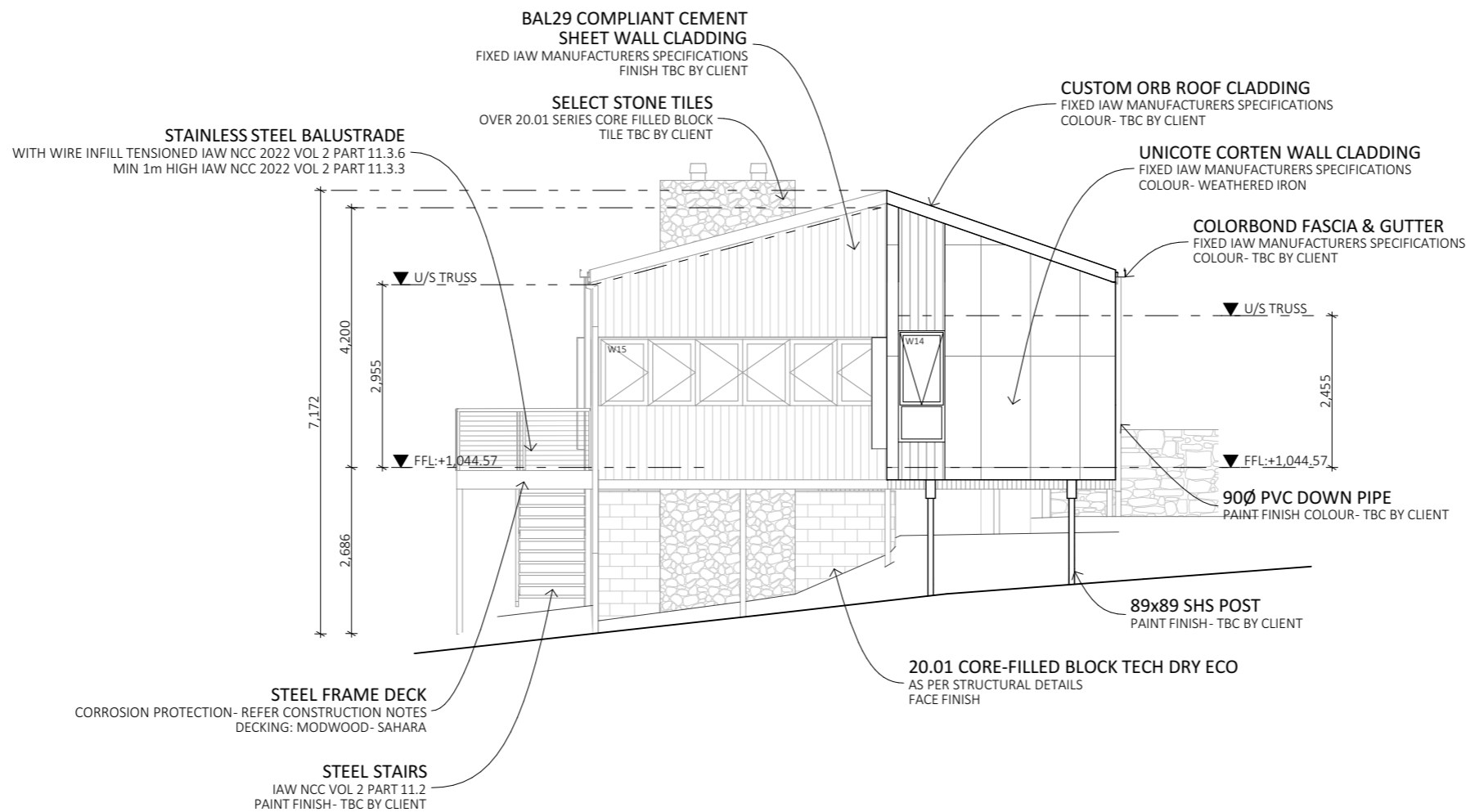
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R1	11/03/2026	FOR REVIEW				
R2	17/03/2026	FOR DA				
			<b>DRAWN</b>	D.M.	<b>DRAWING</b>	A04 4 of 7
			<b>CHECKED</b>	M.L.	<b>PAGE SIZE</b>	<b>A3</b>



1  
A03  
**NORTHERN ELEVATION**  
SCALE 1:100



2  
A03  
**SOUTHERN ELEVATION**  
SCALE 1:100



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**DRAWING ELEVATIONS**  
NTH-STH

I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.

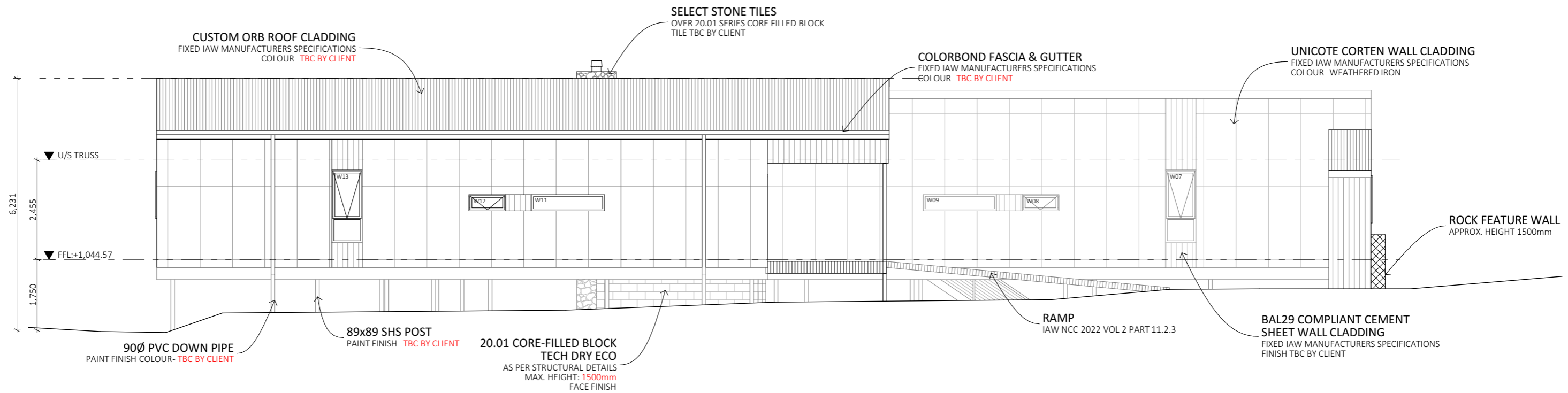
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**DATE:**  
**DATE:**

