

# PUBLIC NOTICE DETAILS

## PLANNING APPLICATION DETAILS

<b>Application Number:</b>	DA 2026/19
<b>Application Type:</b>	Discretionary Development Application
<b>Property Location:</b>	46 Dolerite Crescent, Flintstone
<b>Proposal:</b>	Dwelling & Outbuilding
<b>Advertising Commencement Date:</b>	10 March 2026
<b>Representation Period Closing Date:</b>	24 March 2026
<b>Responsible Officer:</b>	Louisa Brown, Senior Planning Officer

The relevant documents may be viewed at Council's website [www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au) or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing [development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au). Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030  
Email: [development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au)

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.

ISSUE

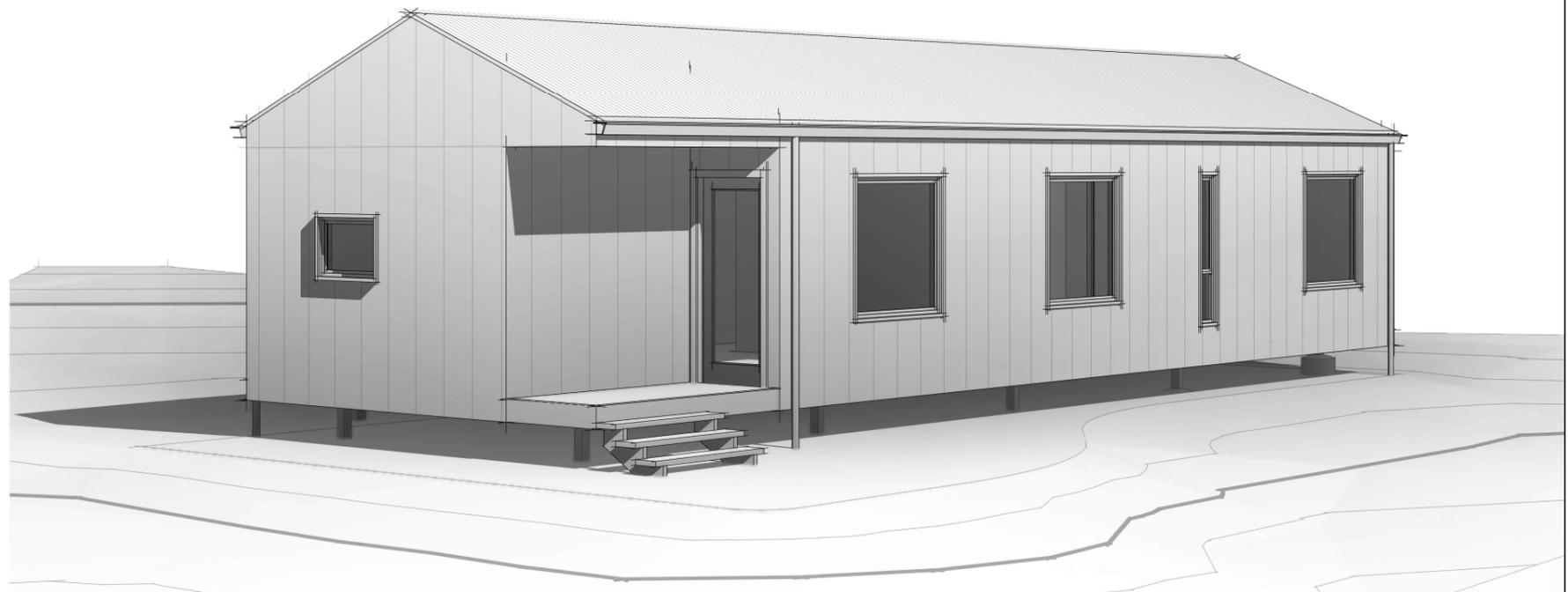
Sheet List				
Sheet Number	Sheet Name	Project Status	Current Revision	Revision Date
1 G-01	COVER	DA	R9	24/02/2026
1 G-02	GENERAL NOTES	DA	R9	24/02/2026
1 G-03	BAL 29	DA	R9	24/02/2026
1 G-04	BAL 29	DA	R9	24/02/2026
2 A-00	SITE SURVEY	DA	R9	24/02/2026
2 A-01	SITE PLAN	DA	R9	24/02/2026
2 A-02	FLOOR PLAN	DA	R9	24/02/2026
2 A-03	ELEVATIONS	DA	R9	24/02/2026
2 A-04	ROOF PLAN	DA	R9	24/02/2026



**WARNING:**  
IT IS THE RESPONSIBILITY OF THE BUILDER TO COMPLETE BYD AND WORK WITH AUTHORITIES TO LOCATE ALL UNDERGROUND SERVICES.

**General Information**

Designer: Daniel Bastin CC6836  
 Classification: 1a  
 Title Reference: 132569/23  
 Design Wind Speed: N3  
 Soil Classification: M  
 Climate Zone: 7  
 BAL: 29  
 Corrosion Environment: MEDIUM  
 Known Hazards: PRIORITY VEGETATION, BUSHFIRE PRONE AREAS  
 Floor Area: 70m<sup>2</sup>  
 Decks / Landings: 5.13m<sup>2</sup>



**General Notes**  
 Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.  
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1063 Cambridge Road  
 Cambride, TAS 7170 (03) 6214 8888

**Smith Residence**  
 46 Dolerite Crescent, Flintstone  
 Ben and Alisha Smith

<b>COVER</b>		<b>1 G-01</b>
Project number	7012	
Drawing Status	DA	
Current Revision	24/02/2026 R9	Scale on A3

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**GENERAL NOTES:**

Check all dimensions, boundaries, easements and service locations on site. All work shall comply with the Tasmanian Building Regulations 2016, National Construction Codes and relevant current Australian Standards.

Check carefully all aspects of these documents before commencing work. Any errors or anomalies to be reported to the drawer before work is continued. Confirm all sizes and heights on site. Do not scale off plan.

All framing to comply with AS 1684 Residential Timber-Framed Construction. Note: All timber sizes specified are minimum requirement only. Substitutes may be used as long as verification of equal performance is obtained.

All construction is to comply with the National Construction Codes and all relevant Australian Standards.

These documents to be used with specifications, soil tests and all documentation prepared by an engineer.

These documents are intended for council applications and normal construction.

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**SITE NOTES:**

All site works shall be in accordance with NCC CSIRO BTF 18, 19, 22 and AS 2870

Minimal site disturbance is to be carried out. Sediment control; 'geolab' silt fence 1000 or similar. Topsoil stockpiles remaining on the site to be covered with plastic, adequately retained along all edges. Unused stockpiles to be removed from site or used for future landscaping.

**SITE PREPARATION AND EXCAVATION:**

In accordance with ABCB Housing Provisions Standard Part 3 and to local council requirements.

**FOOTINGS:**

Concrete footings and slabs in accordance with ABCB Housing Provisions Standard Part 4, AS 2870.1 and engineer's specifications.

**BRICK AND BLOCK:**

In accordance with ABCB Housing Provisions Standard Part 5, AS 4773 and AS 3700

**SUB-FLOOR VENTILATION:**

In accordance with ABCB Housing Provisions Standard part 6

**DAMP PROOFING:**

In accordance with ABCB Housing Provisions Standard part 5 and AS/NZS 2904.

**TIMBER FRAMING:**

Timber framing, tie down and wind bracing details to ABCB Housing Provisions Standard Part 6 and AS 1684.2 and AS4055.

**WALL CLADDING:**

In accordance with ABCB Housing Provisions Standard Part 7 and manufacturer's specifications.

**ROOF CLADDING, GUTTERING AND DOWNPIPES:**

In accordance with ABCB Housing Provisions Standard Part 7 and AS/NZS 3500.5. Installation to be in accordance with manufacturer's specifications and recommendations.

**WINDOWS & GLAZING:**

All windows and glazing to AS 2047 and AS 1288 and ABCB Housing Provisions Standard Part 8. Manufacturer to provide certification of compliance. All window measurement shown are nominal only and are to be verified on site, prior to ordering.

**CONDENSATION MANAGEMENT NOTES:**

All condensation management in accordance with ABCB Housing Provisions Standard Part 10.8

**VENTILATION OF ROOF SPACES:**

In accordance with ABCB Housing Provisions Standard Part 10.

**HYDRAULIC:**

Stormwater to be in accordance with AS/NSZ 3500  
Wastewater to be in accordance with AS/NSZ 3500 and/or AS 1547  
Water supply to be in accordance with AS/NSZ 3500

**ELECTRICAL:**

All wiring and electrical installation to be in accordance with AS 3000  
Smoke alarm/s - a 240 volt hard wired smoke alarm complying with AS 3768 should be located near sleeping areas on every story and as per ABCB Housing Provisions Standard Part 9.

**INTERIOR NOTES:**

**Plasterboard;**

All internal plasterboard finishes to be in accordance with AS/NZS 2588

**Joinery;**

- Hardwood in accordance with AS 2796
- Softwood in accordance with AS 4785
- Plywood in accordance with AS/NZS 2270 and AS/NZS 2271

**Domestic Kitchen Assemblies;**

In accordance with AS/NZS 4386

**Ceramic Tiling;**

In accordance with AS 4662, AS 2358 and AS 4992

**WATERPROOFING / WET AREAS:**

In accordance with ABCB Housing Provisions Standard Part 10.2 and AS 3740  
Waterproofing membrane and substrates to be installed to floors, walls and wall/floor junctions in accordance with AS 3740 Waterproofing of Domestic wet areas.



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General Notes  
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1063 Cambridge Road  
Cambridge, TAS 7170 (03) 6214 8888

**Smith Residence**  
46 Dolerite Crescent, Flintstone  
Ben and Alisha Smith

GENERAL NOTES	
Project number	7012
Drawing Status	DA
Current Revision	24/02/2026 R9

**1 G-02**

Scale on A3

TO BE READ IN CONJUNCTION WITH AS3959 2018

**GENERAL**

A building assessed in Section 2 as being BAL—29 shall conform with Section 3 and Clauses 7.2 to 7.8. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 7.2 to 7.8 (see Clause 3.8).

NOTE: BAL—29 is primarily concerned with protection from ember attack and radiant heat greater than 19 kW/m<sup>2</sup> up to and including 29 kW/m<sup>2</sup>.

**SUB-FLOOR SUPPORTS**

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—  
 a wall that conforms with Clause 7.4, except that sarking is not required where specified in Clause 7.4.1(c); or  
 a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion- resistant steel, bronze or aluminium; or  
 a combination of Items (a) and (b).  
 Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—  
 of non-combustible material; or  
 of bushfire-resisting timber (see Appendix F); or  
 a combination of Items (i) and (ii).  
 NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 7.7).  
**C7.2 Combustible materials stored in the subfloor space may be ignited by embers and impact the building.**

**FLOORS**

**General**  
 This Standard does not provide construction requirements for concrete slabs on the ground.  
**Elevated floors**  
*Enclosed subfloor space*  
 This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—  
 a wall that conforms with Clause 7.4; except that sarking is not required where specified in Clause 7.4.1(c); or  
 a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion- resistant steel, bronze or aluminium; or  
 a combination of Items (a) and (b).  
*Unenclosed subfloor space*  
 Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:  
 Materials that conform with the following:  
 Bearers and joints shall be—  
 non-combustible; or  
 bushfire-resisting timber (see Appendix F); or  
 a combination of Items (A) and (B).  
 Flooring shall be—  
 non-combustible; or  
 bushfire-resisting timber (see Appendix F); or  
 timber (other than bushfire- resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or  
 a combination of any of Items (A), (B) or (C).  
*or*  
 A system conforming with AS 1530.8.1.  
 This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

**WALLS**

**General**  
 The exposed components of external walls shall be as follows:  
 Non-combustible material including the following provided the minimum thickness is 90 mm:  
 Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.  
 Precast or in situ walls of concrete or aerated concrete.  
 Earth wall including mud brick.  
*or*  
 Timber logs of a species with a density of 680 kg/m<sup>3</sup> or greater at a 12% moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed.  
*or*  
 Cladding that is fixed externally to a timber-framed or a steel-framed wall that is sarked on the outside of the frame, and is—  
 fibre-cement a minimum of 6 mm in thickness; or  
 steel sheet; or

bushfire-resisting timber (see Appendix F); or  
 a combination of any of Items (i), (ii) or (iii).  
*or*  
 A combination of any of Items (a), (b) or (c).  
**Joints**  
 All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.  
**Vents and weepholes**  
 Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

**EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS**

**Bushfire shutters**  
 Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from—  
 non-combustible material; or  
 bushfire-resisting timber (see Appendix F); or  
 a combination of Items (a) and (b).  
**Screens for windows and doors**  
 Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.  
 The frame supporting the mesh or perforated sheet shall be made from—  
 metal; or  
 bushfire-resisting timber (see Appendix F). Screen assemblies shall be attached using metal fixings.  
**Windows and sidelights**  
 Windows assemblies shall—  
 be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 7.5.1;  
*or*  
 conform with the following:  
**Frame material** Window frames and window joinery shall be made from—  
 bushfire-resisting timber (see Appendix F); or  
 metal; or  
 metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.  
**Hardware** Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.  
**C7.5.3 Components other than metal may be used provided they are shielded by the metal components of the window/door frame.**

Trims or other components may use material other than metal.  
**Glazing** Glazing shall be toughened glass a minimum of 5 mm thickness or glass blocks with no restriction on glazing methods.  
 NOTE: Where double-glazed assemblies are used, the requirements apply to the external pane of the glazed assembly only.  
**Seals and weather strips** There are no specific requirements for seals and weather strips at this BAL level.  
**Screens** Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), the glazing shall be screened externally with a screen that conforms with Clause 3.6 and Clause 7.5.2.  
*In all other cases except for Clause 7.5.3(b)(v)* The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 7.5.2.  
**Doors—Side-hung external doors (including French doors, panel fold and bi- fold doors)**  
 Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—  
 be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 7.5.1;  
*or*  
 be completely protected externally by screens that conform with Clause 3.6 and Clause 7.5.2;  
*or*  
 conform with the following:  
**Door panel material** Materials shall be—  
 non-combustible; or  
 solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or  
 for fully framed glazed door panels, the framing shall be made from metal or from bushfire-resisting timber (see Appendix F) or uPVC.  
**Door frame material** Door frame material shall be—  
 bushfire resisting timber (see Appendix F); or  
 metal; or  
 metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion resistant steel.  
**Hardware** Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.  
 Trims or other components may be use materials other than metal.  
**Glazing** Where doors incorporate glazing, the glazing shall be toughened glass a minimum of 6 mm in thickness.

**Seals and weather strips** Weather strips, draught excluders or draught seals shall be installed.  
**Screens** There is no requirement to screen the openable part of the door at this BAL level.  
 Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.  
**Doors—Sliding doors**  
 Sliding doors shall—  
 be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 7.5.1;  
*or*  
 be completely protected externally by screens that conform with Clause 3.6 and Clause 7.5.2;  
*or*  
 conform with the following:  
**Frame material** The material for door frames, including fully framed glazed doors, shall be—  
 bushfire-resisting timber (see Appendix F); or  
 metal; or  
 metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.  
**Hardware** Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.  
 Trims or other components may use materials other than metal.  
**Glazing** Where doors incorporate glazing, the glazing shall be toughened glass a minimum of 6 mm in thickness.  
**Seals and weather strips** There are no specific requirements for seals and weather strips at this BAL level.  
**Screens** There is no requirement to screen the openable part of the sliding door at this BAL level.  
**Sliding panels** Sliding panels shall be tight-fitting in the frames.  
**Doors—Vehicle access doors (garage doors)**  
 The following applies to vehicle access doors:  
 Vehicle access doors shall be made from—  
 non-combustible material; or  
 bushfire-resisting timber (see Appendix F); or  
 fibre-cement sheet, a minimum of 6 mm thickness; or  
 a combination of any of Items (i), (ii) or (iii).  
 All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.  
 NOTES:  
 Refer to AS/NZS 4505 for door types.  
 Gaps of door edges or building elements should be protected as per Section 3.  
**C7.5.6(b) These guide tracks do not provide a direct passage for embers into the building.**

Weather strips, draught excluders, draught seals or brushes to protect edge gaps or thresholds shall be manufactured from materials having a flammability index not exceeding five.  
 Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.  
**C7.5.6 Components other than metal may be used provided they are shielded by the metal components of the door assembly.**

**ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS AND GABLES, AND GUTTERS AND DOWNPIPES)**

**General**  
 The following applies to all types of roofs and roofing systems:  
 Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.  
 The roof/wall and roof/roof junction shall be sealed or otherwise protected in accordance with Clause 3.6.  
 Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.  
 A pipe or conduit that penetrates the roof covering shall be non-combustible.  
 Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used.  
 Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need not be screened externally.  
**Tiled roofs**  
 Tiled roofs shall be fully sarked. The sarking shall—  
 be located on top of the roof framing, except that the roof battens may be fixed above the sarking;  
 cover the entire roof area including ridges and hips; and  
 extend into gutters and valleys.  
**Sheet roofs**  
 Sheet roofs shall—  
 be fully sarked in accordance with Clause 7.6.2, except that foil-backed insulation blankets may be installed over the battens; or  
 have any gaps sealed at the fascia or wall line, hips and ridges by—  
 a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or  
 mineral wool; or  
 other non-combustible material; or  
 a combination of any of Items (i), (ii) or (iii).

General Notes Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements. Report any discrepancies to this office. © Karydav Pty Ltd - These designs, drawings and specifications must not be copied or reproduced in any form without written permission from Karydav Pty Ltd.	 1063 Cambridge Road Cambridge, TAS 7170 (03) 6214 8888	<b>Smith Residence</b>		<b>BAL 29</b>	<b>1 G-03</b>
		46 Dolerite Crescent, Flintstone			
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		Project number	7012		
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C7.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

**Veranda, carport and awning roof**

The following applies to veranda, carport and awning roofs:

A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 7.6.1 to 7.6.6.

A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] conforming with Clause 7.4 shall have a non-combustible roof covering and the complete support structure shall be—

of non-combustible material; or

bushfire-resisting timber (see Appendix F); or

timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with

material conforming with AS 1530.8.1; or

a combination of any of Items (i), (ii) or (iii).

**Roof penetrations**

The following applies to roof penetrations:

Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials,

vent pipes and supports for solar collectors or the like, shall be sealed. The material used to seal the

penetration shall be non-combustible.

Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of

corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to a room sealed gas appliance.

NOTE: A gas appliance designed such that air for combustion does not enter from, or combustion

products enter into, the room in which the appliance is located.

In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be

obtained from manufacturers and State and Territory gas technical regulators.

All overhead glazing shall be Grade A safety glass conforming with AS 1288.

Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser,

conforming with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU),

Grade A toughened safety glass of minimum 4 mm thickness shall be used in the outer pane of the IGU.

Flashing elements of tubular skylights shall be non-combustible. However, they may be of an alternate

material, provided the integrity of the roof covering is maintained by an under-flashing made of non-

combustible material.

Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to

the roof level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a

maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

<sup>A1</sup> (g) External single plane glazed elements of roof lights and skylights, where the pitch of the glazed

element is 18 degrees or less to the horizontal, shall be protected with ember guards made from a mesh

or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or

aluminium.

(h) Eaves lighting shall be adequately sealed and not compromise the performance of the

element.

**Eaves linings, fascias and gables**

The following applies to eaves linings, fascias and gables:

Gables shall conform with Clause 7.4.

Fascias and bargeboards shall—

where timber is used, be made from bushfire-resisting timber (see Appendix F); or

where made from metal, be fixed at 450 mm centres; or

be a combination of Items (i) and (ii).

Eave linings shall be—

fibre-cement sheet, a minimum 4.5 mm in thickness; or

bushfire-resisting timber (see Appendix F); or

a combination of Items (i) and (ii).

Eave penetrations shall be protected as for roof penetrations as specified in Clause 7.6.5.

Eave ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of

corrosion-resistant steel, bronze or aluminium.

Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

**Gutters and downpipes**

This Standard does not provide requirements for downpipes.

If installed, gutter and valley leaf guards shall be non-combustible. With the exception of box gutters,

gutters shall be metal or uPVC.

Box gutters shall be non-combustible and flashed at the junction with the roof, with non-combustible

materials.

**VERANDAS, DECKS, STEPS AND LANDINGS**

**General**

Decking may be spaced.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C7.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 mm–5 mm during service. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

**Enclosed subfloor spaces of verandas, decks, steps, ramps and landings**

**Materials to enclose a subfloor space**

The subfloor spaces of verandas, decks, steps, ramps and landings are deemed to be 'enclosed' when—

the material used to enclose the subfloor space conforms with Clause 7.4, except that sarking is not

required where specified in Clause 7.4.1(c); and

all openings are protected in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or

aluminium.

**Supports**

This Standard does not provide construction requirements for support posts, columns, stumps, stringers,

piers and poles.

**Framing**

This Standard does not provide construction requirements for the framing of verandas, pergolas, decks,

ramps or landings (i.e. bearers and joists).

**Decking, stair treads and the trafficable surfaces of ramps and landings**

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

of non-combustible material; or

of bushfire-resisting timber (see Appendix F); or

a combination of Items (a) and (b).

**Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings**

**Supports**

Support posts, columns, stumps, stringers, piers and poles shall be—

of non-combustible material; or

of bushfire-resisting timber (see Appendix F); or

a combination of Items (a) and (b).

**Framing**

Framing of verandas, decks, ramps or landings (i.e. bearers and joists) shall be—

of non-combustible material; or

of bushfire-resisting timber (see Appendix F); or

a combination of Items (a) and (b).

**Decking, stair treads and the trafficable surfaces of ramps and landings**

Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

of non-combustible material; or

of bushfire-resisting timber (see Appendix F); or

a combination of Items (a) and (b).