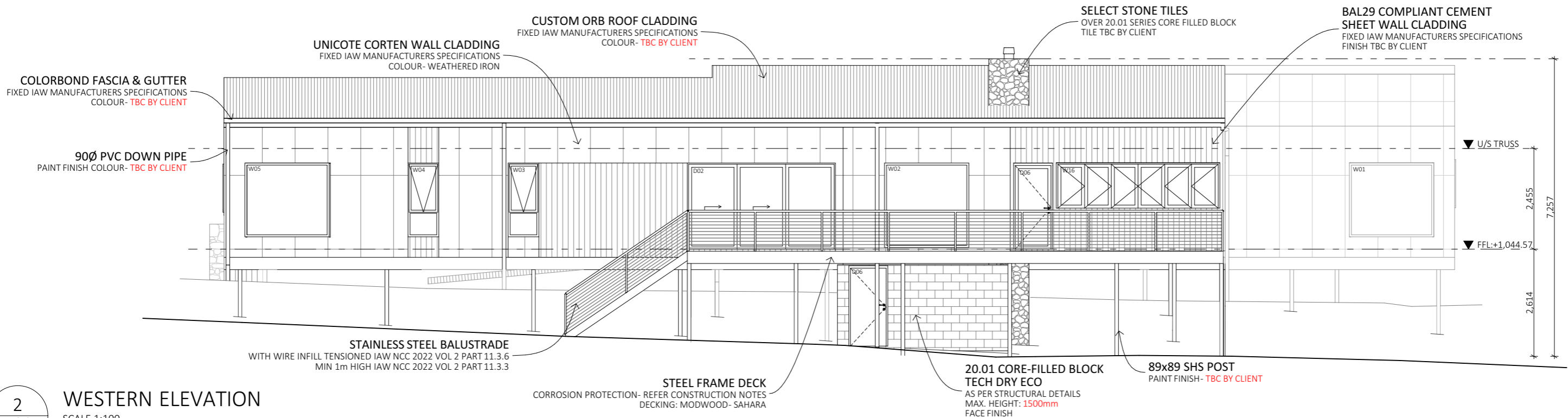
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R1	11/03/2026	FOR REVIEW	DRAWN	D.M.	DRAWING	A05 5 of 7
R2	17/03/2026	FOR DA				
			CHECKED	M.L.	PAGE SIZE	A3



**1**  
A03  
**EASTERN ELEVATION**  
SCALE 1:100  
0 1000 2000 3000 4000 5000



**2**  
A03  
**WESTERN ELEVATION**  
SCALE 1:100  
0 1000 2000 3000 4000 5000



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**DRAWING**  
**ELEVATIONS**  
EST-WST

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			<b>DRAWN</b>	D.M.	<b>DRAWING</b>	A06 6 OF 7
			<b>CHECKED</b>	M.L.	<b>PAGE SIZE</b>	<b>A3</b>



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**DRAWING  
 PERSPECTIVES**

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	CRMP01
R1	11/03/2026	FOR REVIEW	DRAWN	D.M.	DRAWING	A07 7 of 7
R2	17/03/2026	FOR DA				
			CHECKED	M.L.	PAGE SIZE	A3



**Mail:** 202 Wellington Street, South Launceston 7249

**A.B.N:** 71 615 812 747

**Phone:** 6344 7319

**Email:** info@designtolive.com.au

7 April 2026

## Planning Application Further Information

**Development:** Proposed Dwelling

**Owner:** Simco Tas PTY LTD

**Address:** 1 Cramps Bay Esplanade, Cramps Bay

**Council:** Central Highlands

**Zone:** Low Density Residential

Please find below further information for the proposed Development at the above address.

1. The application is for a proposed dwelling, as per the Application Form and drawing set.
2. Refer revised plans with flood mapped area added to the site plan. A *minute* area of the deck (approx. 2.2m<sup>2</sup>) overlaps flood prone area however this will have no significance on the dwelling as the deck is located 2.6m above the finished ground level.
- 3.

### ***C7.6.2 Clearance within a priority vegetation area***

#### ***P1.1.***

Meets performance criteria (b), clearing on native vegetation is for building and works associated with the construction of a single dwelling. Refer site photos from the land surveyor; the majority of the site area does not contain any trees that need to be cleared to facilitate the construction of the dwelling. Significant trees have been marked on the site plan as identified by the survey.

#### ***P1.2***

No additional clearing required, construction is proposed for existing cleared areas on the site.

Regards,  
Denika McDonald-Hodges  
(BEnvDes, MArch)



[www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)































SEARCH OF TORRENS TITLE

VOLUME 134169	FOLIO 13
EDITION 3	DATE OF ISSUE 20-July-2021

SEARCH DATE : 06-Mar-2026

SEARCH TIME : 01.38 pm

DESCRIPTION OF LAND

Parish of LIAMENA, Land District of WESTMORLAND  
 Lot 13 on Plan [134169](#)  
 Derivation : Part of Lot 35885 Gtd to The Hydro Electric  
 Commission, Part of Lot 35887 Gtd to The Hydro-Electric  
 Commission  
 Prior CT [129644/1](#)

SCHEDULE 1

[M903142](#) TRANSFER to SIMCO (TAS) PTY LTD Registered  
 20-July-2021 at noon

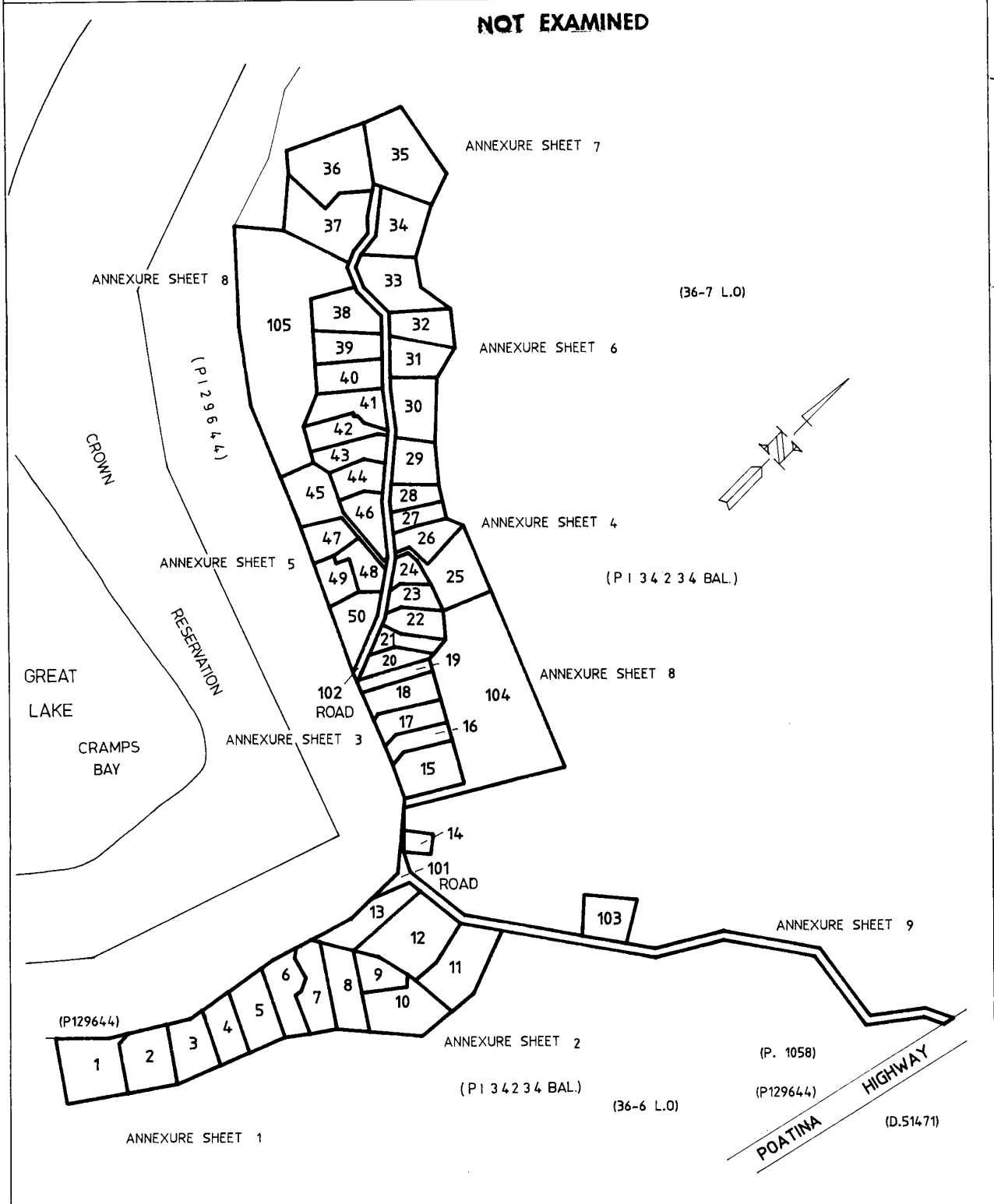
SCHEDULE 2


[C780642](#) Land is limited in depth to 15 metres, excludes  
 minerals and is subject to reservations relating to  
 drains sewers and waterways in favour of the Crown  
[C230350](#) Easements & Covenants in Order  
[C780642](#) FENCING PROVISION in Transfer  
[C567853](#) NOTICE to Record Bar to Action Section 30 Crown Lands  
 (Shack Sites) Act 1997 Registered 02-June-2004 at  
 noon

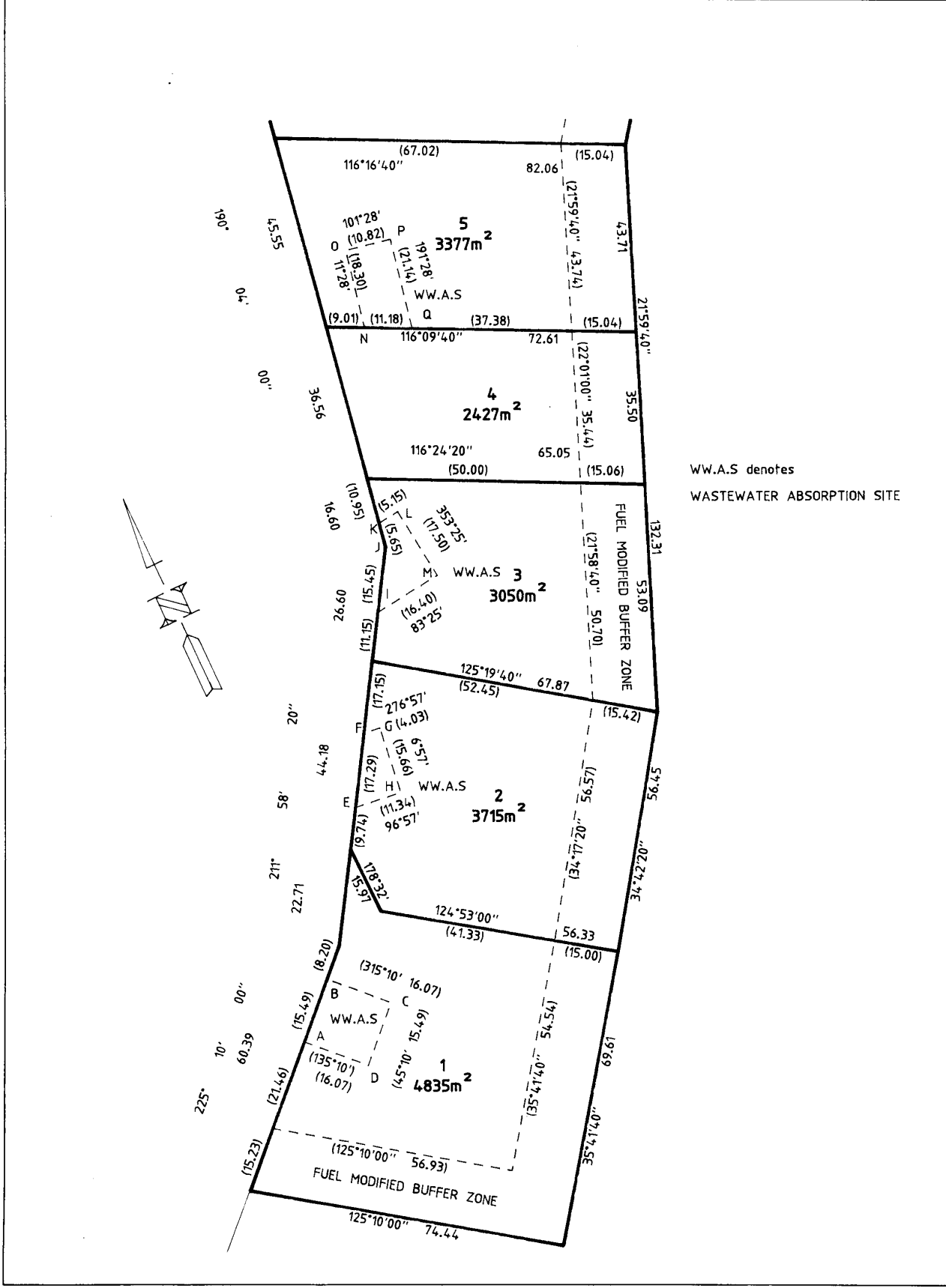
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER THE CROWN		<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR <b>A.J PHILLIPS</b></p> <p>LOCATION <b>LAND DISTRICT OF WESTMORLAND</b></p> <p><b>PARISH OF LIAMENA</b></p> <p>SCALE 1: 4000 LENGTHS IN METRES</p>	REGISTERED NUMBER
FOLIO REFERENCE C.T 129644 - 01			<b>P 134169</b>
GRANTEE Part of Lot 35885 granted to The Hydro Electric Commission., Part of Lot 35887 granted to The Hydro Electric Commission. .			APPROVED EFFECTIVE FROM <b>20 JUN 2000</b>
			<i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 105	LAST UPI No.	LAST PLAN No. (P. 129644)	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