**Balustrades, handrails or other barriers**

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall

shall be—

of non-combustible material; or

bushfire-resisting timber (see Appendix F); or

a combination of Items (a) and (b).

Those parts of the handrails and balustrades that are 125 mm or more from the building have no

requirements.

**Veranda posts**

Shall be made from—

non-combustible material; or

bushfire-resisting timber (see Appendix F); or

a combination of any of Items (a) or (b).

**WATER AND GAS SUPPLY PIPES**

Above-ground, exposed water supply pipes shall be metal.

External gas pipes and fittings above ground shall be of steel or copper construction having a minimum

wall thickness in accordance with gas regulations or 0.9 mm whichever is the greater. The metal pipe shall

extend a minimum of 400 mm within the building and 100 mm below ground.

NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1.

C7.8 Concern is raised for the protection of bottled gas installations. Location, shielding and venting

of the gas bottles needs to be considered.

General Notes  
Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.  
Report any discrepancies to this office.  
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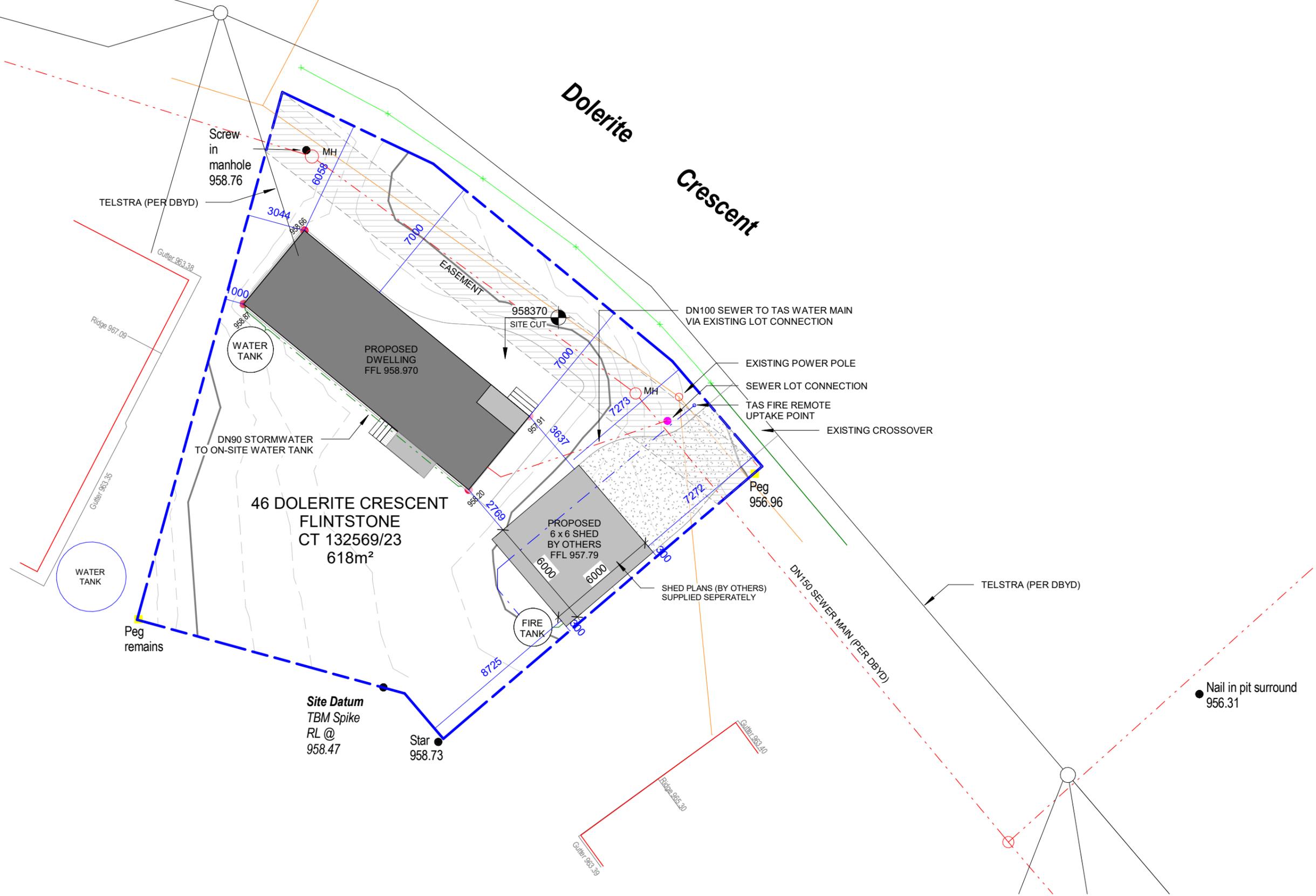
**Smith Residence**  
46 Dolerite Crescent, Flintstone  
Ben and Alisha Smith

<b>BAL 29</b>	
Project number	7012
Drawing Status	DA
Current Revision	24/02/2026 R9

**1 G-04**  
Scale on A3



ISSUE



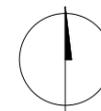
**WARNING:**  
IT IS THE RESPONSIBILITY OF THE BUILDER TO COMPLETE BYD AND WORK WITH AUTHORITIES TO LOCATE ALL UNDERGROUND SERVICES.

**General Notes**  
Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.  
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46 Dolerite Crescent, Flintstone  
Ben and Alisha Smith



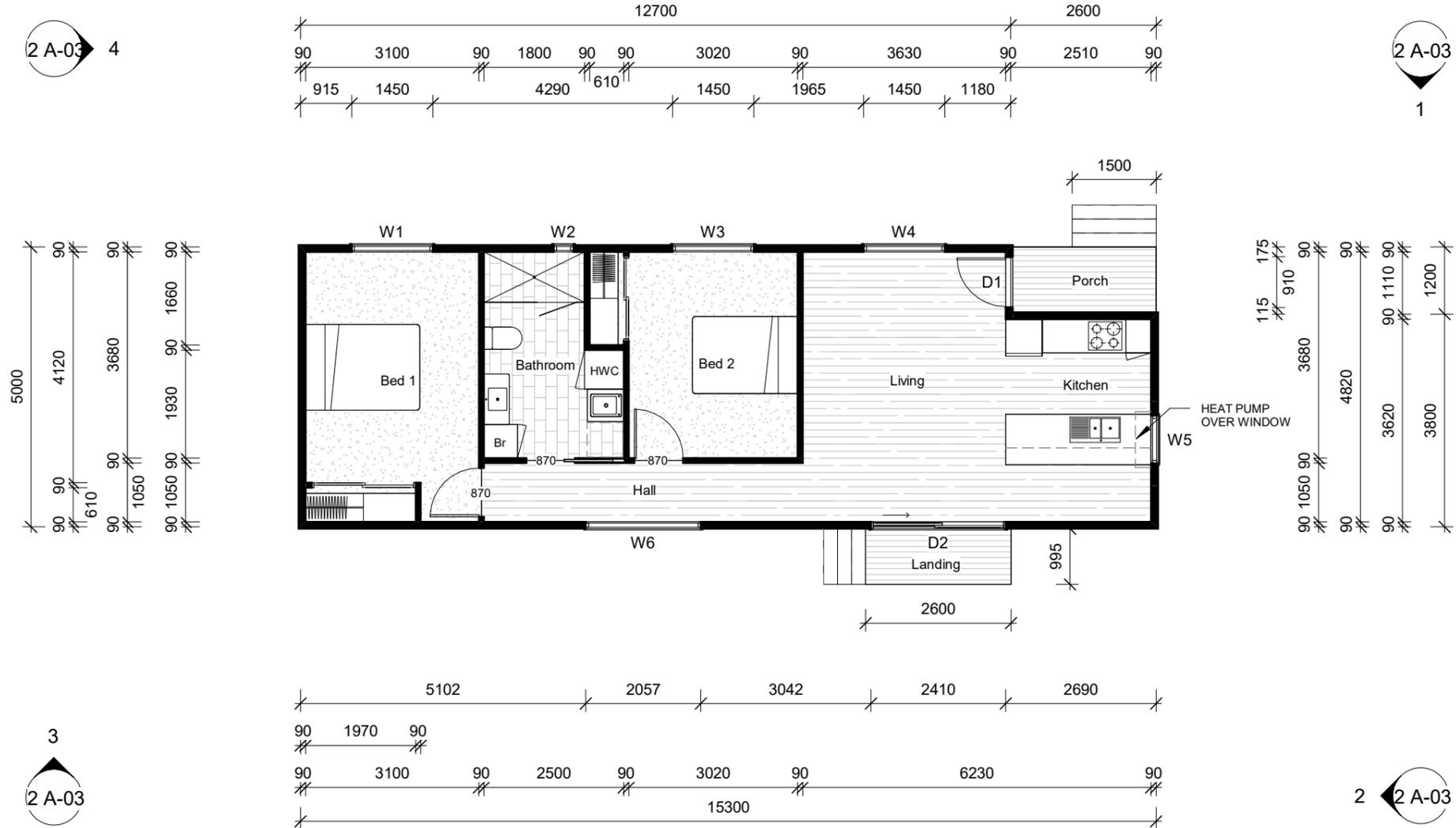
**SITE PLAN**

Project number	7012
Drawing Status	DA
Current Revision	24/02/2026 R9

**2 A-01**

Scale on A3 1 : 200

ISSUE



Area Schedule	
House	73.38 m <sup>2</sup>
Porch	3.01 m <sup>2</sup>
Landing	2.60 m <sup>2</sup>

Glazing Schedule - Double Glazed - Monument - BAL 29						
Mark	Height	Width	Head Height	Description	Comments	Count
D1	2100	870	2100	Hinged Door	White Trans	1
D2	2100	2410	2100	Sliding Door	Clear	1
W1	1457	1450	2100	Awning Window	Clear	1
W2	1800	350	2100	Awning Window	White Trans	1
W3	1457	1450	2100	Awning Window	Clear	1
W4	1457	1450	2100	Awning Window	Clear	1
W5	600	850	1700	Awning Window	Clear	1
W6	600	2057	2100	Awning Window	Clear	1

**General Notes**  
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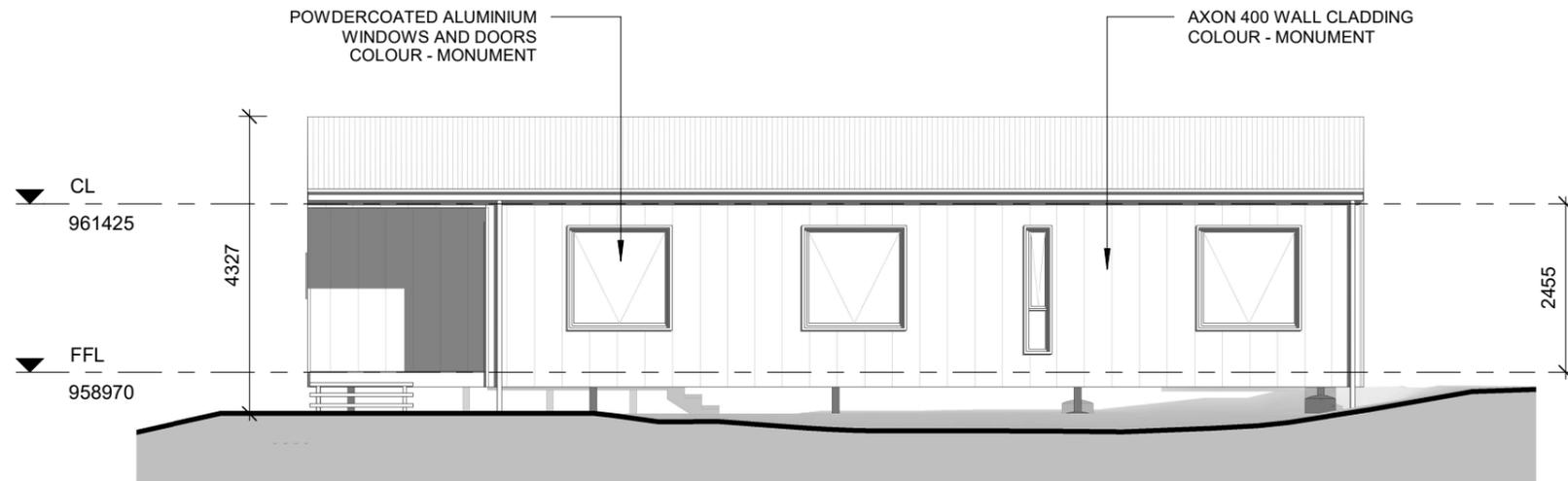
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**Smith Residence**  
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Ben and Alisha Smith

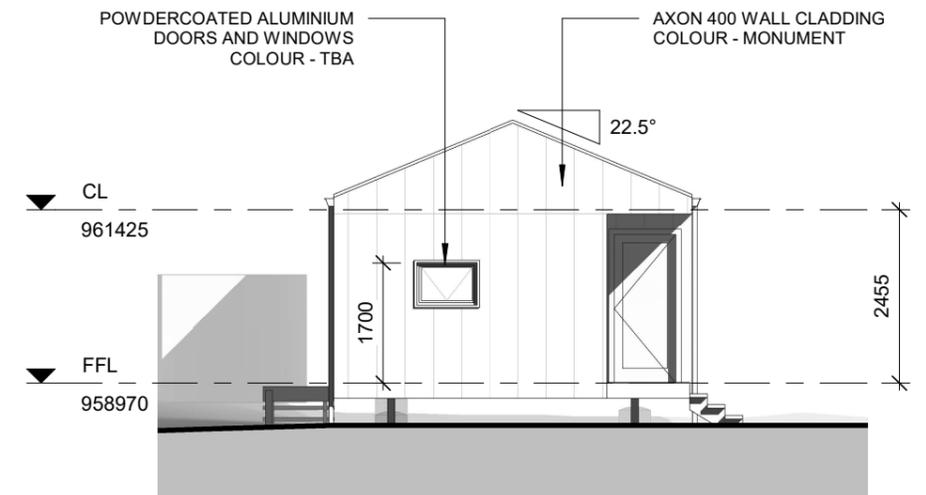
FLOOR PLAN	
Project number	7012
Drawing Status	DA
Current Revision	24/02/2026 R9

**2 A-02**  
Scale on A3 1 : 100

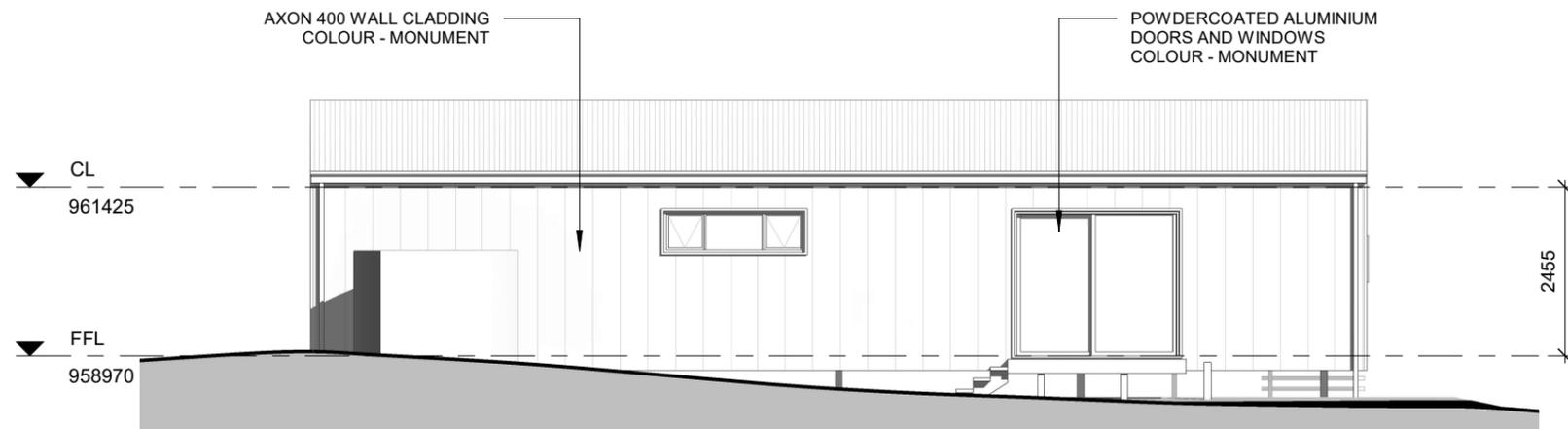
ISSUE



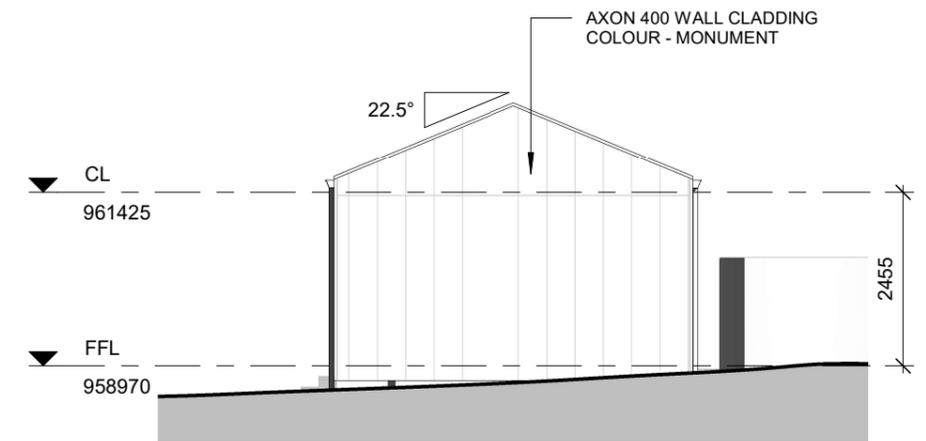
1 NORTH EAST ELEVATION  
1 : 100



2 SOUTH EAST ELEVATION  
1 : 100



3 SOUTH WEST ELEVATION  
1 : 100



4 NORTH WEST ELEVATION  
1 : 100

**General Notes**  
Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.  
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**ELEVATIONS**

Project number	7012
Drawing Status	DA
Current Revision	24/02/2026 R9

**2 A-03**

Scale on A3 1 : 100

ISSUE

Construction and materials in accordance with current NCC requirements and all relevant Australian Standards - See General Notes  
Construction in accordance with AS3959 = BAL 29

**ROOF CLADDING, GUTTERING AND DOWNPIPES:**

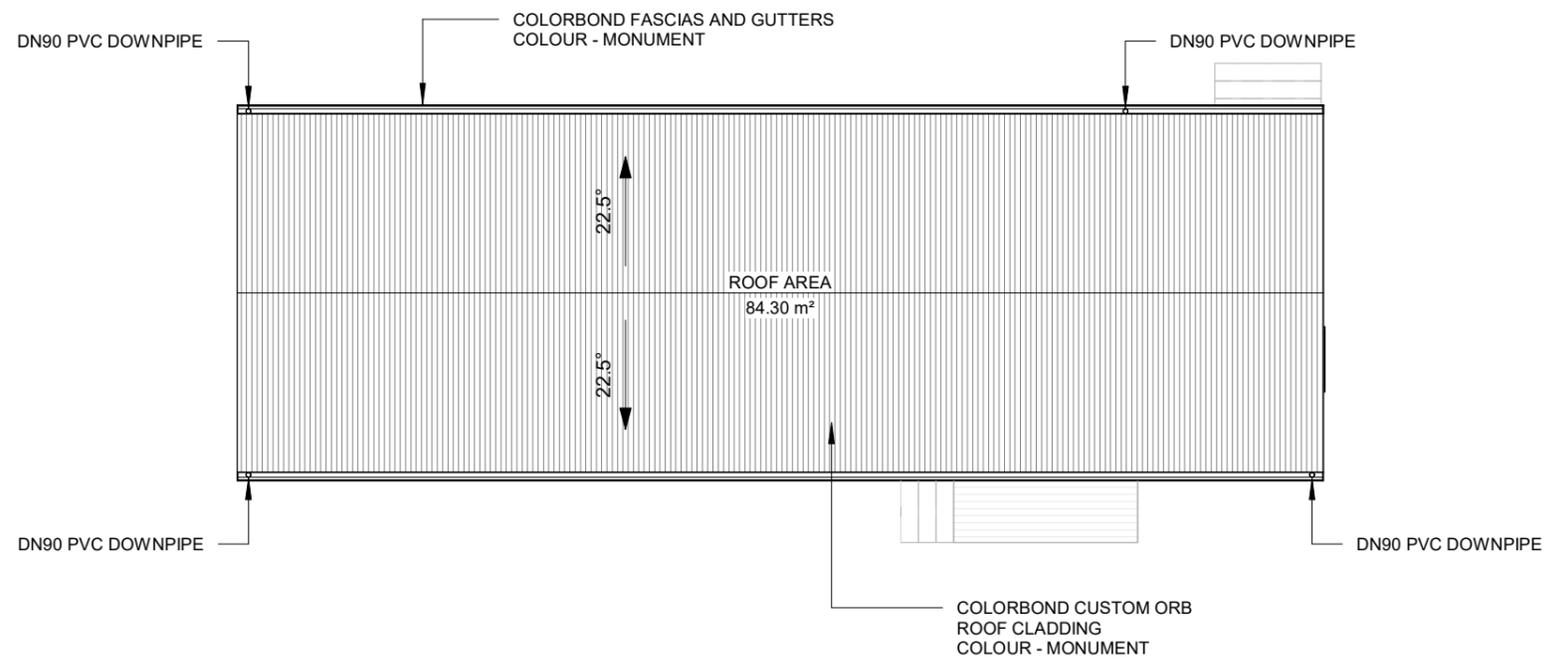
In accordance with ABCB Housing Provisions Standard Part 7 and AS/NZS 3500.5.  
Installation to be in accordance with manufacturer's specifications and recommendations.

**VENTILATION OF ROOF SPACES:**

In accordance with ABCB Housing Provisions Standard Part 10.

**HYDRAULIC:**

Stormwater to be in accordance with AS/NSZ 3500  
Wastewater to be in accordance with AS/NSZ 3500 and/or AS 1547  
Water supply to be in accordance with AS/NSZ 3500

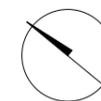


**General Notes**  
Do not scale plans, use written dimensions only. The owner/builder subcontractor shall verify all dimensions, levels, setbacks and specifications prior to commencing works or ordering materials and shall be responsible for ensuring that all building works conform to the current NCC and Australian standards, building regulations and town planning requirements.  
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**Smith Residence**  
46 Dolerite Crescent, Flintstone  
Ben and Alisha Smith



**ROOF PLAN**

Project number	7012
Drawing Status	DA
Current Revision	24/02/2026 R9

**2 A-04**

Scale on A3 1 : 100

24/02/2026 3:10:32 PM

18 November, 2025

To whom it may concern

This certification has been completed based on an Importance Level of 2.

Any approving authority should confirm that the Importance Level nominated is appropriate for the building's usage nominated in the application form used to apply for a Building Permit / Construction Certificate.

I certify that I am an independent technical expert and have reviewed Steelx's "Shed Management System" software that has produced the design and drawings detailed below.; I have reviewed the documents based on the site specific analysis that has been carried out using the "Shed Safe SiteCheck" software (Refer to the Site Specific Design Criteria Analysis included with these documents).

**Job Number:** SLAN250168 **Building Class:** 10a  
**Customer:** Ben & Alisha Smith **Max Design Wind Speed** of 43.7m/s  
**Site Location:** 46 Dolerite Crescent Flintstone TAS  
7030 Australia (-41.996243 and  
146.859387)

Drawing Number	Date	Number of Pages	Description
SLAN250168 - 2	18/11/2025	2	General Notes
SLAN250168 - 3	18/11/2025	1	Layout
SLAN250168 - 4	18/11/2025	3	Material Specification Sheet
SLAN250168 - 5	18/11/2025	1	Bracing
SLAN250168 - 6	18/11/2025	2	Concrete Piers
SLAN250168 - 7	18/11/2025	1	Slab Dimensions
SLAN250168 - 8	18/11/2025	6	Connection Details
SLAN250168 - 9	18/11/2025	3	Flashing Fixing Details
SLAN250168 - 10	18/11/2025	1	Component Position
SLAN250168 - 11	18/11/2025	5	Purlin And Girt

(Some drawings have multiple pages, eg: "1 of 3")

As an independent technical expert, I verify this design complies with the following codes and standards:

**NCC: 2022 Volume 2 Amendment 2** **AS/NZS 1170.1:2002**  
**AS/NZS 1170.2:2021** **AS/NZS 1170.4:2007**  
**AS 2870:2011** **AS 3600:2018**  
**AS 4100:2020** **AS/NZS 4600:2018**

Unless nominated, the building has not been designed for any additional loads including, but not limited to, earthquake, snow, solar panels or lining with any materials.

Signed



John Ronaldson  
for and on behalf of  
Apex Engineering Group PTY LTD  
ACN 632 588 562

Member Institution of Engineers (Aust.), CPEng (NER Structural) Regn. No. 5276680  
Registered Professional Engineer (Structural) - Queensland: Regn. No. 24223  
Registered Building Designer & Professional Engineer (Structural) - Tasmania: Regn. No. 185770492  
Registered Professional Engineer (Structural) - Victoria: Regn. No. PE0003848  
Registered Professional Engineer (Structural) - ACT: Regn. No. 00300001602

# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

Form **35**

To:  *Owner name*  
 *Address*  
  *Suburb/postcode*

## Designer details:

Name:  *Category:*   
 Business name:  *Phone No:*   
 Business address:   
  *Fax No:*   
 Licence No:  *Email address:*

## Details of the proposed work:

**Owner/Applicant**  *Designer's project reference No:*   
**Address:**  *Lot No:*

**Type of work:** Building work:  Plumbing work:  *(X all applicable.)*

### Description of work:

*(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)*

### Description of the Design Work (Scope, limitations or exclusions): *(X all applicable certificates)*

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Design
	<input checked="" type="checkbox"/> Structural design	Engineer or Civil Design
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Service Design
	<input type="checkbox"/> Fire Service design	Building Service Design
	<input type="checkbox"/> Electrical design	Building Service Design
	<input type="checkbox"/> Mechanical design	Building Service Design
	<input type="checkbox"/> Plumbing design	Plumber-Certifier: Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy:  Performance Solution:  *(X the appropriate box)*

Other details:

<b>Design documents provided:</b>	
-----------------------------------	--

The following documents are provided with this Certificate -

*Document description:*

Drawing numbers: SLAN250168-2 to SLAN250168-11	Prepared by: Sheds N Homes	Date: 18/11/2025
Schedules:	Prepared by: TBA	Date: TBA
Specifications:	Prepared by: Sheds N Homes	Date: 18/11/2025
Computations:	Prepared by: Sheds N Homes	Date: 18/11/2025
Performance solution proposals:		
Test reports:		

<b>Standards, codes or guidelines relied on in design process:</b>	
--	--

NCC: 2022, and the following Australian standards: AS/NZS4600:2018, AS/NZS 1170.0 2002, AS/NZS 1170.1:2002, AS/NZS 1170.2:2021, AS/NZS 1170.3:2003, AS/NZS 1170.4:2007, AS4100:2020, AS2870:2011 and AS3600:2018.

<b>Any other relevant documentation:</b>	
--	--


<b>Attribution as designer:</b>	
---------------------------------	--

I John Ronaldson being a licensed building services provider am responsible for the design of that part of the building work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

Designer:	Name: (print) John Ronaldson	Signed: 	Date: 18/11/2025
Licence No:	185770492		

Director of Building Control - date approved: 2 August 2017

Building Act 2016 - Approved Form No 35

**Assessment of Certifiable Works: (TasWork)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**if you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK:**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**

**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- The works will not increase the demand for the water supplied by TasWater
  
- The works will not increase or decrease the amount of sweage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
  
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
  
- The works will not damage or interfere with TasWater's works
  
- The works will not adversely affect TasWater's operations
  
- The works are not within 2m of TasWater's infrastructure and are outside any TasWater easement
  
- I have checked the LISTMap to confirm the location of TasWater infrastructure
  
- If the property is connected to TaswWater's water system, a water meter is in place or had been applied for to TasWater.

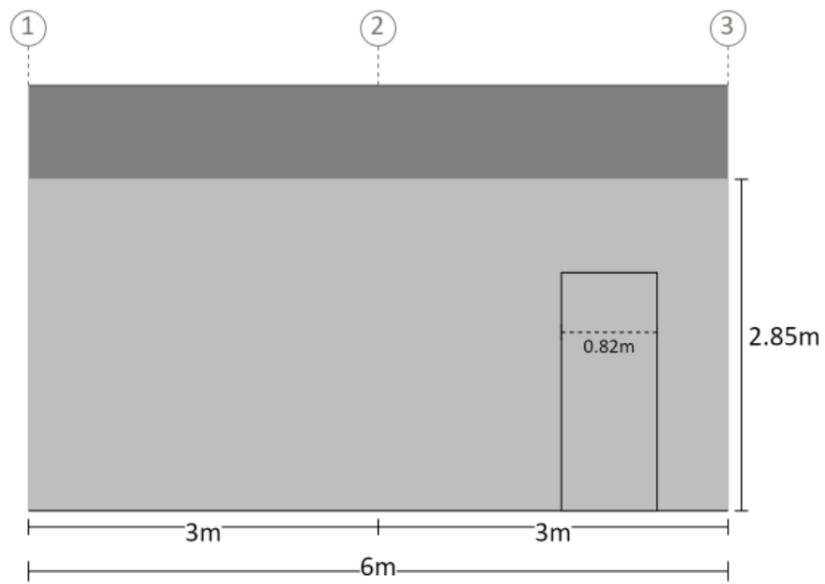
**Certification:**

I ..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the Water and Sewerage Industry Act 2008, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments. Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

Designer:	Name: (print)	Signed:	Date:

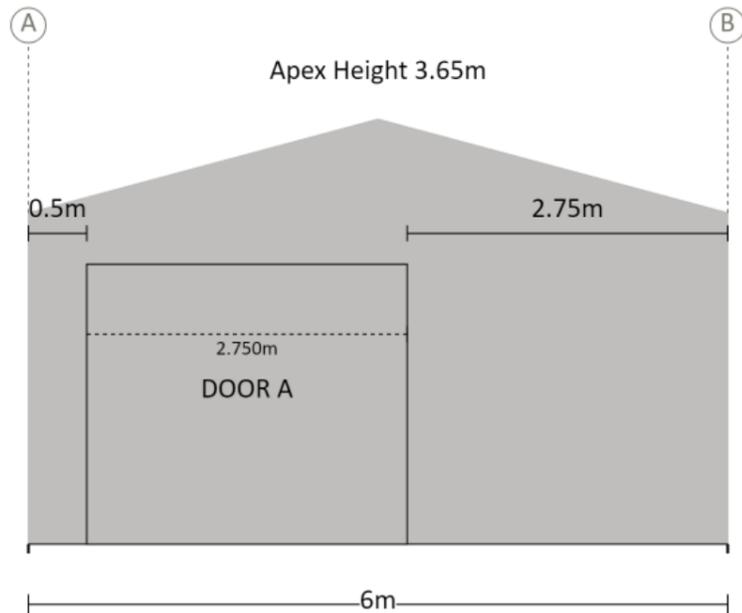
This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.

**Right Side**



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays)

**Left End**

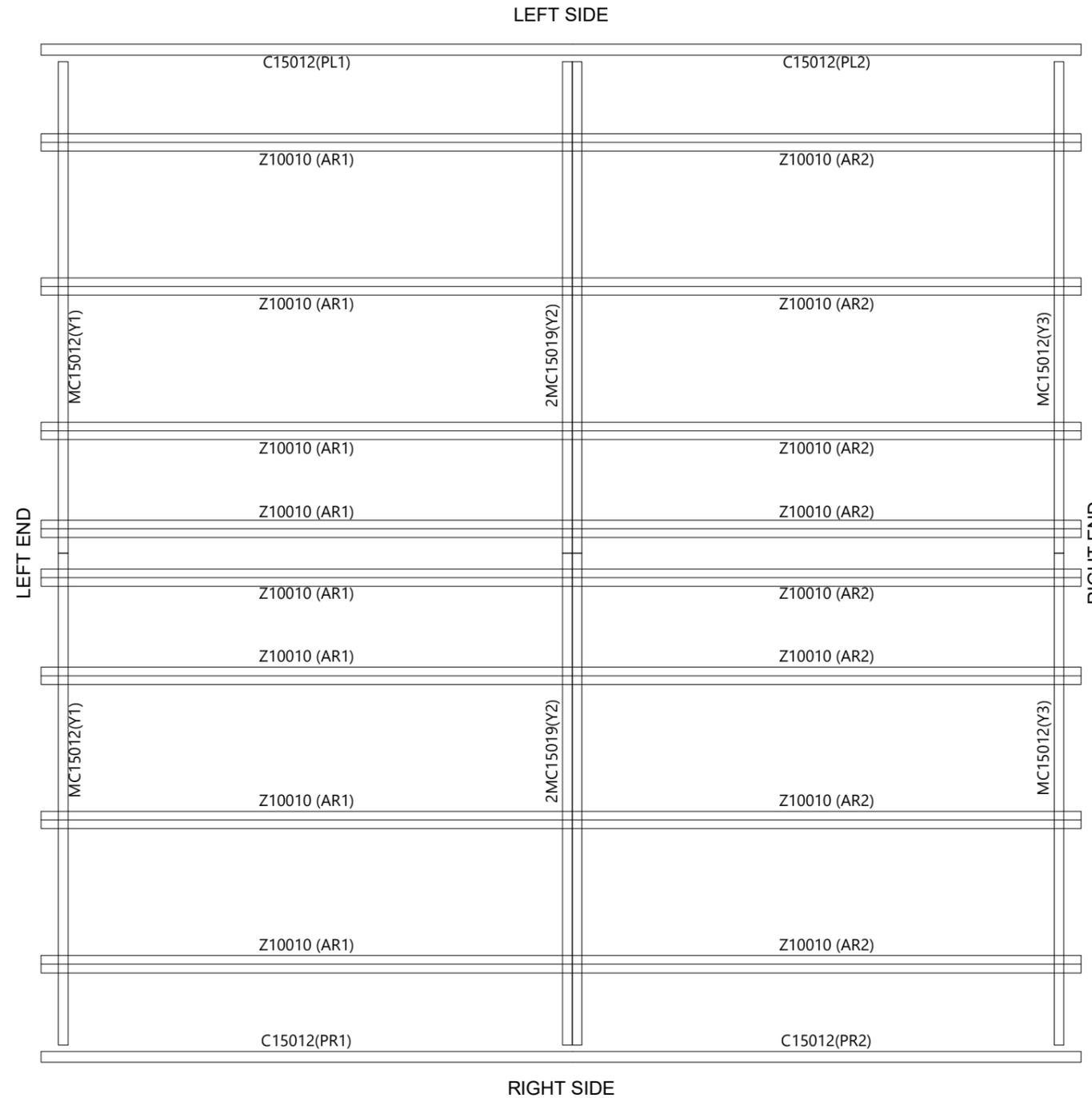


Measurements are from the outside of side girts to the inside of component opening size.

Purchaser Name: Ben & Alisha Smith		<b>Component Position</b> Not to Scale Page 1 of 1 © Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Launceston Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers
Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia				Signature:  Date: John Ronaldson Date: 18/11/2025
Drawing # SLAN250168 - 10	Print Date: 22/10/2025			

# ROOF (TOP VIEW)

Notes:  
Brackets are not shown. Refer to Specification Details for more information. Opening members not labeled.



Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith	
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
			Drawing # SLAN250168 - 11	Print Date: 22/10/2025

Purlin and Girt Plan

NOT TO SCALE

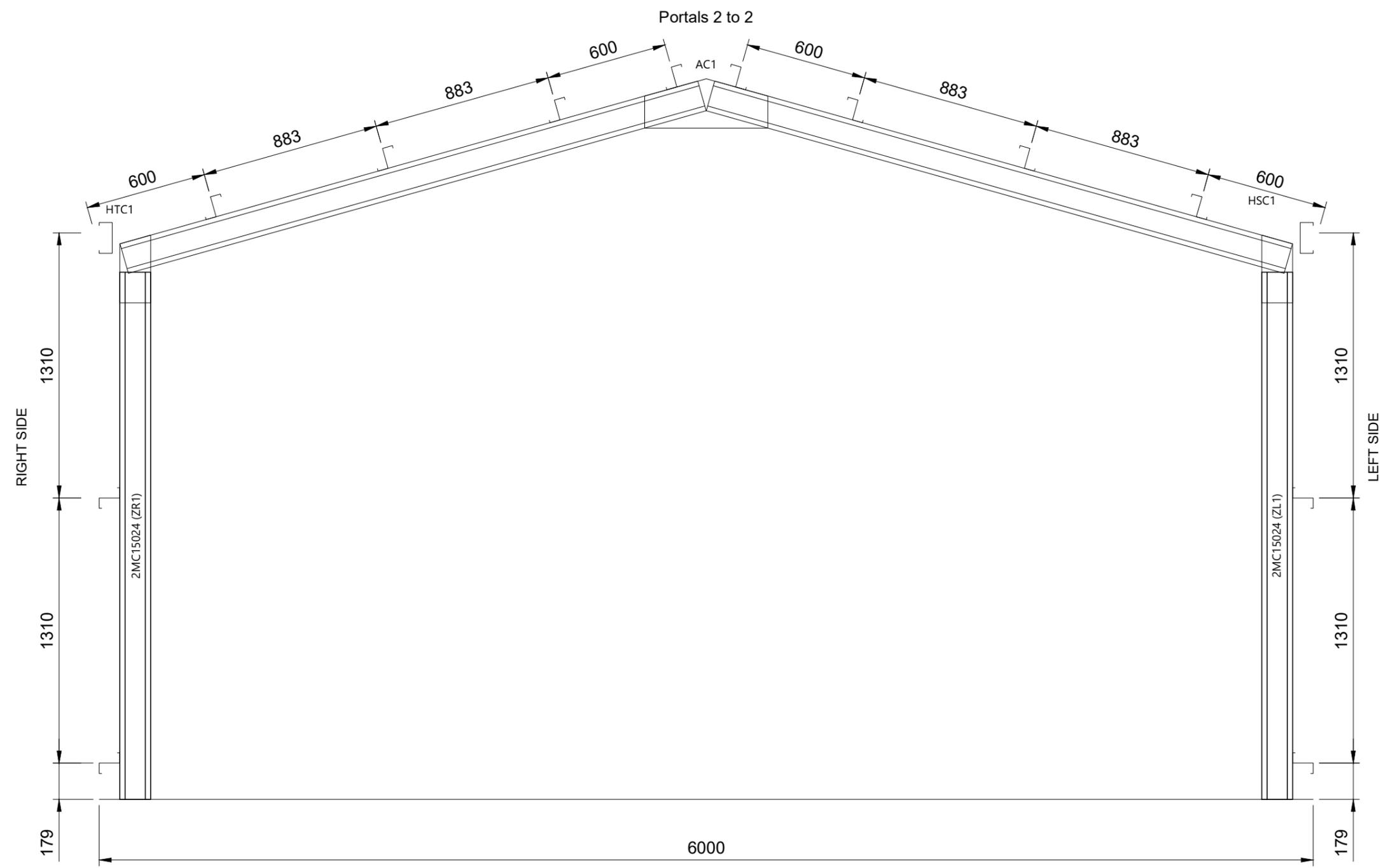
Page 1 of 4  
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Seller: Sheds n Homes Launceston  
Name: Segel Pty Ltd  
Phone: 0437 120 410  
Fax:  
Email: ian.thomson@shedsnhomes.com.au

Apex Engineering Group PTY LTD  
ACN 632 588 562  
MIE Aust. (Registered NER Structural) 5276680  
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;  
Practising Professional Structural & Civil Engineers

Signature:  John Ronaldson  
Date: 18/11/2025

Notes:  
 Brackets are not shown. Refer to Specification Details  
 for more information. Opening members not labeled.

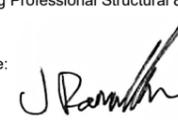


Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith	
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
			Drawing # SLAN250168 - 11	Print Date: 22/10/2025

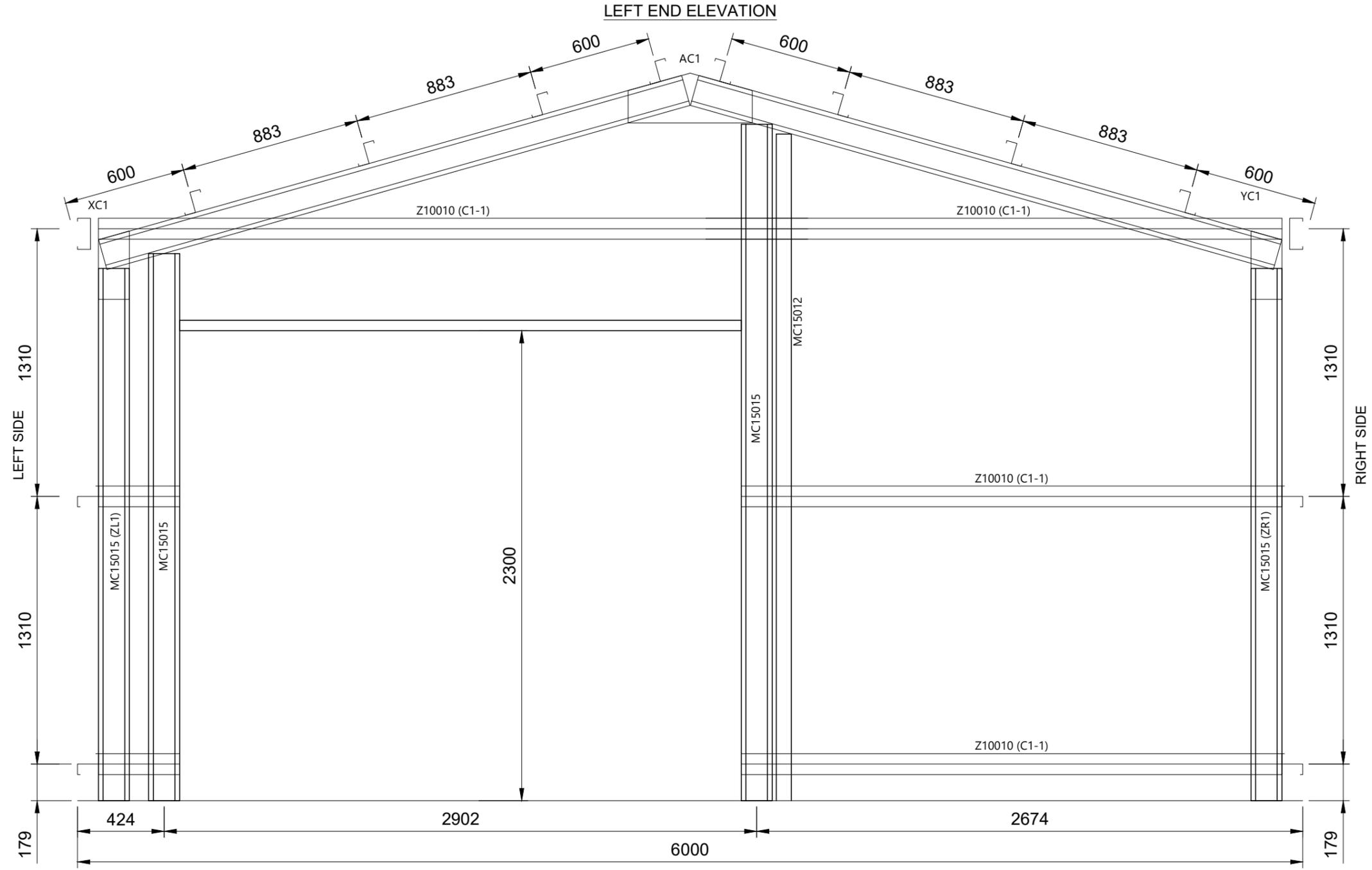
**Purlin and Girt Plan**  
  
 NOT TO SCALE  
 Page 2 of 4  
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Seller: Sheds n Homes Launceston  
 Name: Segel Pty Ltd  
 Phone: 0437 120 410  
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Signature:  John Ronaldson  
 Date: 18/11/2025

Notes:  
 Brackets are not shown. Refer to Specification Details for more information. Opening members not labeled.



Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith	
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
			Drawing # SLAN250168 - 11	Print Date: 22/10/2025

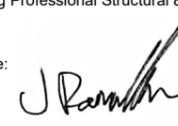
Purlin and Girt Plan

NOT TO SCALE

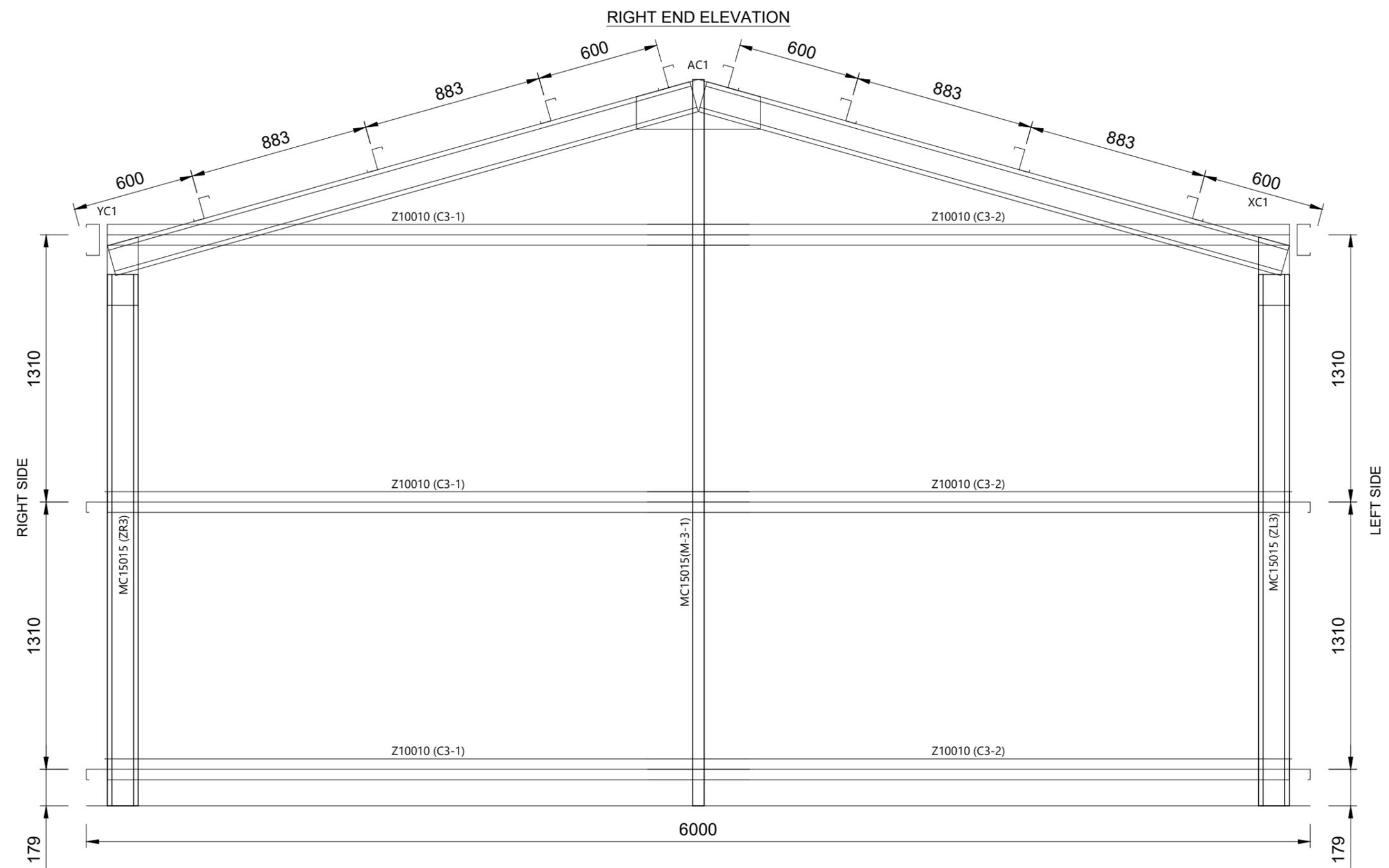
Page 3 of 5  
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Notes:  
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Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith	
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
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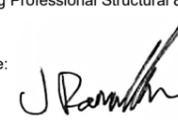
**Purlin and Girt Plan**

NOT TO SCALE

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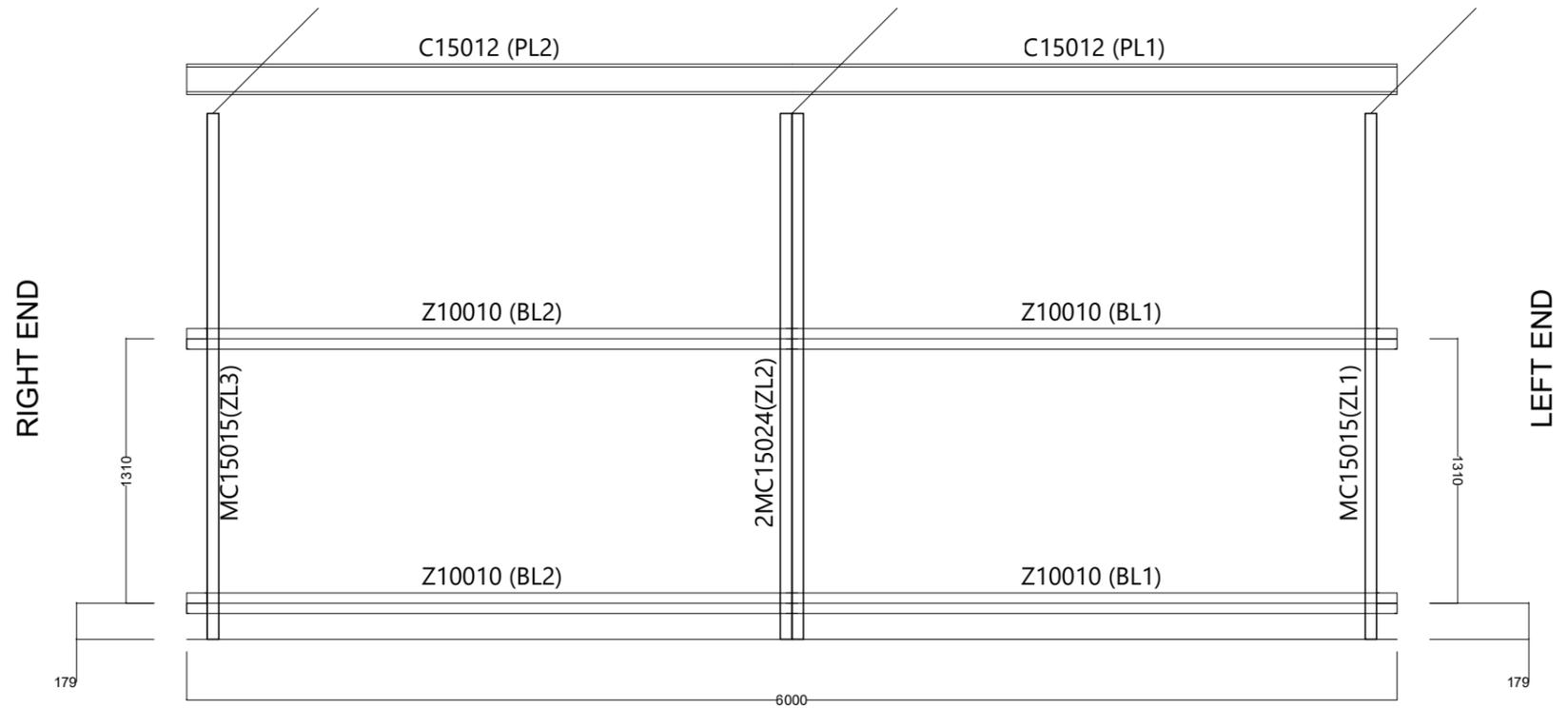
Seller: Sheds n Homes Launceston  
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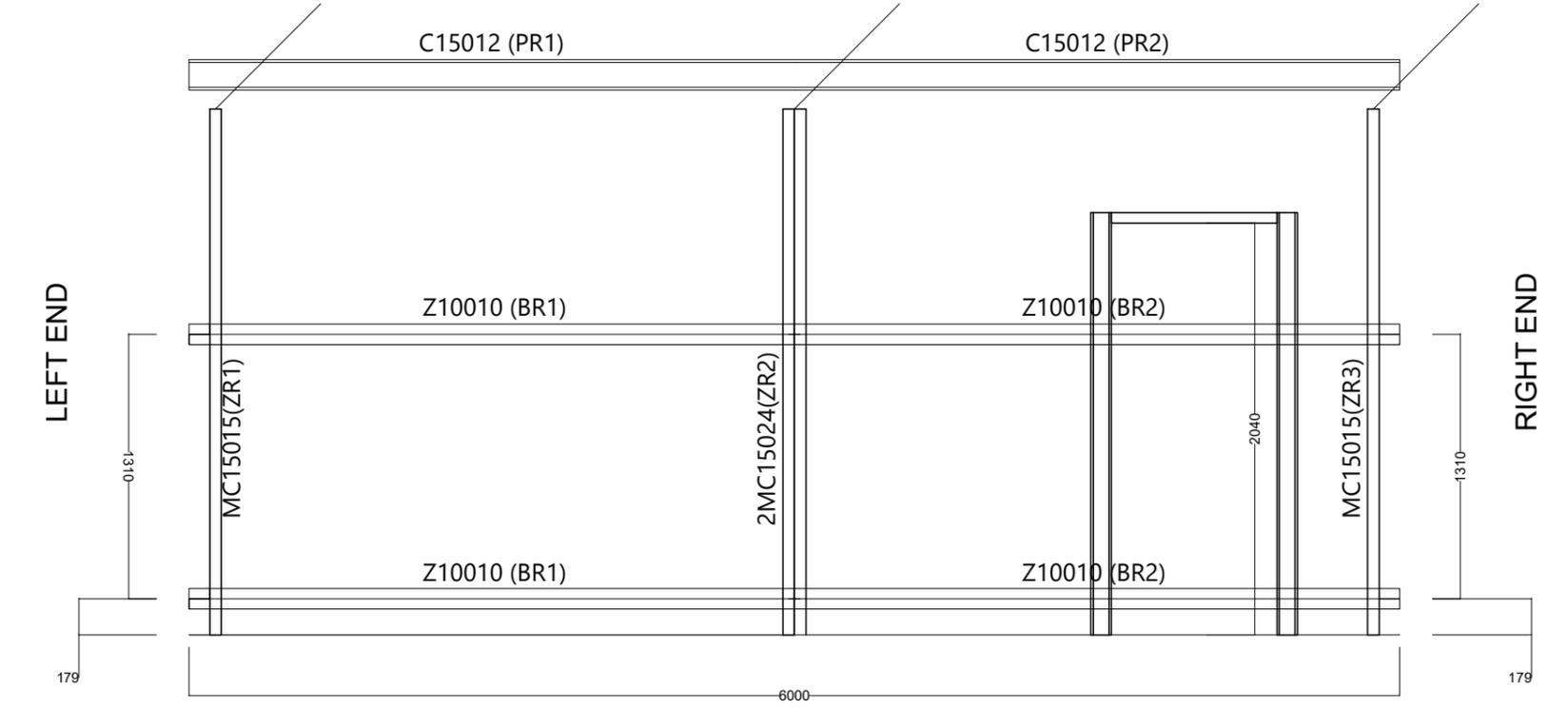
Signature:  John Ronaldson  
 Date: 18/11/2025

**LEFT ELEVATION**

Notes:  
Brackets are not shown. Refer to Specification Details for more information. Opening members not labeled.



**RIGHT ELEVATION**



Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith	
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
			Drawing # SLAN250168 - 11	Print Date: 22/10/2025

**Purlin and Girt Plan**

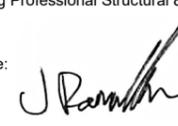
NOT TO SCALE

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Practising Professional Structural & Civil Engineers

Signature:  John Ronaldson  
Date: 18/11/2025

## GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

## DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

## ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- \*Provision of Soils Report for the site and in the building area on which the building is to be erected
- \*Site Plan and Drainage Plans
- \*Any other plans not covered by these engineering plans requested by the local Council or the authority

## RAINWATER AND DRAINAGE

All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose.

## BUILDING CONSTRUCTION REQUIREMENTS

The Builder and Purchaser are to ensure that all construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

It is the responsibility of the builder to ensure that they are familiar with the operational risks and their obligations in carrying out construction work.

The builder must ensure that they have an appropriate Health & Safety Plan (The Plan) compliant with and as required by their local, state and federal regulations. The Plan will need to take into account the site conditions, the size of the building and the experience of the construction personnel. The Plan will, most likely, differ for each project.

The builder must ensure that The Plan is adhered to. Particular attention should be paid to the requirements to ensure that any person working at heights are properly trained and following the requirements as set out by The Plan.

It is recommended that you check with the appropriate authority in your area as to your responsibilities.

## TEMPORARY SUPPORT, LIFTING AND SHORING

The design of temporary propping shoring, lifting and support during construction has not been undertaken and is not included in our engagement. This work is the responsibility of the Contractor undertaking the construction of the building.

## SLAB AND/OR PIER DETAILS - GENERAL

- \* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the top of the slab.\* Where columns or end wall mullions have been removed, piers are not required.
- \* End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- \* The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.
- \* Footings and slabs, including internal and edge beams, must be founded on natural soil with a minimum allowable bearing pressure of 100kPa. Design covers soil classifications of A, S, M, H1 or H2 for a class 10a building.
- \* The footing designs have been calculated with cohesion values of 0kPa, 50kPa and 100kPa for dense sandy soils and clay soils only.
- \* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- \* Site conditions different to those specified require a modified design.
- \* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- \* Designs are in accordance with AS 3600:2018
- \* All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- \* Concrete should be cured for 7 days before commencing construction of the building.

Concrete Slab

For Class A, S or M Sites

- \* Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.
- \* Concrete piers under Roller Doors Jambes to be a minimum size as below: MC15015 - 300mm dia x 375mm deep, centered to the C Section
- Where heavy traffic is to go through the roller doors, it is recommended that the slab edge should be thickened to 200mm deep by 300mm wide for the length between the mullions. Place an additional section of SL 72 mesh, 50mm from the base in all thickenings.

For Class H1 or H2 Sites

- \* Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.
- \* Perimeter beams 550mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.
- \* Internal beams 550mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max spacing of 4m.
- \* Concrete piers under Roller Doors Jambes to be a minimum size as below: MC15015 - 300mm dia x 500mm deep, centered to the C Section

Concrete Piers Only

For Class A, S or M Sites

- \* Concrete piers under Roller Door Jambes to be a minimum size as below: MC15015 - 300mm dia x 750mm deep, centered to the C Section

For Class H1 or H2 Sites

- \* Concrete piers under Roller Door Jambes to be a minimum size as below: MC15015 - 300mm dia x 1000mm deep, centered to the C Section

## SHEETED PORTALS AND MULLIONS

All end wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

## BRACING NOTES

- \* Refer to Connection Details.
- \* All Cross Bracing is achieved with 32 mm x 1.2 mm strap G450.
- \* Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- \* Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:
  - C150 - maximum 1800mm spacing
  - C200, C250 - maximum 2200mm spacing
  - C300 - maximum 2800mm spacing
  - C350 - maximum 2800mm spacing
  - C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

\* The first fly brace is to be placed at the purlin/girt closest to the haunch or top of the mullion.\* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

## BOLTS

- \* Unless otherwise nominated, all bolts are grade 4.6

Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith		General Notes	Seller: Sheds n Homes Launceston Name: Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers		
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia					Page 1 of 2 ©Copyright Steelx IP Pty Ltd	Signature:  John Ronaldson Date: 18/11/2025
			Drawing # SLAN250168 - 2	Print Date: 22/10/2025					

\* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

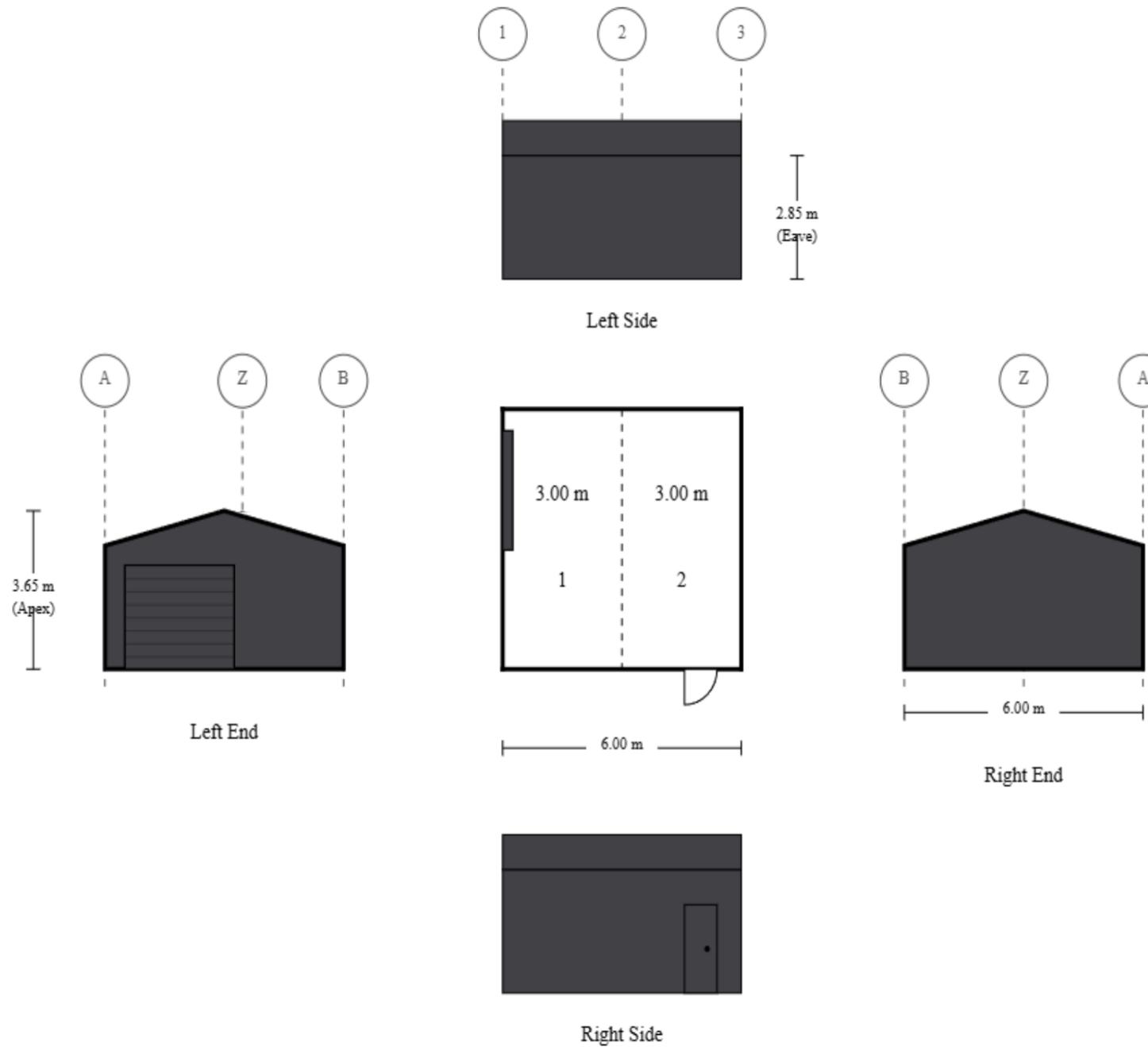
ROLLER DOORS

All Roller doors are NOT wind rated. All comments regarding roller doors are referenced from inside the building looking out.

OTHER MATERIALS NOTES

- \* All Sheeting, Flashing and framing screws are Climaseal 3.
- \* All purlin material has Z350 zinc coating with minimum strength of 450MPa.