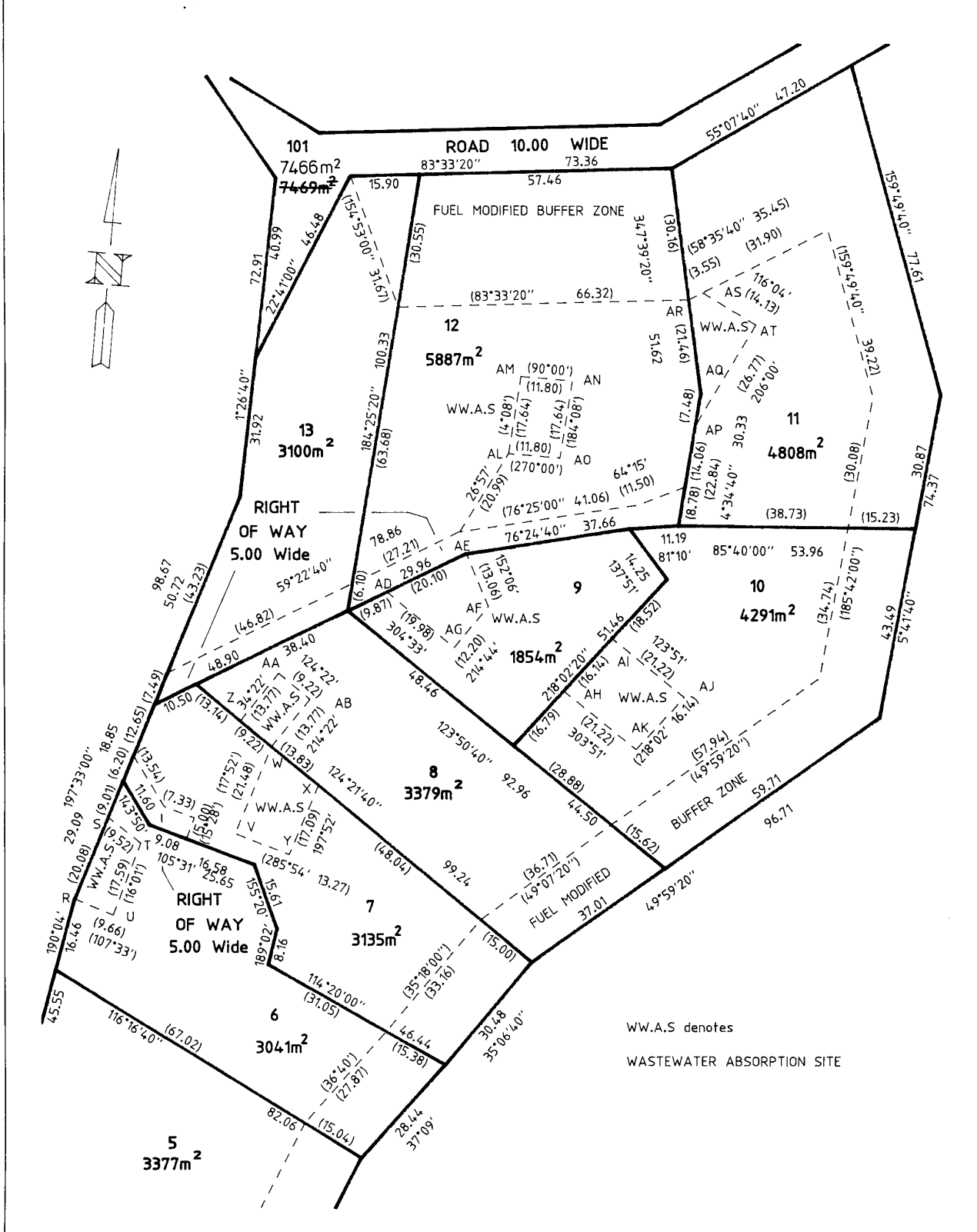


<p><del>SURVEY NOTES</del></p> <p>SHEET 2 OF <del>SHEETS</del></p> <p>LENGTHS IN METRES</p>		<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 1 OF 9 SHEETS</p> <p>SCALE 1: 800</p>	<p>Registered Number</p> <p><b>P134169</b></p>
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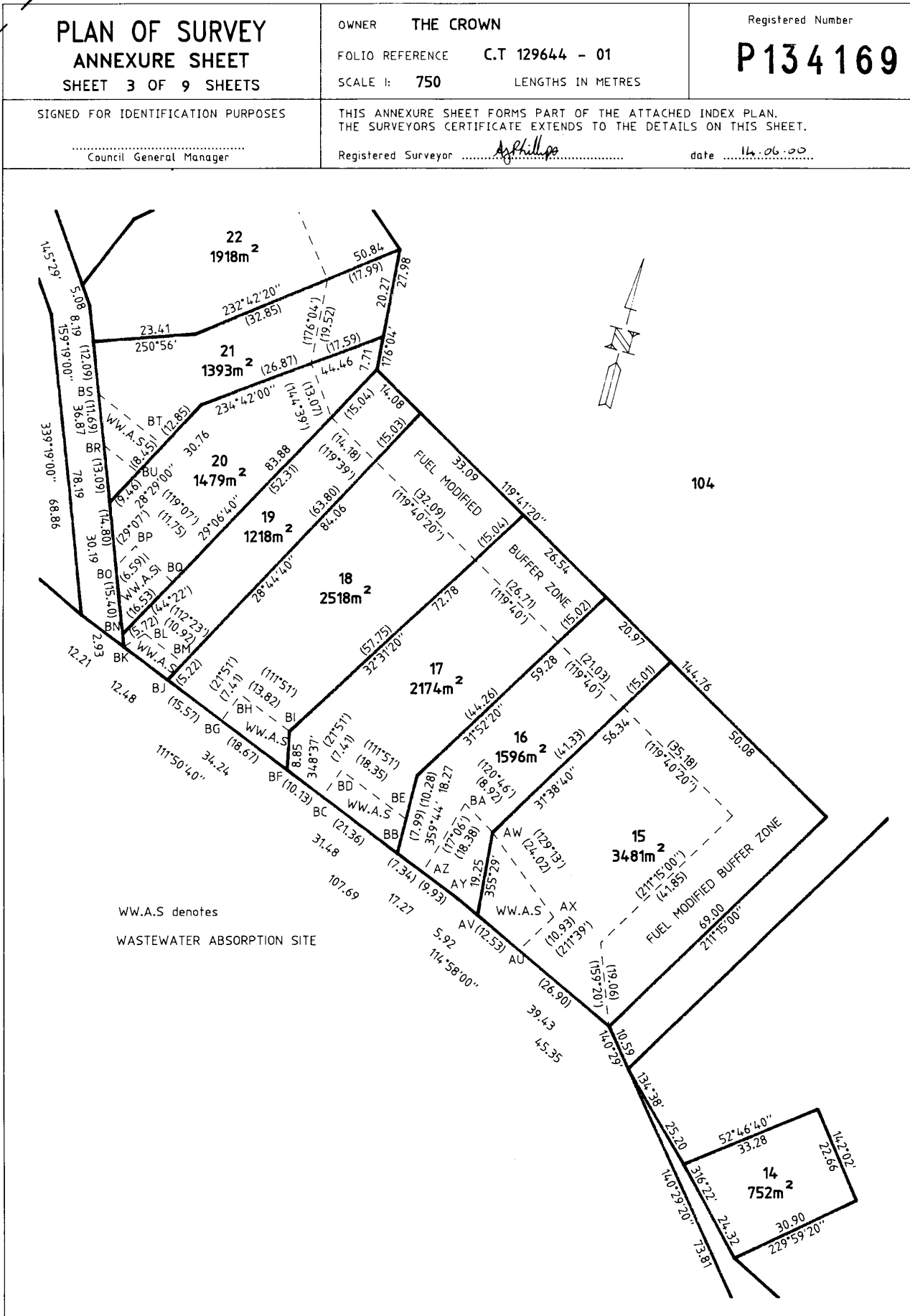
W.W.A.S denotes  
WASTEWATER ABSORPTION SITE