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			Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia					Signature:  John Ronaldson
			Drawing # SLAN250168 - 2	Print Date: 22/10/2025				



Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 3

Print Date: 22/10/2025

**Layout**  
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Practising Professional Structural & Civil Engineers

Signature:  Date: John Ronaldson  
Date: 18/11/2025

## MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

### Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	6	6	15 °	2.85	A - B	1 - 3

### Portal Frame Elements

Grid / Portal Number		1	2	3
Columns	A	MC15015	2MC15024	MC15015
	B	MC15015	2MC15024	MC15015
Rafters	A - Apex	MC15012	2MC15019	MC15012
	Apex - B	MC15012	2MC15019	MC15012
End Wall Mullions	Z	MC15012	-	MC15015

### Bay Section Elements

Bay Number		1	2
Bay Widths		3	3
Roof Purlins (refer to Purlin And Girt Plan)		Z100	Z100
Roof Purlin Spacing (End)	A - Apex	0.6	0.6
	Apex - B	0.6	0.6
Roof Purlin Spacing (Internal Spans)	A - Apex	0.728	0.728
	Apex - B	0.728	0.728
Eave Purlin	A	C15012	C15012
	B	C15012	C15012
Side Girts (refer to Purlin And Girt Plan)		Z100	Z100
Side Girts Spacing (End)	A	1.31	1.31
	B	1.31	1.31
Side Girts Spacing (Internal)	A	1.31	1.31
	B	1.31	1.31
PA Door Header	B	-	C10010
PA Door Jambs	B	-	C10012

### End Bay Section Elements

Grid / Portal Number		1	3
End Girts (refer to Purlin And Girt Plan)		Z100	Z100
End Girts Spacing (End)	A - Z	1.31	1.31
	Z - B	1.31	1.31
End Girts Spacing (Internal)	A - Z	1.31	1.31
	Z - B	1.31	1.31
Roller Door Header	A - Z	HEADER2	-
	Z - B	-	-
Roller Door Jambs	A - Z	MC15015	-
	Z - B	-	-

Revision	Date	Initial		
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Purchaser Name: Ben & Alisha Smith	
			Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
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## Material Specification Sheet

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Practising Professional Structural & Civil Engineers

Signature:  John Ronaldson  
Date: 18/11/2025

**MATERIAL SPECIFICATIONS**

For further information regarding the tabulated values shown, refer to the General Notes

Roller Door

Location - Side & Bay Number	LeftEnd 1
Roller Door Size	2.4x2.75
Roller Door Header	HEADER2
Roller Door Jambs	MC15015
Roller Door Clip Config	0 clip
Roller Door Manufacturer	TAUREAN

PA Door

Location - Side & Bay Number	RightSide 2
PA Door Header	C10010
PA Door Jambs	C10012
PA Door	2.040 x 0.820 - Larnec Shed Door - 4 Sided Frame - Single Skin - Pre-Hung - swing as per plan
PA Door Manufacturer	LARNEC

Cladding Elements

Category	Colour	Product
Roof Sheeting	Monument	CORODEK® 0.42 BMT
Roof Flashings	COLORBOND® steel	BlueScope 0.55 BMT
Wall Sheeting	Monument	TRIMCLAD® 0.42 BMT
Wall Flashing	COLORBOND® steel	BlueScope 0.55 BMT

Pier Sizes

Cohesion	Soil Description	Diameter	Depth - with Slab			Reinforcement (1)	Min Depth for Reo (2)
			BP1	BP2	BP3		
0kPa	Sandy Soil	0.3	0.45	1.5	0.45	4-N12	1.2
		0.45	0.45	0.45	0.45	N/A	1.2
		0.6	0.45	0.45	0.45	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	0.7	0.7	0.45	4-N12	1
		0.45	0.7	0.7	0.45	4-N12	1.2
		0.6	0.7	0.7	0.45	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	0.7	0.7	0.45	4-N12	0.9
		0.45	0.7	0.7	0.45	4-N12	1.2
		0.6	0.7	0.7	0.45	4-N16	1.2
		Embedment Depth	0	0	0	N/A	N/A

Note 1  
For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.  
Minimum side cover 75mm, maximum 100mm.  
Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2  
No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith	Material Specification Sheet	Seller: Sheds n Homes Launceston Name: Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers
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**MATERIAL SPECIFICATIONS**

For further information regarding the tabulated values shown, refer to the General Notes

Pier Sizes

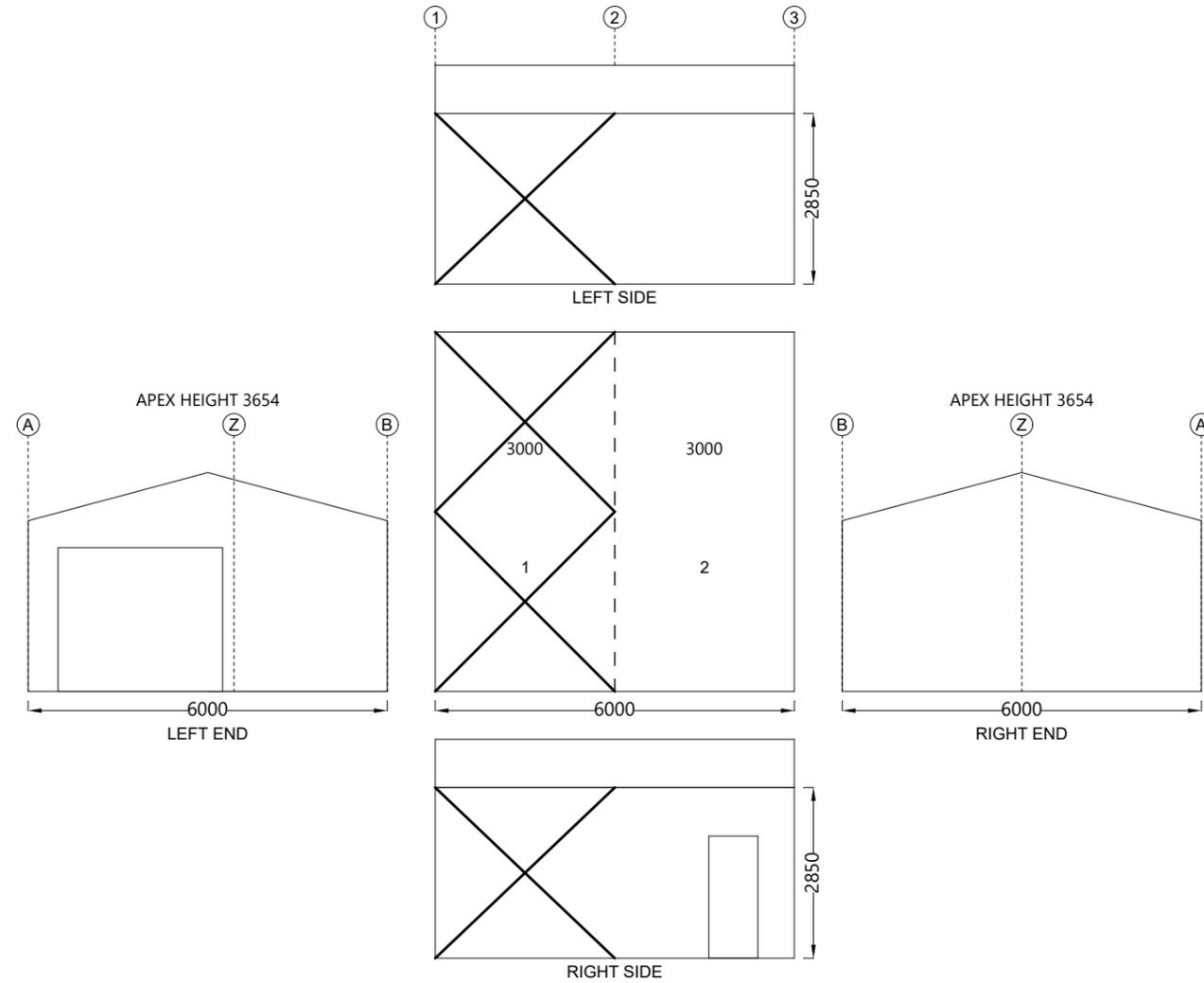
Cohesion	Soil Description	Diameter	Depth - when NO Slab				Reinforcement (1)	Min Depth for Reo (2)
			BP1	BP2	BP3	BP4		
0kPa	Sandy Soil	0.3	0.9	1.5	0.7	0.8	4-N12	1.2
		0.45	0.6	0.9	0.6	0.7	N/A	1.2
		0.6	0.6	0.7	0.6	0.6	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	1.2	1.4	1.2	1.3	4-N12	0.7
		0.45	1.2	1.4	1.2	1.3	4-N12	1
		0.6	1.2	1.4	1.2	1.3	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	1.2	1.2	1.1	1.2	4-N12	0.6
		0.45	1.2	1.2	1.1	1.2	4-N12	0.9
		0.6	1.2	1.2	1.1	1.2	4-N16	1
		Embedment Depth	0	0	0	0	N/A	N/A

Note 1  
 For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.  
 Minimum side cover 75mm, maximum 100mm.  
 Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2  
 No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith		<b>Material Specification Sheet</b>  Page 3 of 3 ©Copyright Steelx IP Pty Ltd	Seller: Sheds n Homes Launceston Name: Segel Pty Ltd Phone: 0437 120 410 Fax: Email: ian.thomson@shedsnhomes.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers  Signature:  John Ronaldson Date: 18/11/2025
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			Drawing # SLAN250168 - 4	Print Date: 22/10/2025			

Cross Bracing is achieved with 32 mm x 1.2 mm strap. Refer to Connection Details.



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			Drawing # SLAN250168 - 5	Print Date: 22/10/2025

**Bracing**

NOT TO SCALE

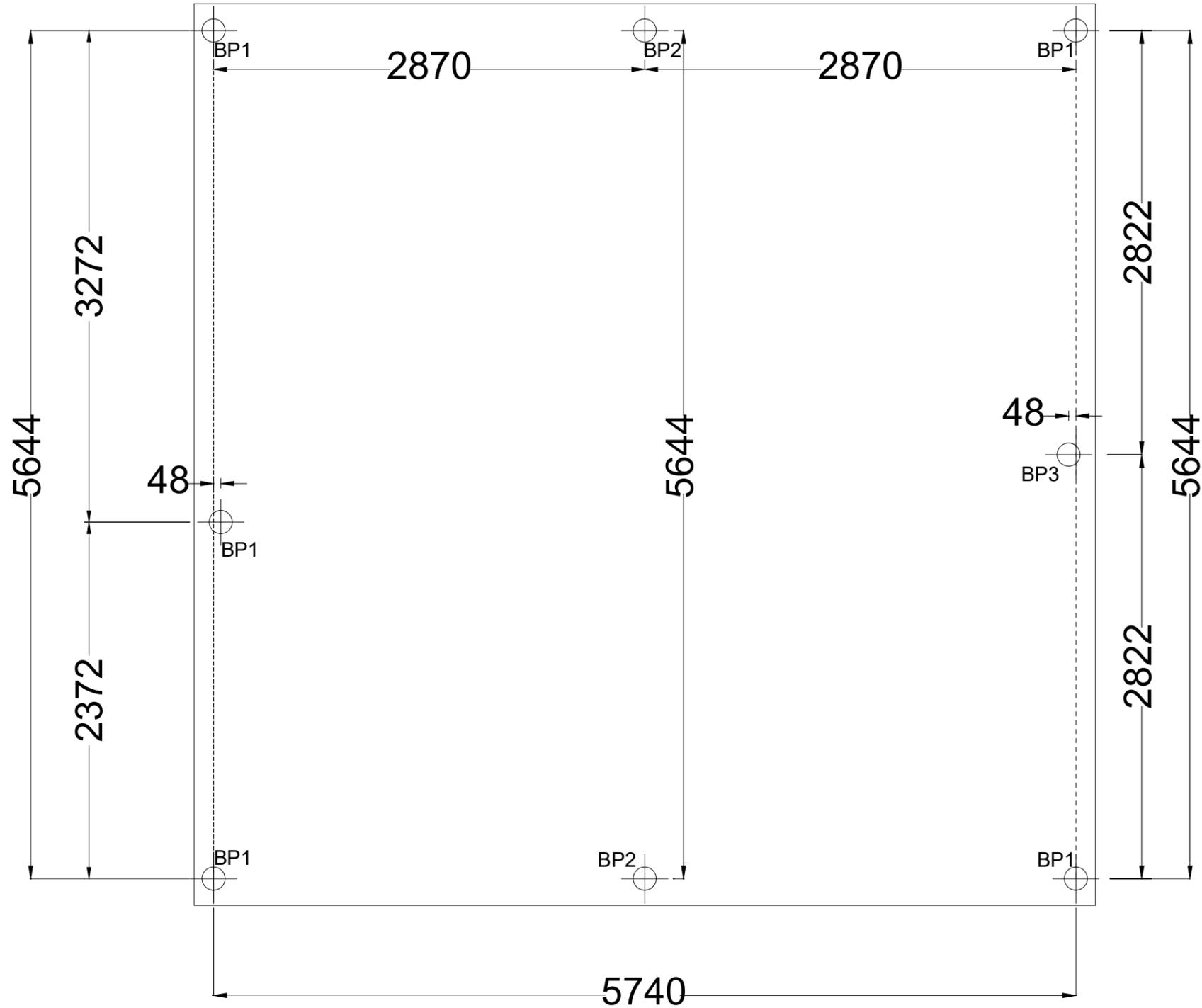
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Signature:  John Ronaldson  
 Date: 18/11/2025

Concrete Piers (Slab)  
 These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.  
 Refer to Material Specification Sheet(s) for the Pier Sizes.

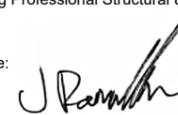


Revision	Date	Initial	Purchaser Name: Ben & Alisha Smith	
Member Size/Spacing Design for Snow Load	18/11/2025	MCP	Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
			Drawing # SLAN250168 - 6	Print Date: 22/10/2025

**Concrete Piers (Slab)**  
 PIER MEASUREMENT ONLY  
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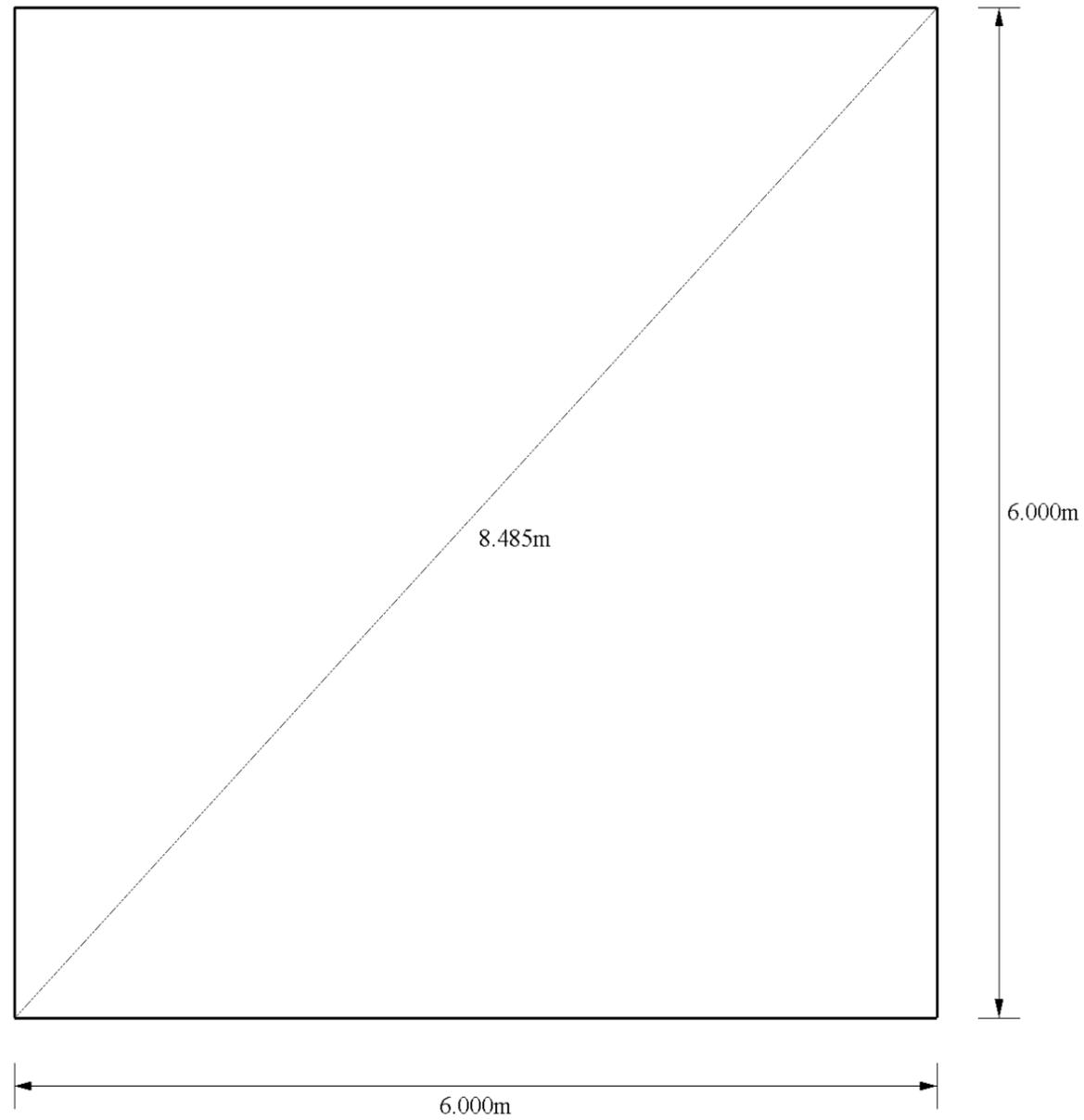
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Signature:  John Ronaldson  
 Date: 18/11/2025



These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 7

Print Date: 22/10/2025

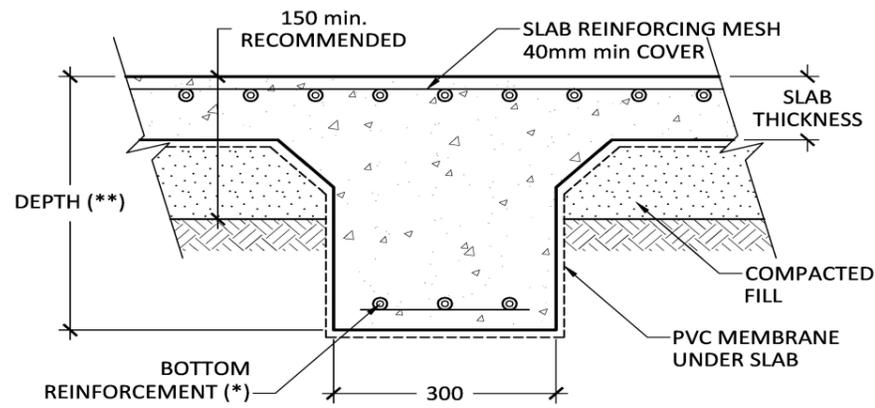
**Slab Dimensions**  
**Also refer to Concrete Piers Plan**  
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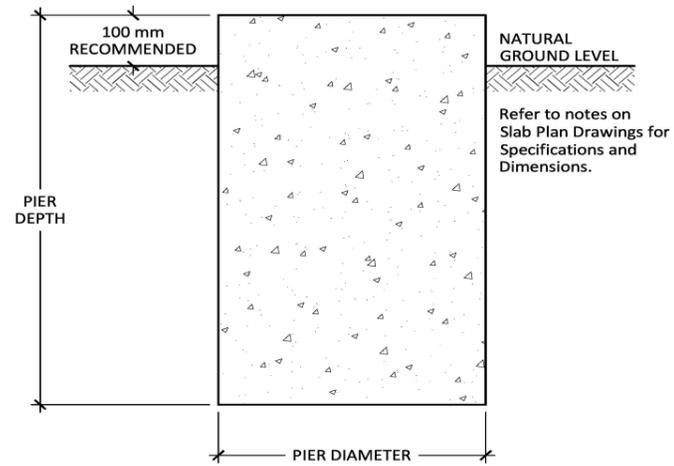
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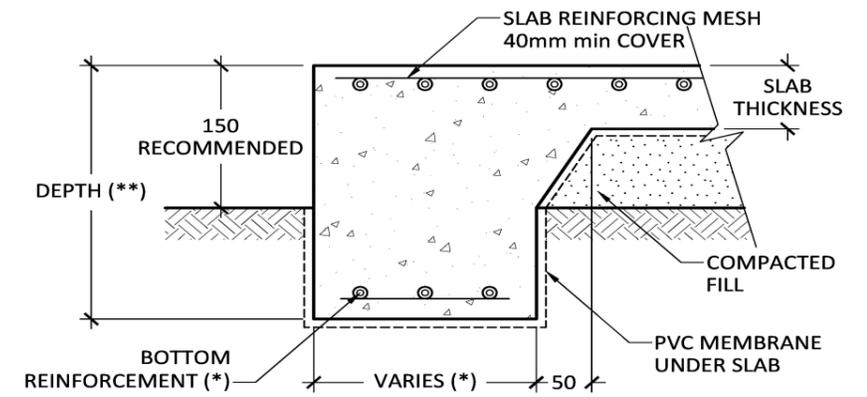