<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b> SHEET 2 OF 9 SHEETS</p>	<p>OWNER <b>THE CROWN</b></p>	<p>Registered Number <b>P 134 169</b></p>
	<p>FOLIO REFERENCE <b>C.T 129644 - 01</b></p> <p>SCALE 1: <b>800</b>                      LENGTHS IN METRES</p>	
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>..... Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.</p> <p>Registered Surveyor <i>A. Phillips</i>                      date <b>14.06.00</b></p>	

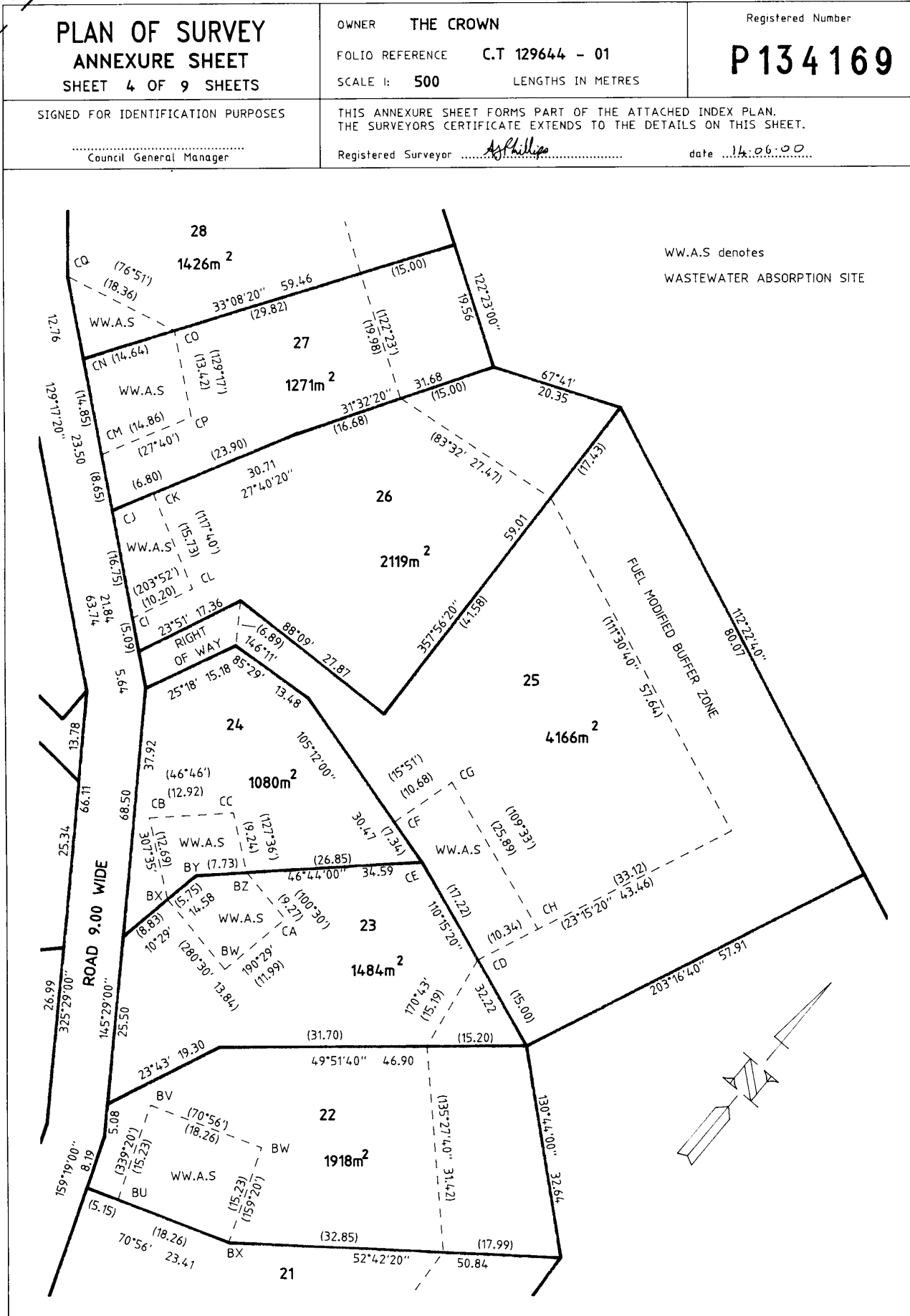


WW.A.S denotes  
WASTEWATER ABSORPTION SITE

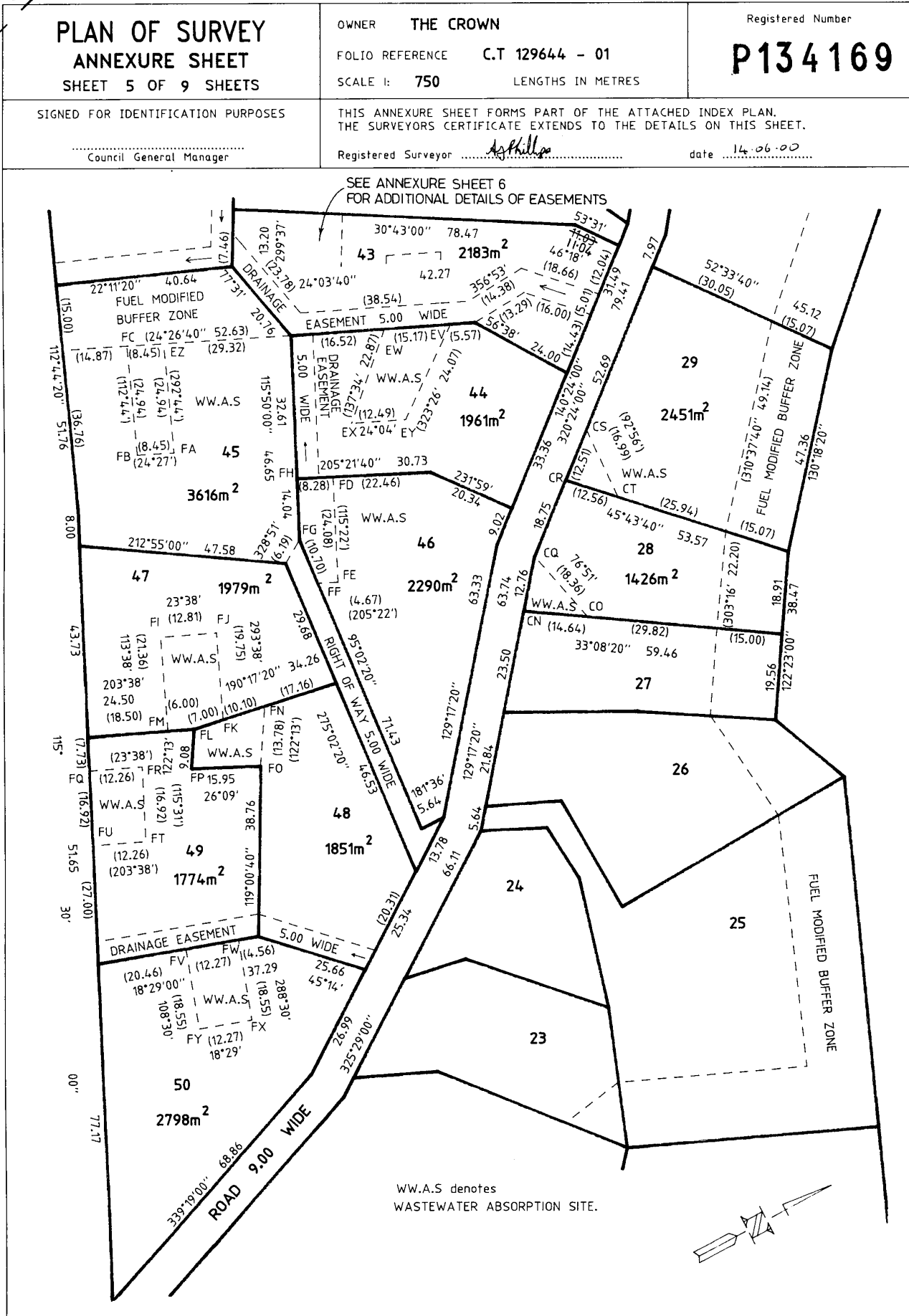
A-144



A-144



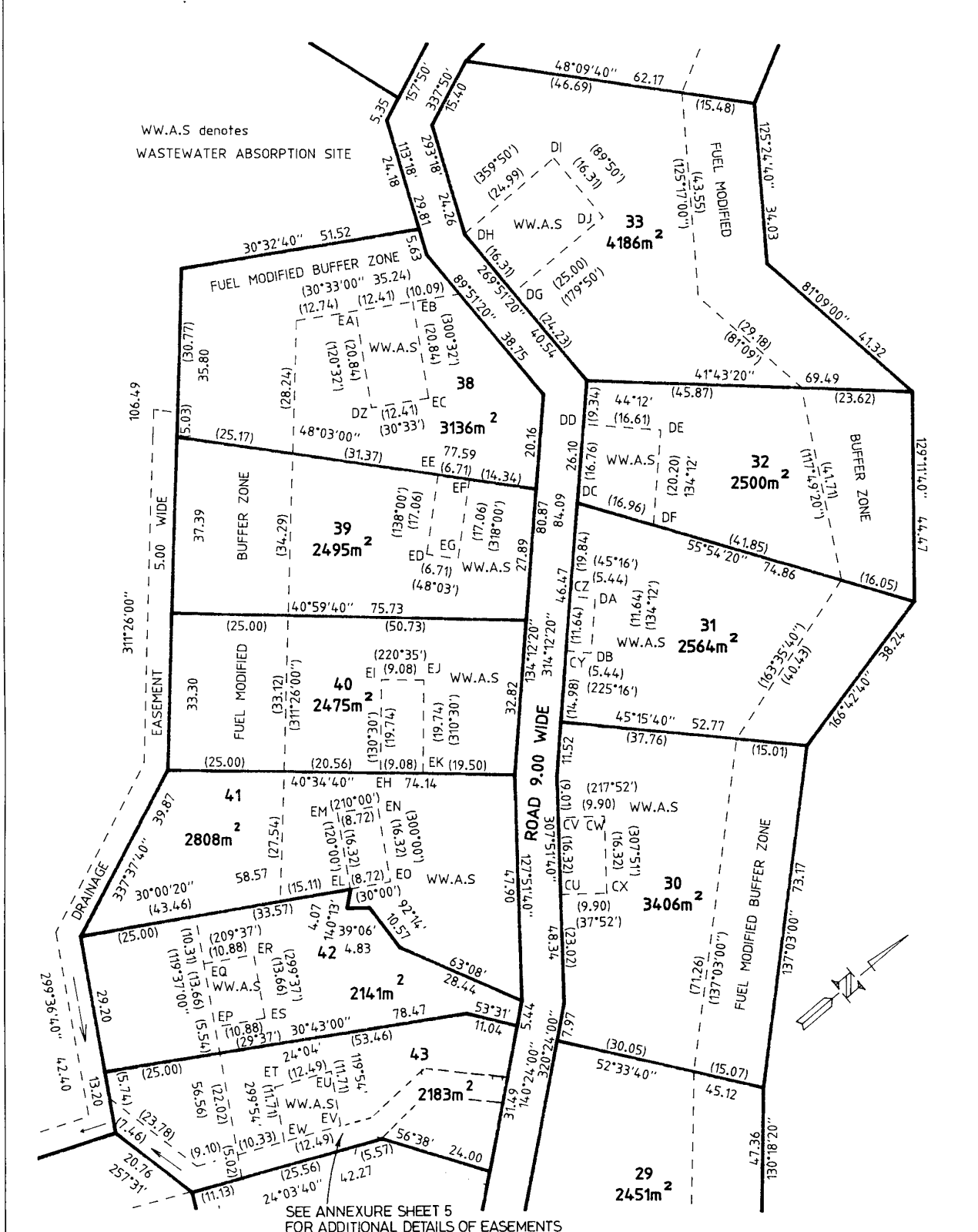
A-144



A-144

<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b> SHEET 6 OF 9 SHEETS</p>	OWNER <b>THE CROWN</b>	Registered Number
	FOLIO REFERENCE <b>C.T 129644 - 01</b>	<b>P134169</b>
	SCALE 1: <b>750</b> LENGTHS IN METRES	

SIGNED FOR IDENTIFICATION PURPOSES	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.	
..... Council General Manager	Registered Surveyor <i>Sy Phillips</i>	date <b>14.06.00</b>