(\*\*) REFER TO GENERAL NOTES FOR DEPTHS  
(\*) REFER TO GENERAL NOTES FOR SPECIFICATION

**INTERNAL BEAM**  
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)

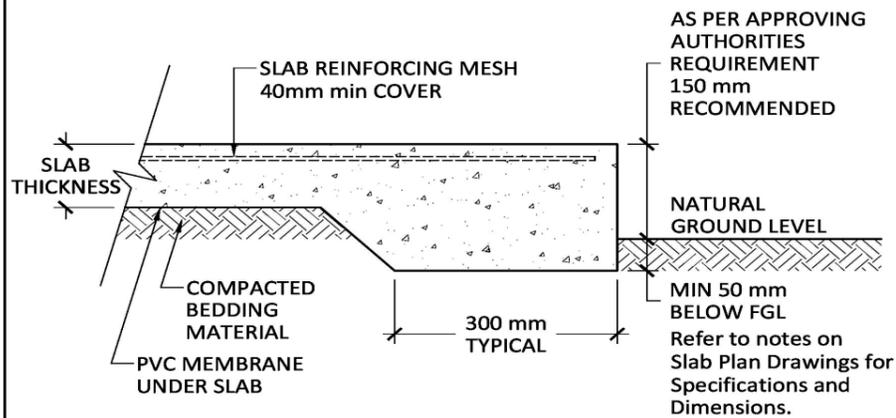


**BORED PIER**

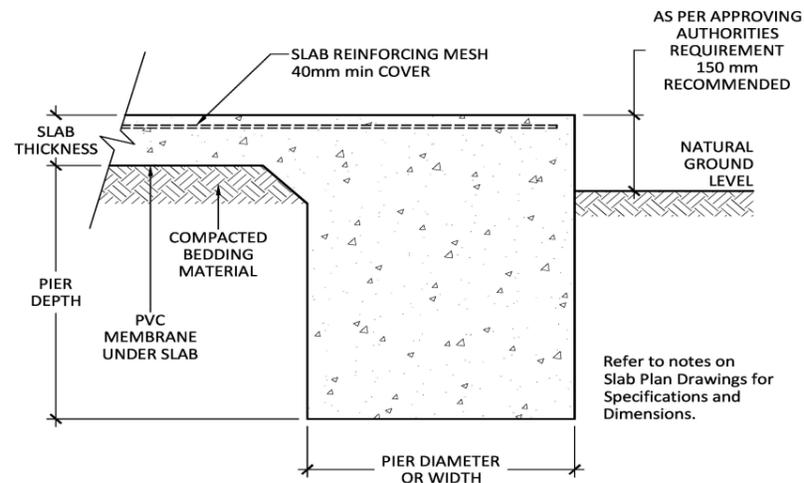


(\*\*) REFER TO GENERAL NOTES FOR DEPTHS  
(\*) REFER TO GENERAL NOTES FOR SPECIFICATION

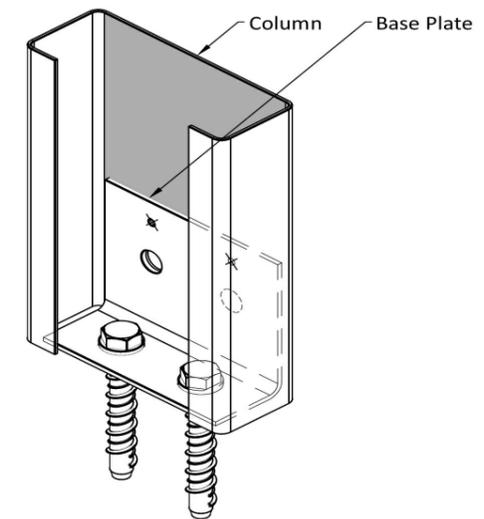
**PERIMETER BEAM**  
(H1 & H2 SOIL TYPE, OPTIONAL A, S & M)



**SLAB PERIMETER THICKENING BETWEEN PIER**  
A, S & M SOIL TYPES



**SLAB AND PIER DETAIL**



FOOTING BOLTS - 2 of M12 x 100 SCREWBOLTS  
○ FIXING BOLTS - 2 of M12 x 30 Galv.  
× FIXING SCREWS - 2 of 14.20 x 22

**C150 MULLION BASE PLATE (B)**

Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 8

Print Date: 22/10/2025

**Connection Details**

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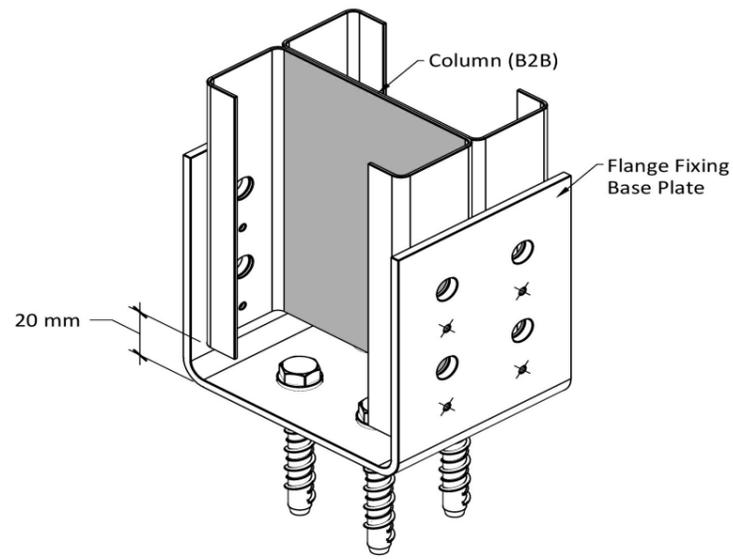
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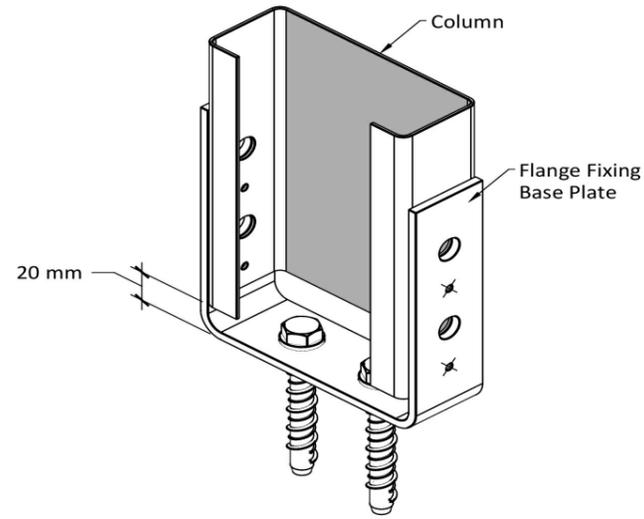
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Date: John Ronaldson

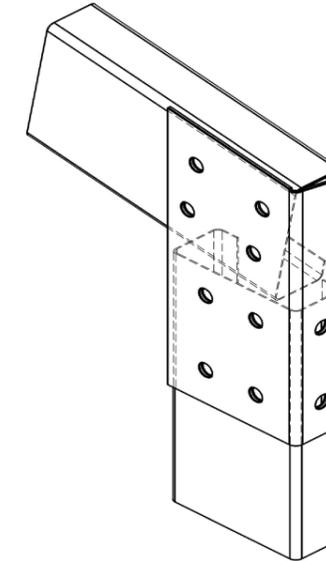
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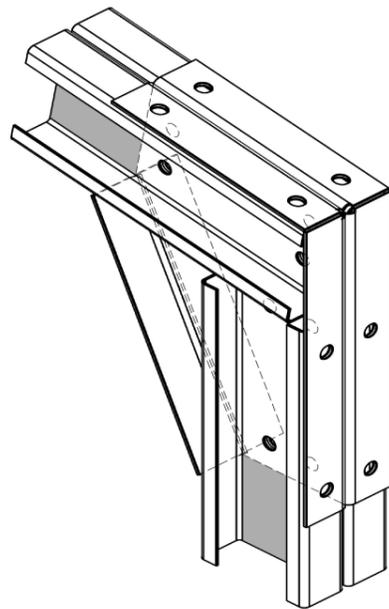
FOOTING BOLTS - 4 of M12 x 100 SCREWBOLT  
 ○ FIXING BOLTS - 8 of M12 x 30 Galv.  
 × FIXING SCREWS - 8 of 12.24 x 38 Series 500  
**2C150 COLUMN FIXING (BF)**



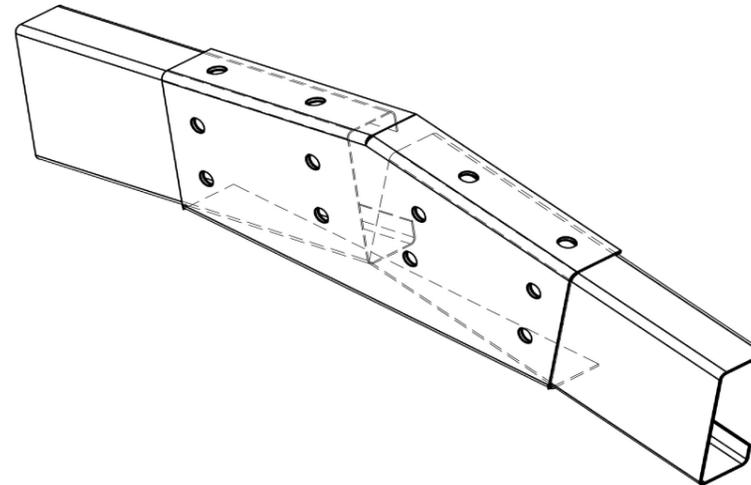
FOOTING BOLTS - 2 of M12 x 100 SCREWBOLT  
 ○ FIXING BOLTS - 4 of M12 x 30 Galv.  
 × FIXING SCREWS - 4 of 12.24 x 38 Series 500  
**C150 COLUMN FIXING (BF)**



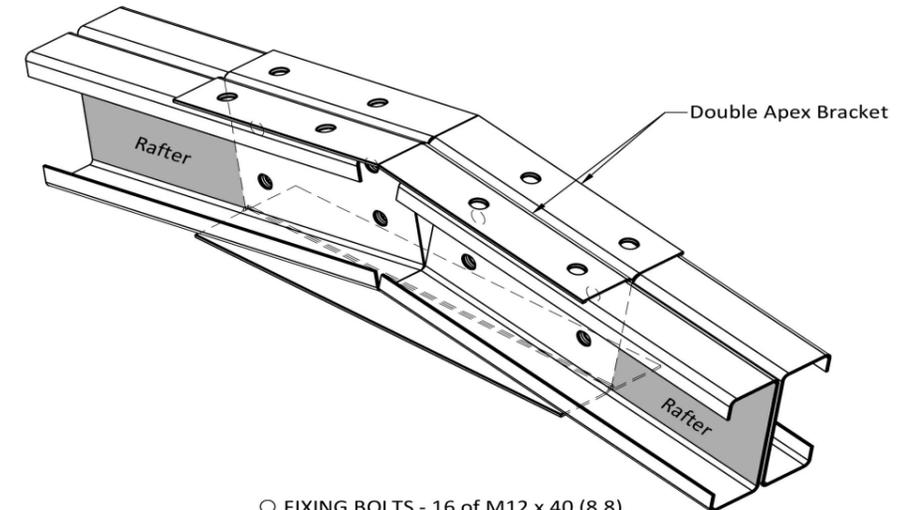
○ FIXING BOLTS - 10 of M12 x 30 (8.8)  
**FLAT PLATE HAUNCH BRACKET (X&Y) - C150, 15°**



○ FIXING BOLTS - 16 of M12 x 40 (8.8)  
**KNEE HAUNCH BRACKET (HS&HT) - 2C150, 15°**



○ FIXING BOLTS - 12 of M12 x 30 (8.8)  
**APEX PLATE (A) - C150, 15°**



○ FIXING BOLTS - 16 of M12 x 40 (8.8)  
**APEX BRACKET (A) - 2C150, 15°**

Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

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 Amended: 18/11/2025

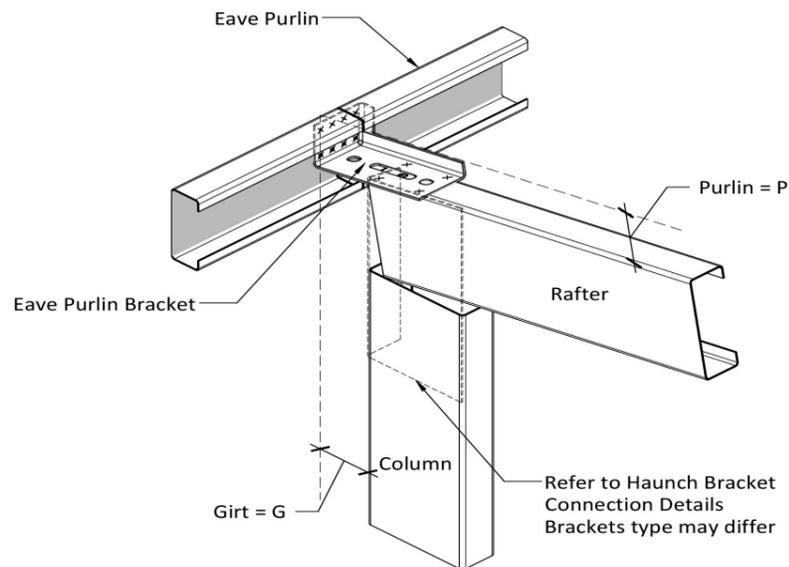
**Connection Details**

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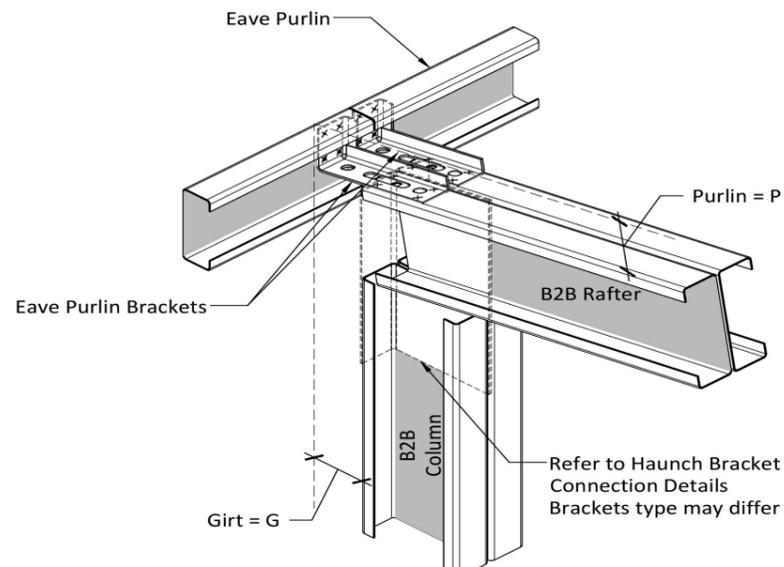
Apex Engineering Group PTY LTD  
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 ME Aust. (Registered NER Structural) 5276680  
 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;  
 Practising Professional Structural & Civil Engineers

Signature:  Date: John Ronaldson  
 Date: 18/11/2025



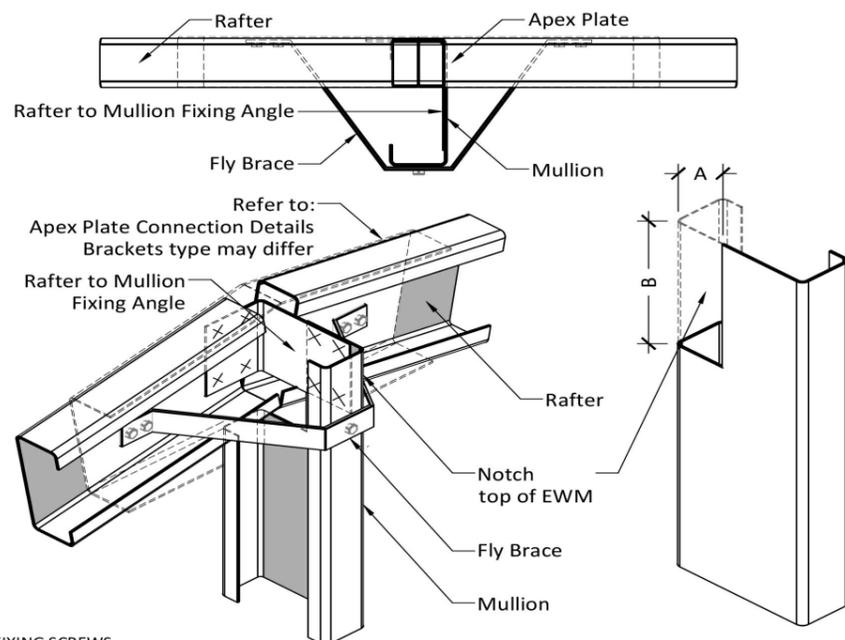
\* P/G - Z100 - TH120 - Z150  
 ○ FIXING BOLTS - 1 of M12 x 30  
 × FIXING SCREWS - 12 of 14.20 x 22

EAVE PURLIN BRACKET TO RAFTER



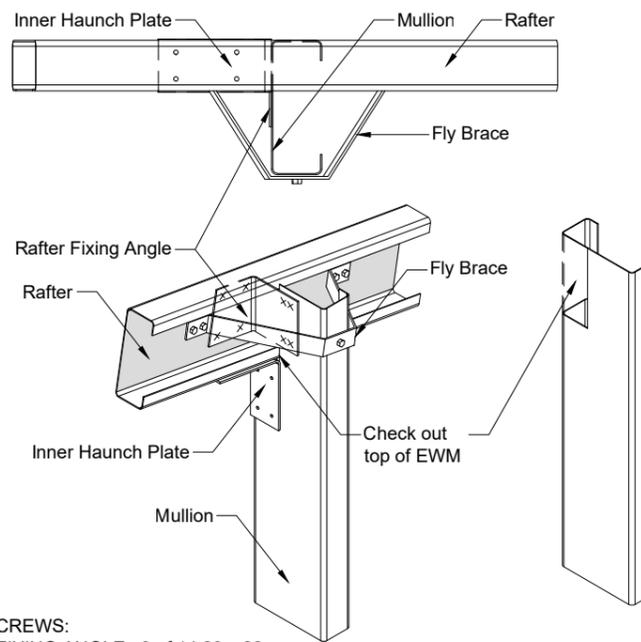
\* P/G - Z100 - TH120 - Z150  
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 × FIXING SCREWS - 16 of 14.20 x 22

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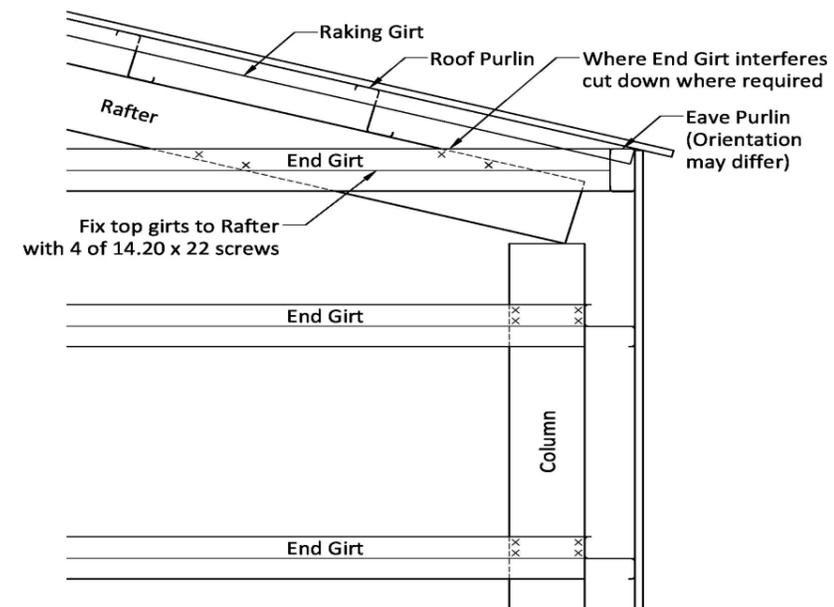
FIXING SCREWS:  
 RAFTER TO MULLION FIXING ANGLE - 8 of 14.20 x 22  
 FLY BRACE - 5 of 14.20 x 22

END WALL MULLION TO APEX



FIXING SCREWS:  
 RAFTER FIXING ANGLE - 8 of 14.20 x 22  
 INNER HAUNCH PLATE - 8 of 14.20 x 22  
 FLY BRACE - 5 of 14.20 x 22