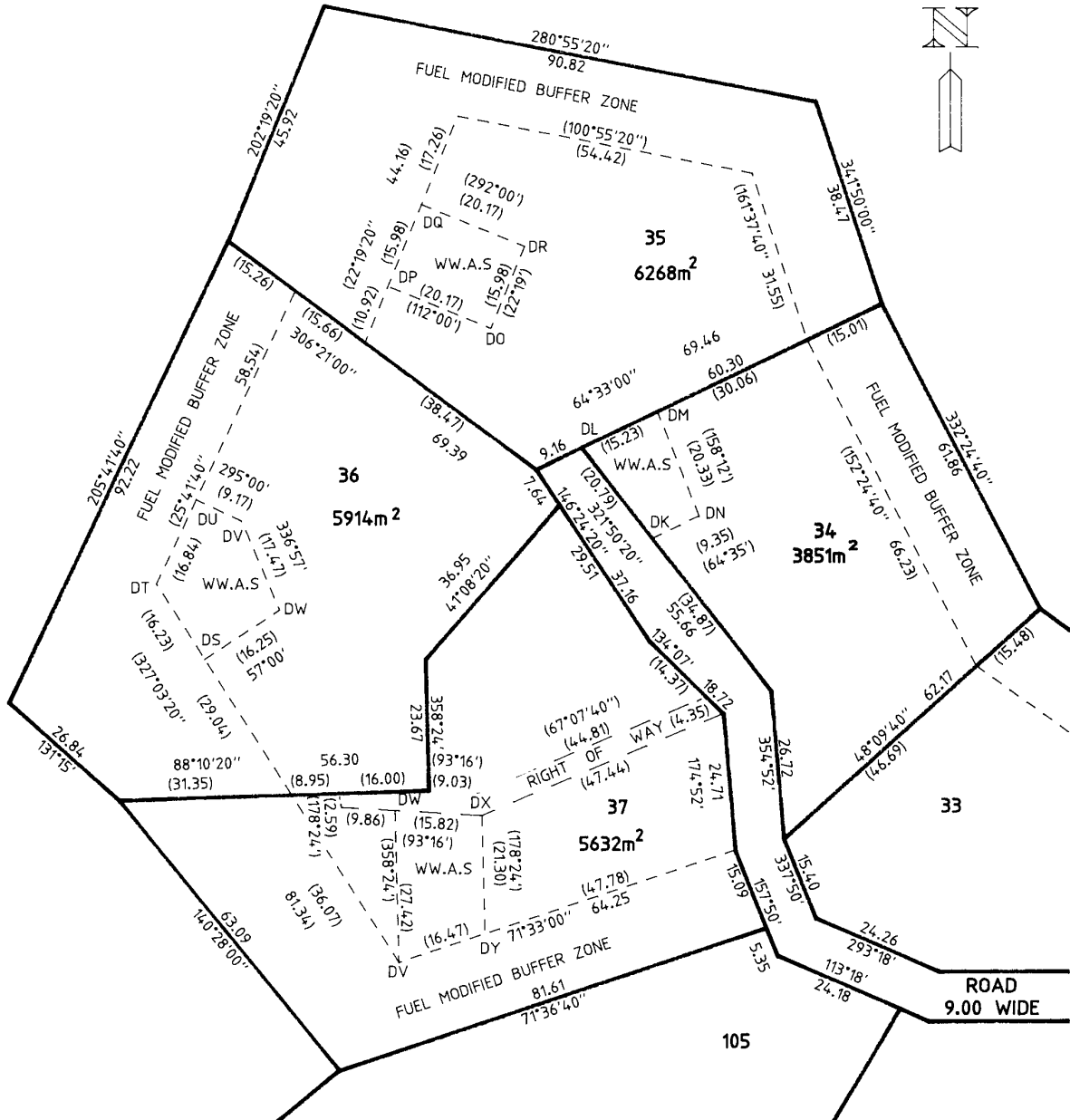
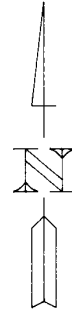


A-144

<p><b>PLAN OF SURVEY</b>  <b>ANNEXURE SHEET</b>                  SHEET 7 OF 9 SHEETS</p>	OWNER <b>THE CROWN</b>	Registered Number
	FOLIO REFERENCE <b>C.T 129644 - 01</b>	<b>P134169</b>
	SCALE 1: <b>750</b> LENGTHS IN METRES	

SIGNED FOR IDENTIFICATION PURPOSES  ..... Council General Manager	THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.  Registered Surveyor <i>A. Phillips</i> date <i>14.06.00</i>
--	--

W.W.A.S denotes  
WASTEWATER ABSORPTION SITE.



A-144

**PLAN OF SURVEY  
ANNEXURE SHEET  
SHEET 8 OF 9 SHEETS**

OWNER **THE CROWN**  
FOLIO REFERENCE **C.T 129644 - 01**  
SCALE 1: **2500** LENGTHS IN METRES

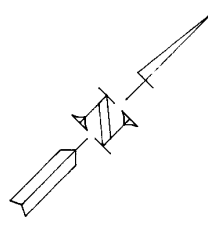
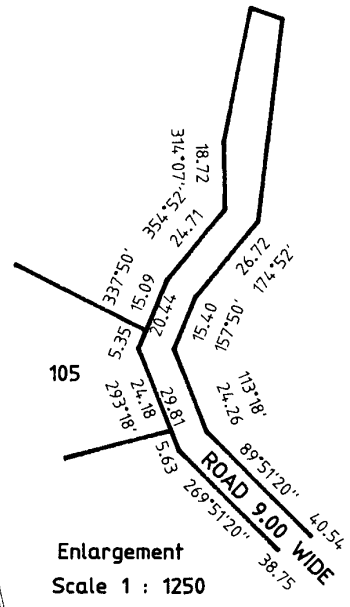
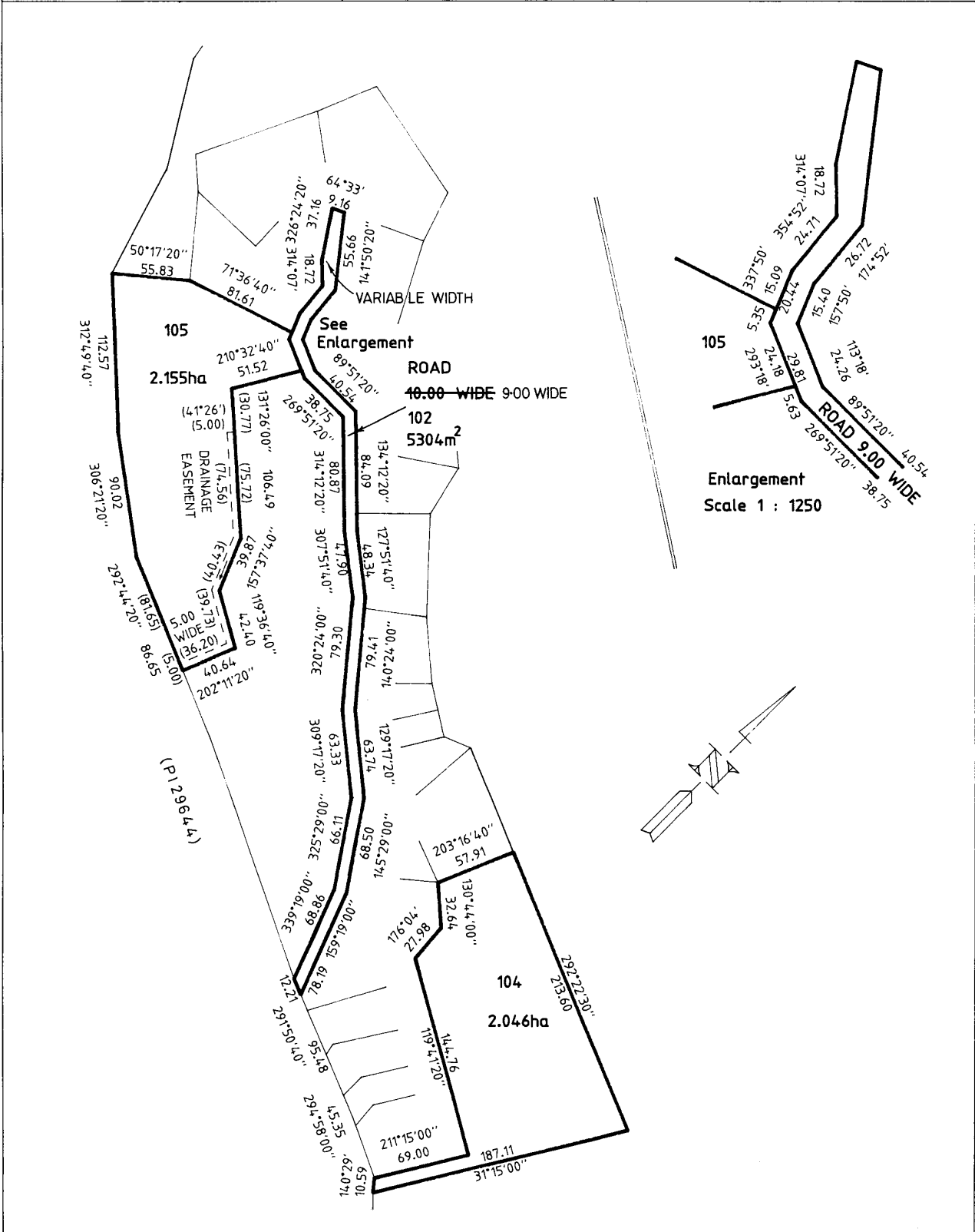
Registered Number  
**P134169**

SIGNED FOR IDENTIFICATION PURPOSES

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

.....  
Council General Manager

Registered Surveyor *Spillars* ..... date *14.08.20* .....



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PLAN OF SURVEY  
ANNEXURE SHEET  
SHEET 9 OF 9 SHEETS

OWNER THE CROWN  
FOLIO REFERENCE C.T 129644 - 01  
SCALE 1: 2000 LENGTHS IN METRES

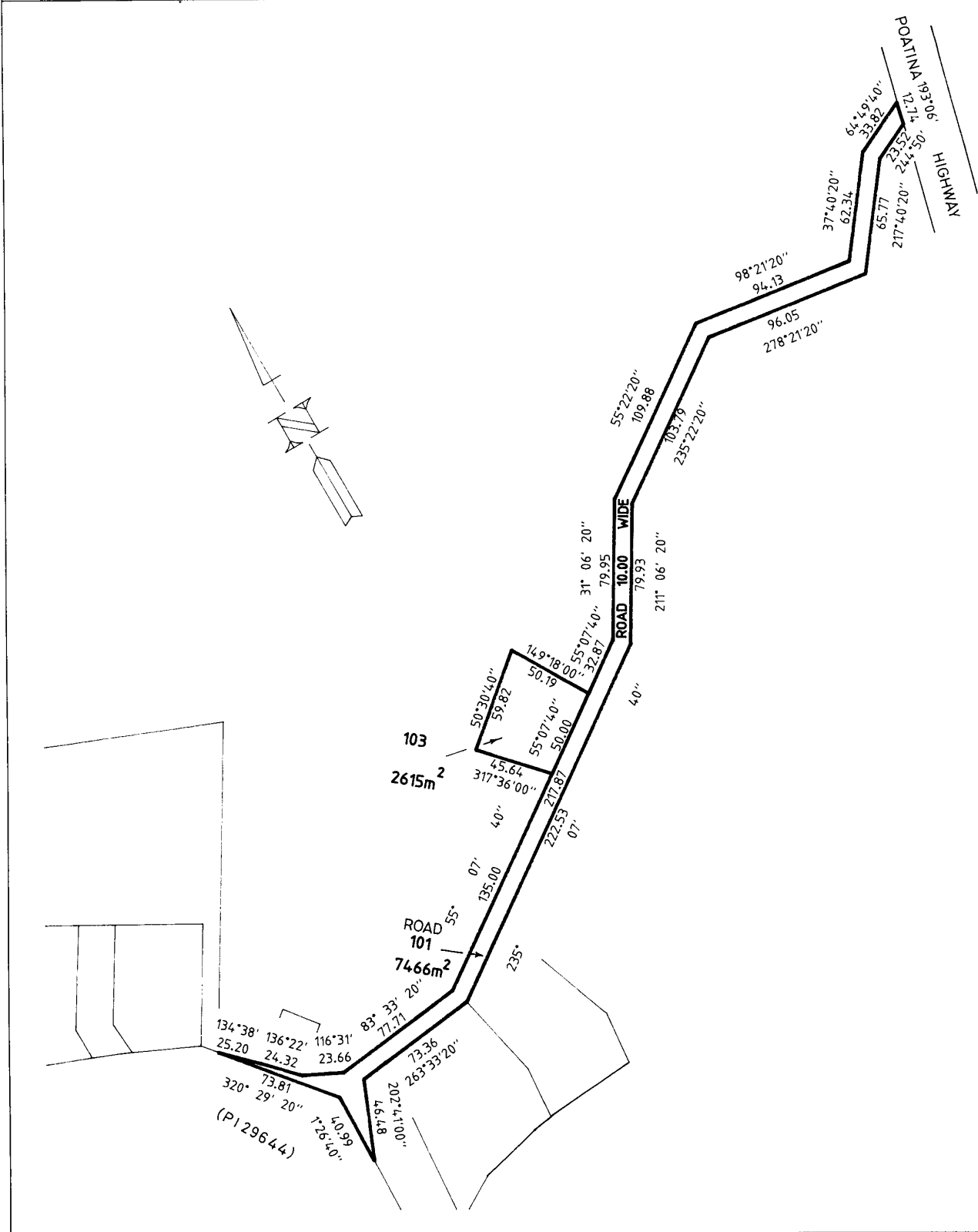
Registered Number  
**SP134169**

SIGNED FOR IDENTIFICATION PURPOSES

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THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

.....  
Council General Manager

Registered Surveyor *Asst. Surveyor* ..... date 16.06.00



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