END WALL MULLION TO RAFTER



GABLE END TOP END GIRT FIXING - Z

Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 8

Print Date: 22/10/2025  
 Amended: 18/11/2025

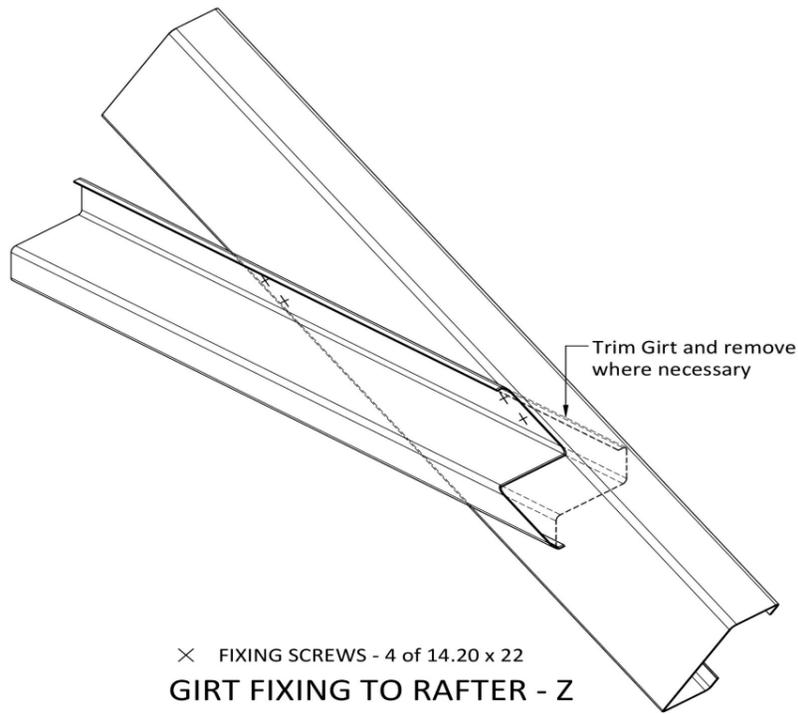
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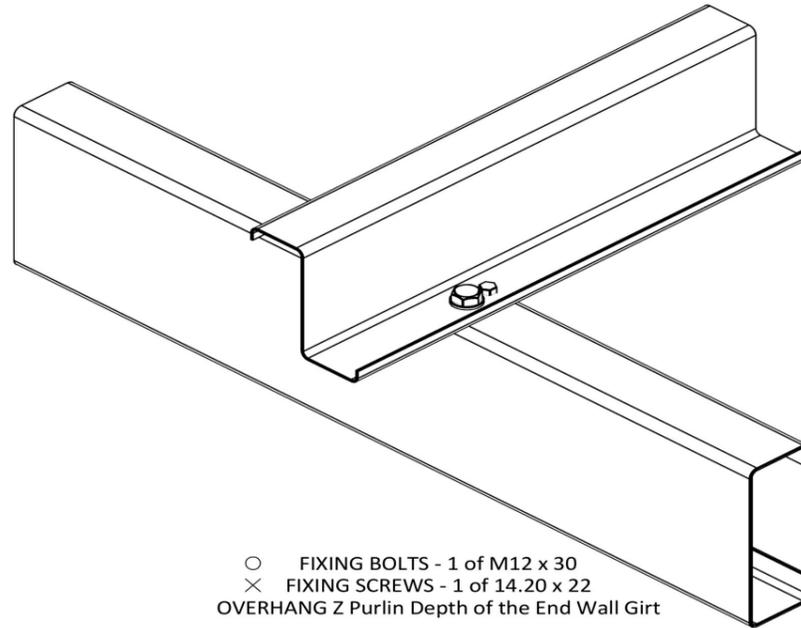
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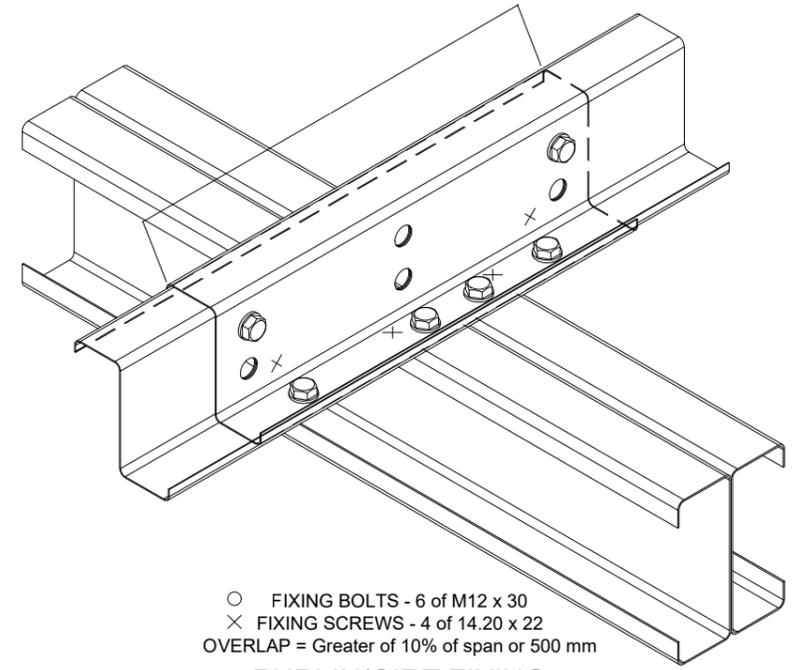
Signature: *J. Ronaldson* Date: John Ronaldson  
 Date: 18/11/2025



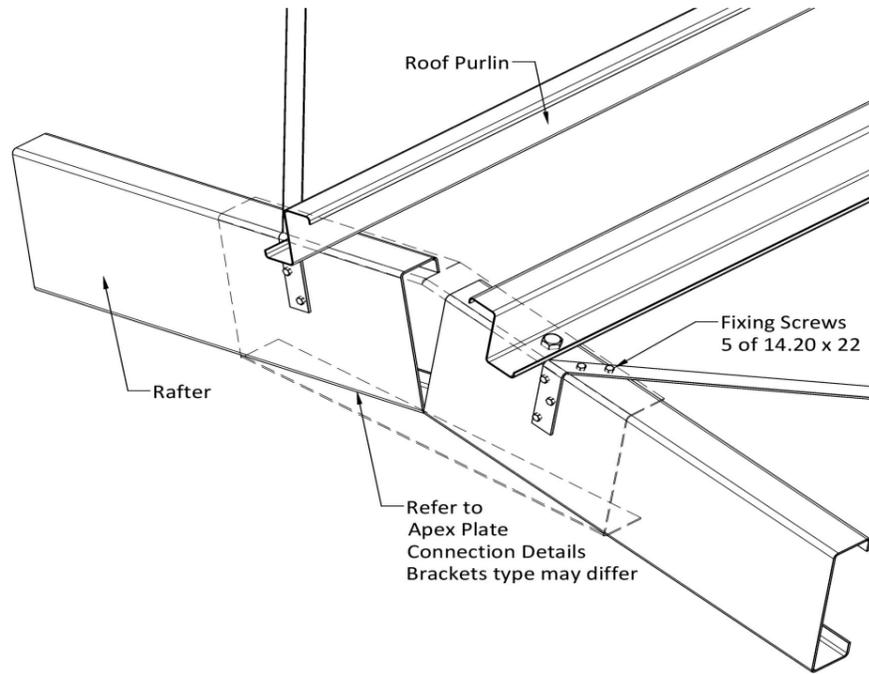
**GIRT FIXING TO RAFTER - Z**



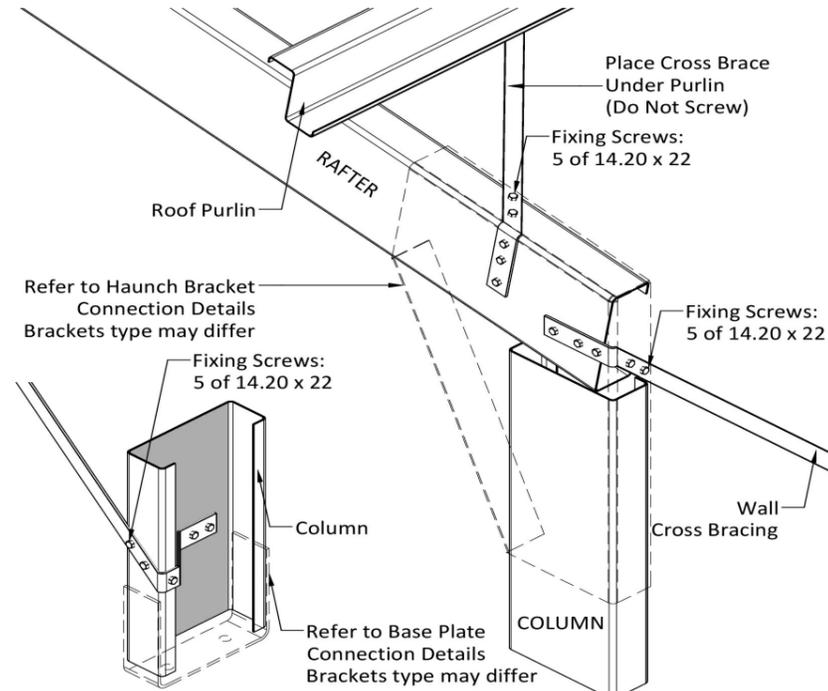
**PURLIN & SIDE GIRT END WALL FIXING  
 Z PURLIN - SINGLE COLUMN OR RAFTER**



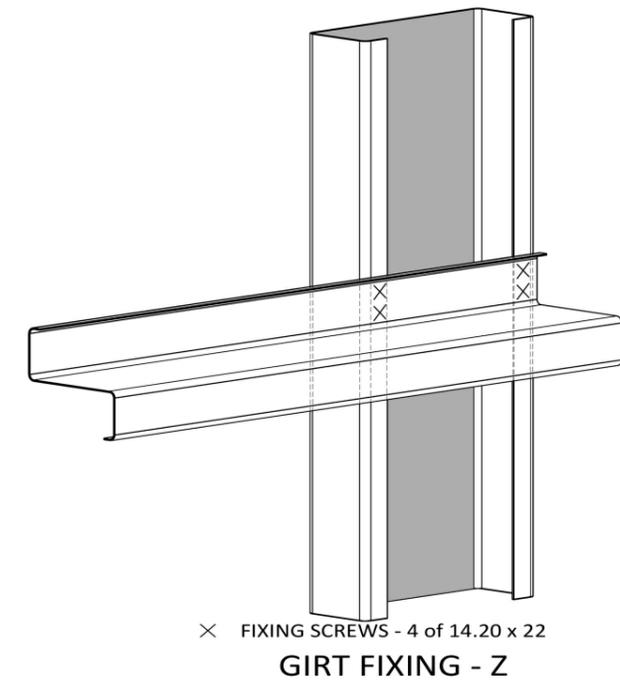
**PURLIN/GIRT FIXING  
 BACK TO BACK C SECTION COLUMNS OR RAFTERS**



**BRACING CONNECTION AT APEX**



**BRACING CONNECTION**



**GIRT FIXING - Z**

Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 8

Print Date: 22/10/2025  
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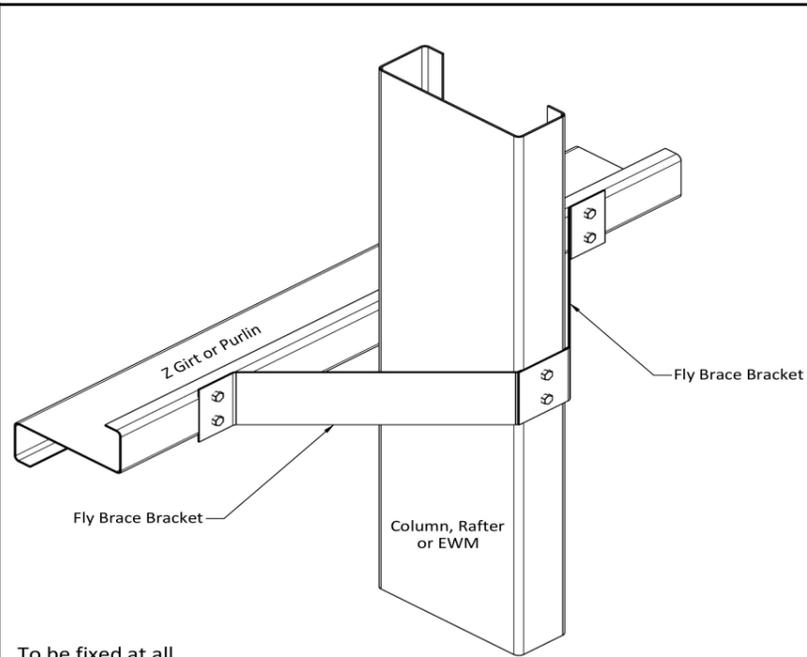
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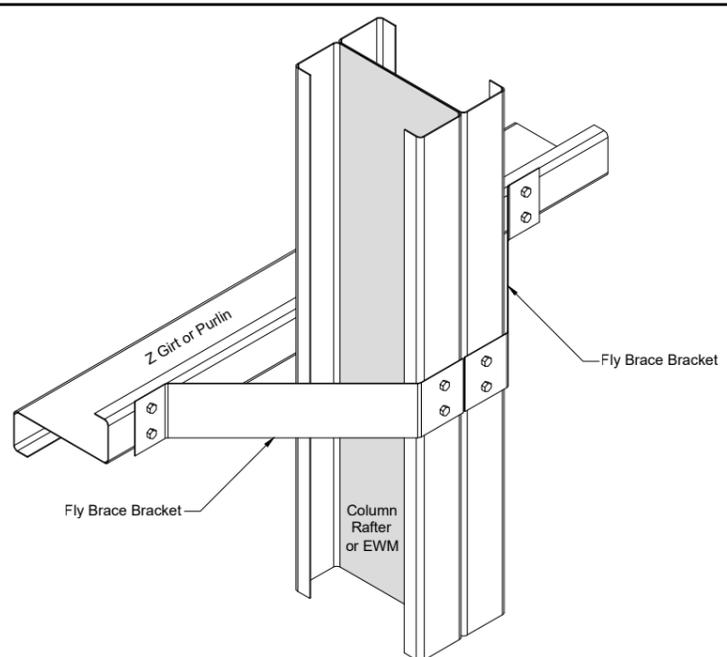
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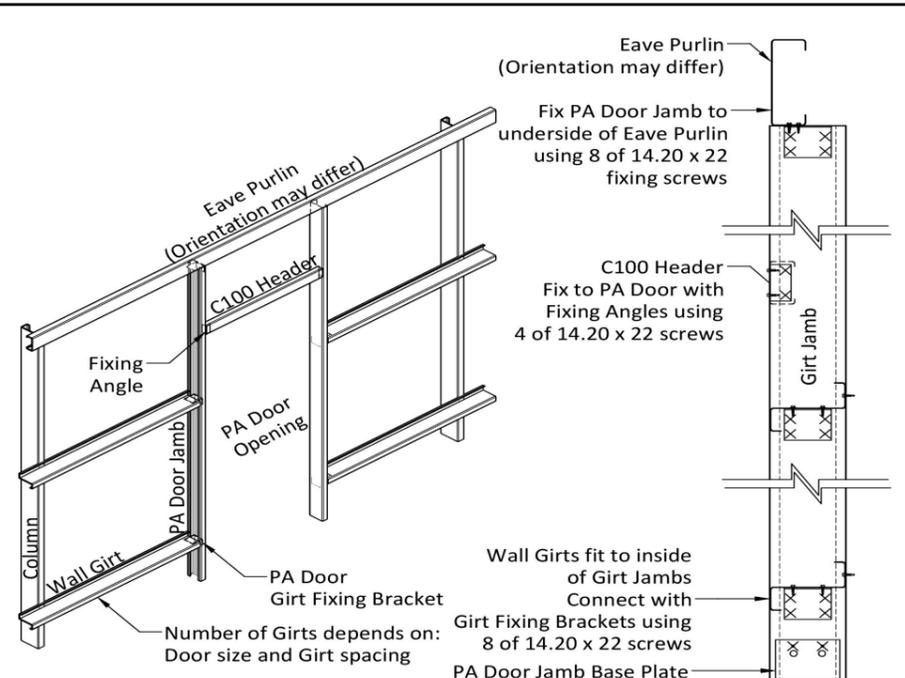
To be fixed at all Columns, Rafters & EWM where possible

FIXING SCREWS - 6 of 14.20 x 22  
**FLY BRACING BRACKET**

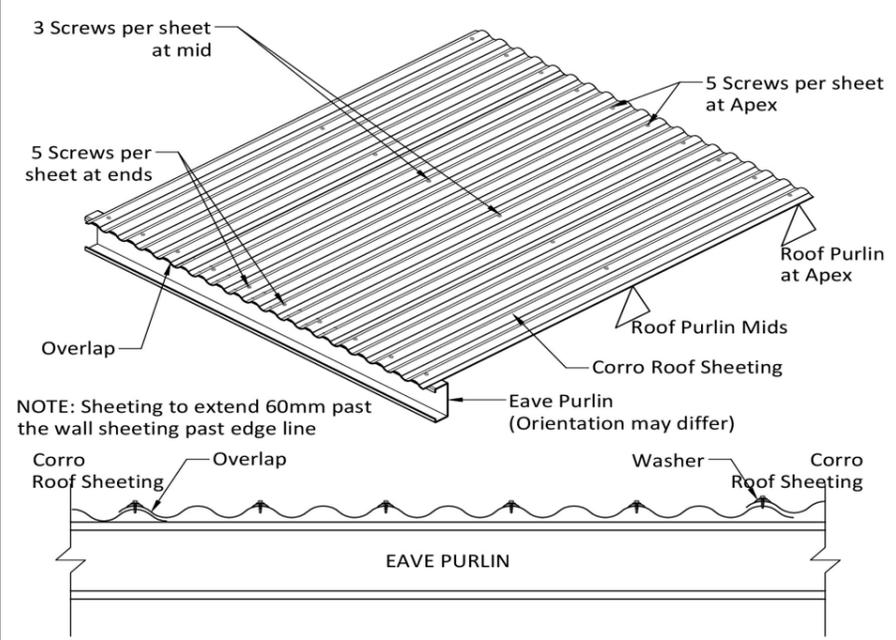


Refer to General Notes for spacing requirements

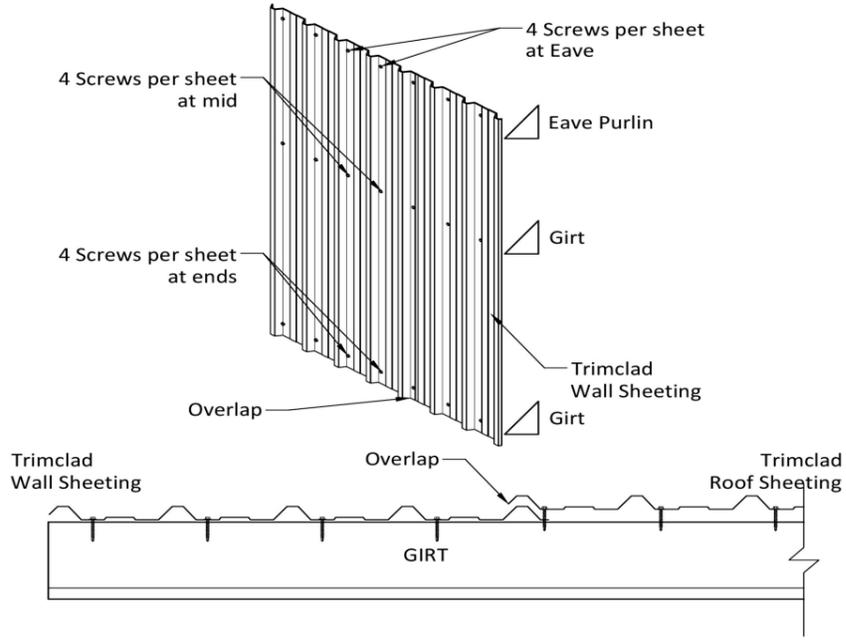
FIXING SCREWS - 8 of 14.20 x 22  
**FLY BRACING BRACKET**



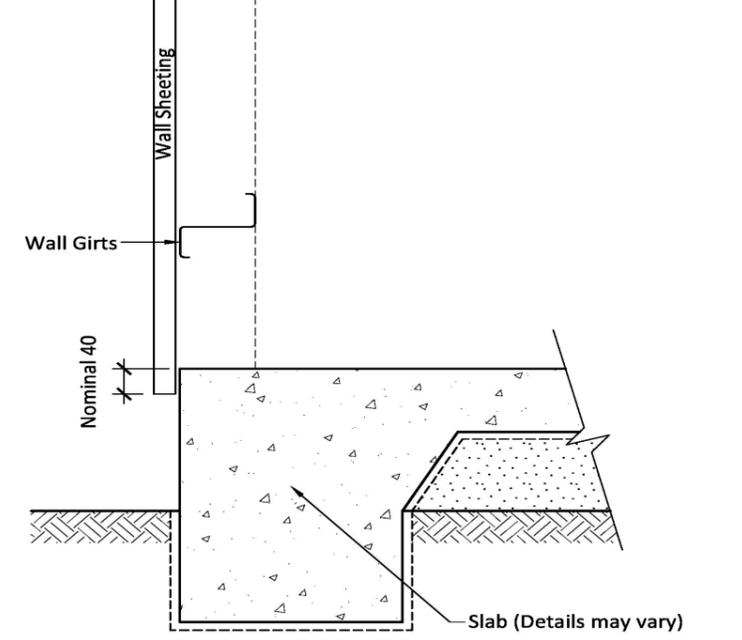
**PA DOOR (PRE HUNG) CONNECTION DETAIL**  
Note: Top of Door 2100 above GL



Roofing Screws - 12.14 x 42 Hex Seal High Grip  
**CORRO ROOF SHEET FIXING**



Wall Screws - 10.16 x 16 Hex  
**WALL SHEETING CONNECTION DETAILS**



**WALL SHEET OVERHANG DETAIL**

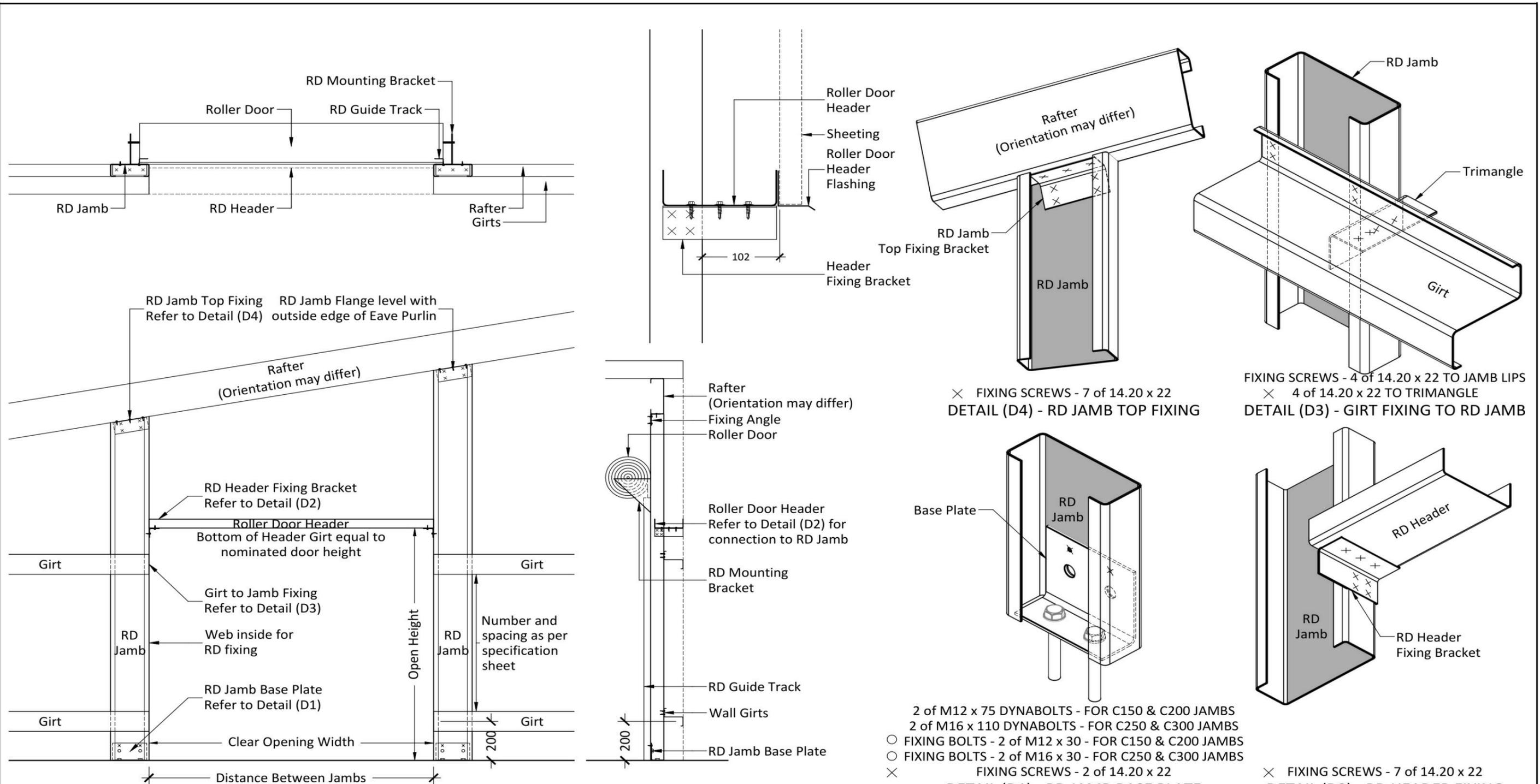
Purchaser Name: Ben & Alisha Smith	
Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia	
Drawing # SLAN250168 - 8	Print Date: 22/10/2025 Amended: 18/11/2025

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Signature: *J. Ronaldson* Date: John Ronaldson  
Date: 18/11/2025



**END WALL ROLLER DOOR - FIXED UNDER RAFTER**

Door Width	Max Opening
≤3.1m	Door Width -50mm
>3.1m or ≤5.1m	Door Width -100mm

Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 8

Print Date: 22/10/2025  
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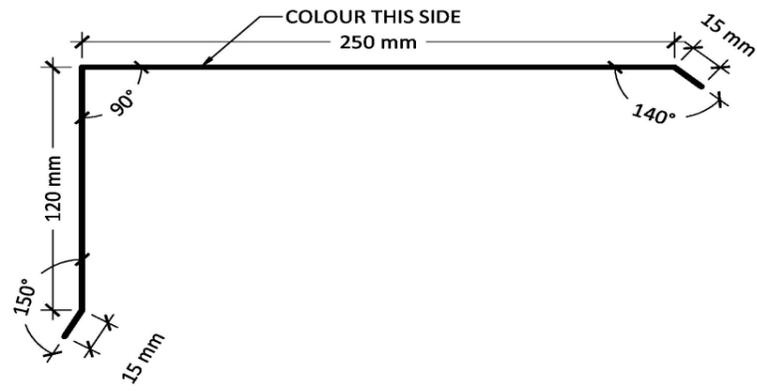
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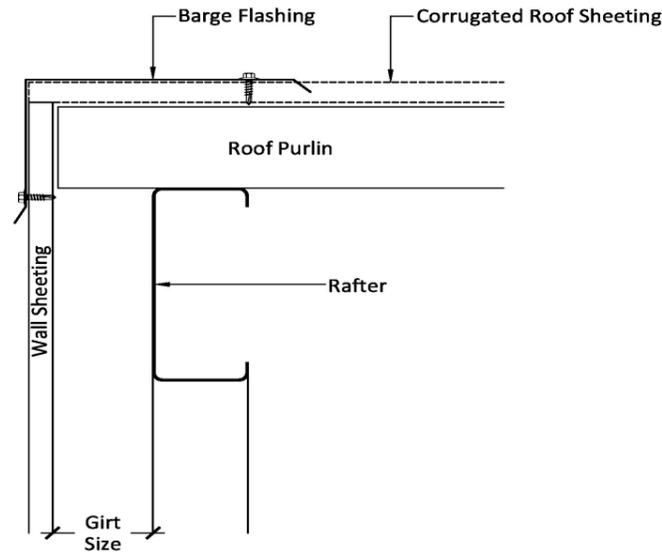
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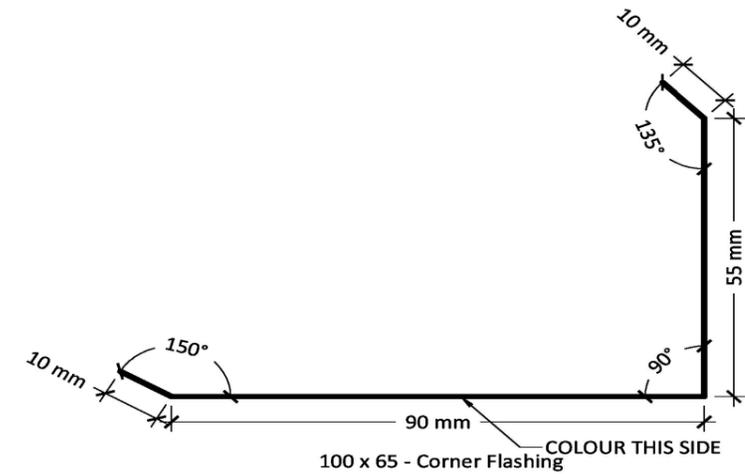
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Date: 18/11/2025



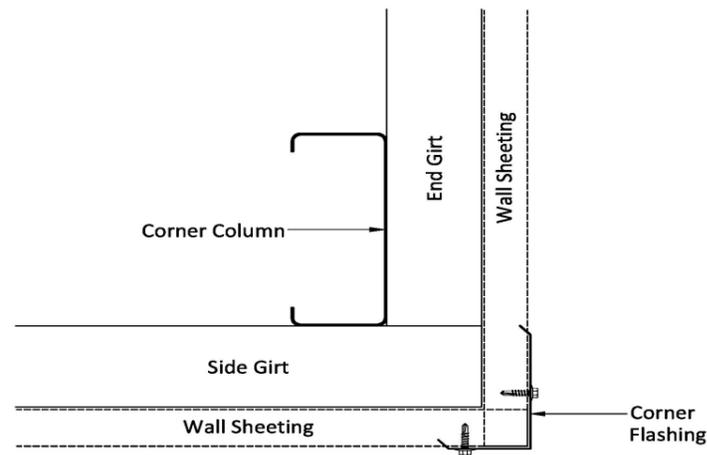
Barge Capping - Corodek TH64/Z100  
A-BARGE-1



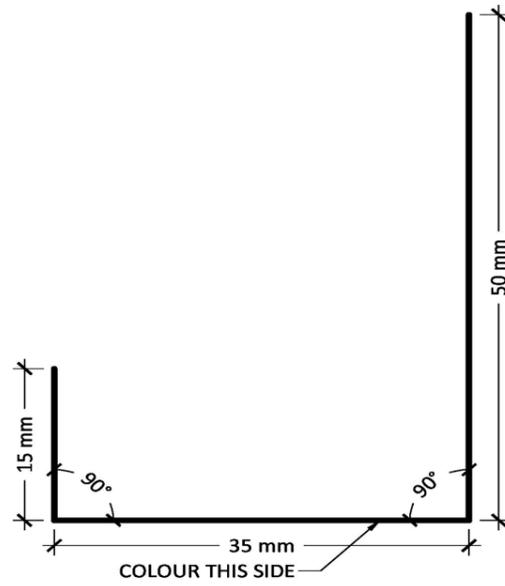
Barge Flashing - A-BARGE-1 - Sheeting Gable



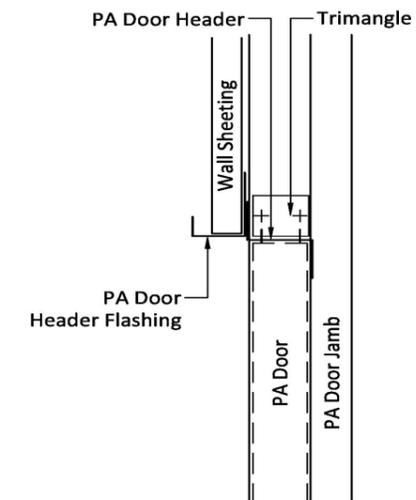
100 x 65 - Corner Flashing  
A-CNR-EXT-A-2



Corner Flashing - A-CNR-EXT-A-2



Drip Channel - Trimclad  
A-DRIP-C-2



PA Door Header Flashing - A-DRIP-C-2

Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 9

Print Date: 22/10/2025

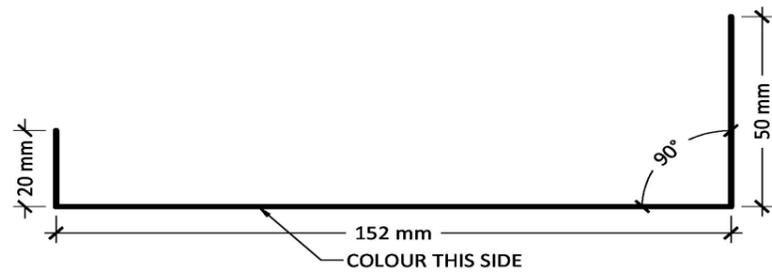
**Flashing Fixing Details**

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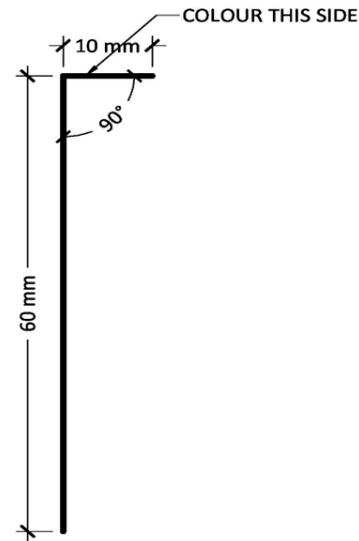
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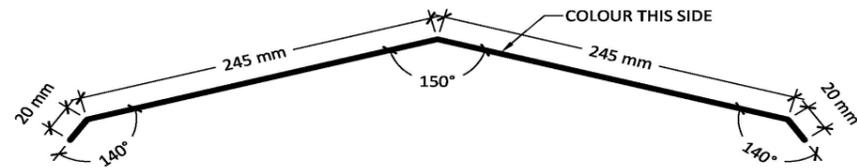
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Date: 18/11/2025



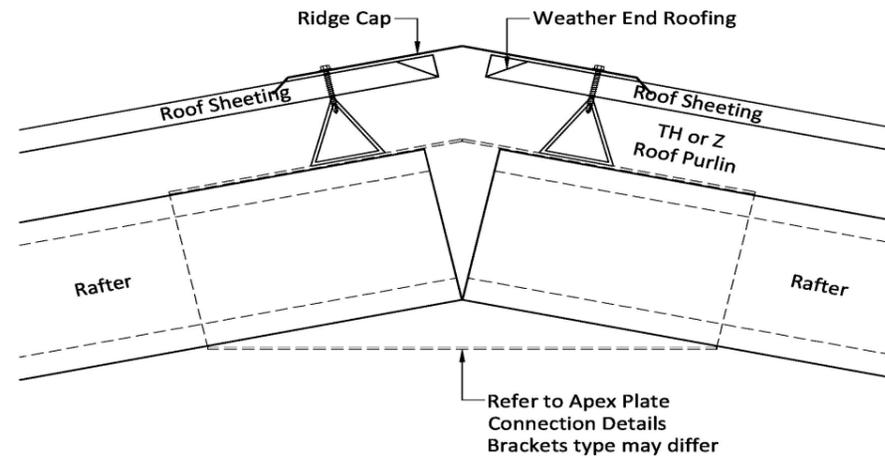
RD Head Cover Flashing  
A-RDH-C-1-0



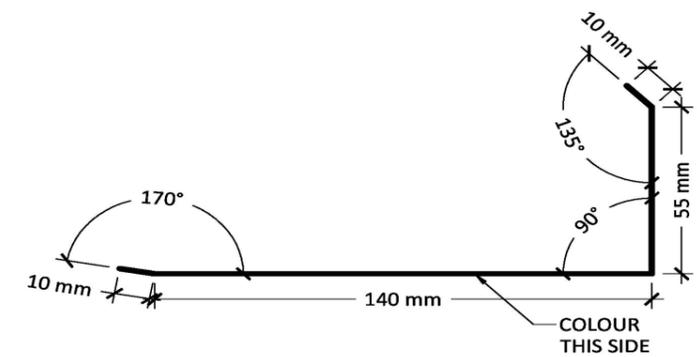
RD Side - Part B  
A-RDJAMB-B



15° Ridge Capping - Z - Corodek  
A-RIDGE-C-1-1



Ridge Cap - A-RIDGE-C-1-1



RD Jamb Inset Flashing - Part A  
Z100 Girt  
B-RDJAMB-I-A-0

Purchaser Name: Ben & Alisha Smith

Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia

Drawing # SLAN250168 - 9

Print Date: 22/10/2025

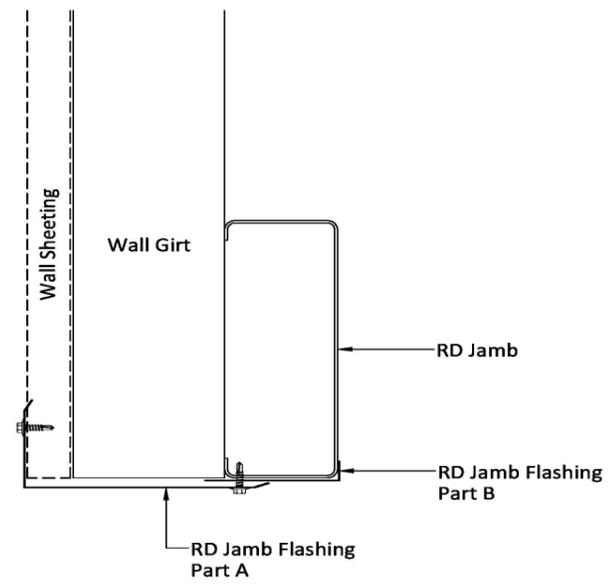
**Flashing Fixing Details**

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Roller Door Jamb Flashing - B-RDJAMB-I-A-0

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Site Location: 46 Dolerite Crescent Flintstone TAS 7030 Australia				
Drawing # SLAN250168 - 9	Print Date: 22/10/2025			



-  BUSHFIRE SITE ASSESSMENTS
-  BUSHFIRE REPORTS
-  HAZARD MANAGEMENT PLANS

PH: 0429 199 934  
www.reddogbushfire.com.au

VZ Designs Pty Ltd ABN 50 110 377 421 e: info@reddogbushfire.com.au PO Box 7647, Launceston

## BUSHFIRE ASSESSMENT

Client	Ben Smith	Volume/Folio Number	132569/23
Site	46 Dolerite Crescent, Flintstone	PID	1939642
Report By	Jason Van Zetten	Accreditation	BFP113
Date	22 <sup>nd</sup> June, 2020	Job Reference	7320



46 Dolerite Crescent Flintstone (reference 7320)

## Proposal

---

The proposal is to construct a dwelling on the site. This report has been prepared to determine scope and limitations ie. location of possible house site.

## Site Description

---

The site is located in the centre of the shack community of Flintstone on one of the few remaining vacant sites at the western end of Arthurs Lake.

In all directions of the proposal is typical central highland scrubland including closed heath, open heath and low shrub-land with a woodland/forest style mix of trees and large areas of rocky outcrops.

The site is predominantly flanked by pre-existing shacks/dwellings on smaller allotments to the north, east and west including Arthurs Lake to the north west.

## Water Supply

---

There is no reticulated water to the area and therefore fire fighting water supply will be required. This will require the installation of a water tank either steel or concrete with a capacity of 10,000 litres static water supply. The tank is to be fitted with Tas Fire approved 'storz' fittings as per the requirements set out by Tas Fire. Signage on the tank and on the access gate to the property will be required as per the Tas Fire Specifications attached. The tank is required to be installed at least 6 metres from the dwelling with access to the tank within 3 metres of an area suitable for fire truck access.

## Access

---

Access to the site is by an existing gravel crossover which is sufficient for fire truck access.

## Conclusion

---

With predominantly managed residential shacks and dwellings with minimal fuel load from the west, through north to the east and the lake predominantly to the north, there is minimal classifiable vegetations in these directions.

To the south (ie. the rear boundary) exists a large area of classifiable forest. Whilst this area has a mix of vegetations as per AS3959/2018 Table 2.3 including forest, woodland, shrub-land and scrub, the predominant classifiable vegetation is forest. After visual inspection of the site, with a large near sheet of rock to the rear and a minimum of 16 metres from the rear boundary to the start of bushfire prone vegetation, opportunity exists to consider reduction of BAL over this rock area due to it's inability to see vegetation exist. With AS3959/2018 2.2.3.2 exclusions – low threat vegetation and non-vegetated areas, specifically (e) non vegetated areas, that is areas permanently cleared of vegetation including rocky outcrops and based on the distances shown on the plan attached upon implementation of the bushfire hazard management plan (able to be completed after building design documentation is finalised) a BAL 29 classification can be achieved for this site.

## **BAL 29 to AS3959-2018**



## Bushfire Hazard Management Plan

---

The attached Bushfire Hazard Management Plan must be implemented prior to occupancy.

Failure to meet the requirements of this report may invalidate your insurance policy in the event of a bushfire.

The **entire site** is required to be maintained as per the plan and in line with AS3959/2018.

## Limitations

---

This report only deals with potential bushfire risk and all other statutory assessments are outside this report. All information provided was as at the time of inspection of the site, and this report is not to be used for further or future development of the site other than what has been provided by the plans attached. This report and/or management plan does not guarantee that the building will survive a bushfire.

## Bushfire Mapping

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At the time of writing this report there was no bushfire mapping available for this area on LISTmap.



## Bushfire Site Assessment

Vegetation classification AS3959	North	East	South	West
Group A	Forest	Forest	Forest	Forest
Group B	Woodland	Woodland	Woodland	Woodland
Group C	Shrub-land	Shrub-land	Shrub-land	Shrub-land
Group D	Scrub	Scrub	Scrub	Scrub
Group E	Mallee-Mulga	Mallee-Mulga	Mallee-Mulga	Mallee-Mulga
Group F	Rainforest	Rainforest	Rainforest	Rainforest
Group G	Grassland	Grassland	Grassland	Grassland
Predominant Feature			Forest	
Excluded	Residential shacks and dwellings, which are predominantly maintained & lake	Residential shacks and dwellings, which are predominantly maintained	Rock	Residential shacks and dwellings, which are predominantly maintained
Effective slope (degrees)	Up/0°	Up/0°	Up/0°	Up/0°
	>0-5°	>0-5°	>0-5°	>0-5°
	>5-10°	>5-10°	>5-10°	>5-10°
	>10-15°	>10-15°	>10-15°	>10-15°
	>15-20°	>15-20°	>15-20°	>15-20°
Distance to classified vegetation	NA	NA	0 metres	NA
Distance Required for Onsite Bushfire Hazard Management	NA	NA	NA	15 metres (see hazard management plan)
Likely direction of bushfire attack			South	West
Prevailing winds	North & West	North & West	North & West	North & West
BAL Value (FDI 50)	BAL – LOW	BAL – LOW	BAL – LOW	BAL – 29



## Appendix 1: General Overview of Bushfire Attack Level Classifications

<b>BAL – LOW</b>	<p><b>The risk is considered to be VERY LOW.</b> There is insufficient risk to warrant any specific construction requirements but there is still some risk.</p>
<b>BAL – 12.5</b>	<p><b>The risk is considered to be LOW.</b> There is a risk of ember attack. The construction elements are expected to be exposed to a heat flux not greater than 12.5 kW/m<sup>2</sup>.</p>
<b>BAL – 19</b>	<p><b>The risk is considered to be MODERATE.</b> There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m<sup>2</sup>.</p>
<b>BAL – 29</b>	<p><b>The risk is considered to be HIGH.</b> There is an increased risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to an increased level of radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 29 kW/m<sup>2</sup>.</p>
<b>BAL – 40</b>	<p><b>The risk is considered to be VERY HIGH.</b> There is a much increased risk of ember attack and burning debris ignited by windborne embers, a likelihood of exposure to a high level of radiant heat and some likelihood of direct exposure to flames from the fire front. The construction elements are expected to be exposed to a heat flux not greater than 40 kW/m<sup>2</sup>.</p>
<b>BAL – FZ</b>	<p><b>The risk is considered to be EXTREME.</b> There is an extremely high risk of ember attack and burning debris ignited by windborne embers, and a likelihood of exposure to an extreme level of radiant heat and direct exposure to flames from the fire front. The construction elements are expected to be exposed to a heat flux greater than 40 kW/m<sup>2</sup>.</p>



SEARCH OF TORRENS TITLE

VOLUME 132569	FOLIO 23
EDITION 5	DATE OF ISSUE 14-June-2022

SEARCH DATE : 08-Dec-2025

SEARCH TIME : 11.31 am

DESCRIPTION OF LAND

Parish of OOLUMPTA, Land District of WESTMORLAND  
 Lot 23 on Sealed Plan [132569](#)  
 Derivation : Part of 1183 Acres Granted to E Bisdee  
 Prior CT [129876/2](#)

SCHEDULE 1

[M815525](#) TRANSFER to BENJAMIN GEOFFREY SMITH and ALISHA JAN SMITH Registered 27-Apr-2020 at 12.01 pm

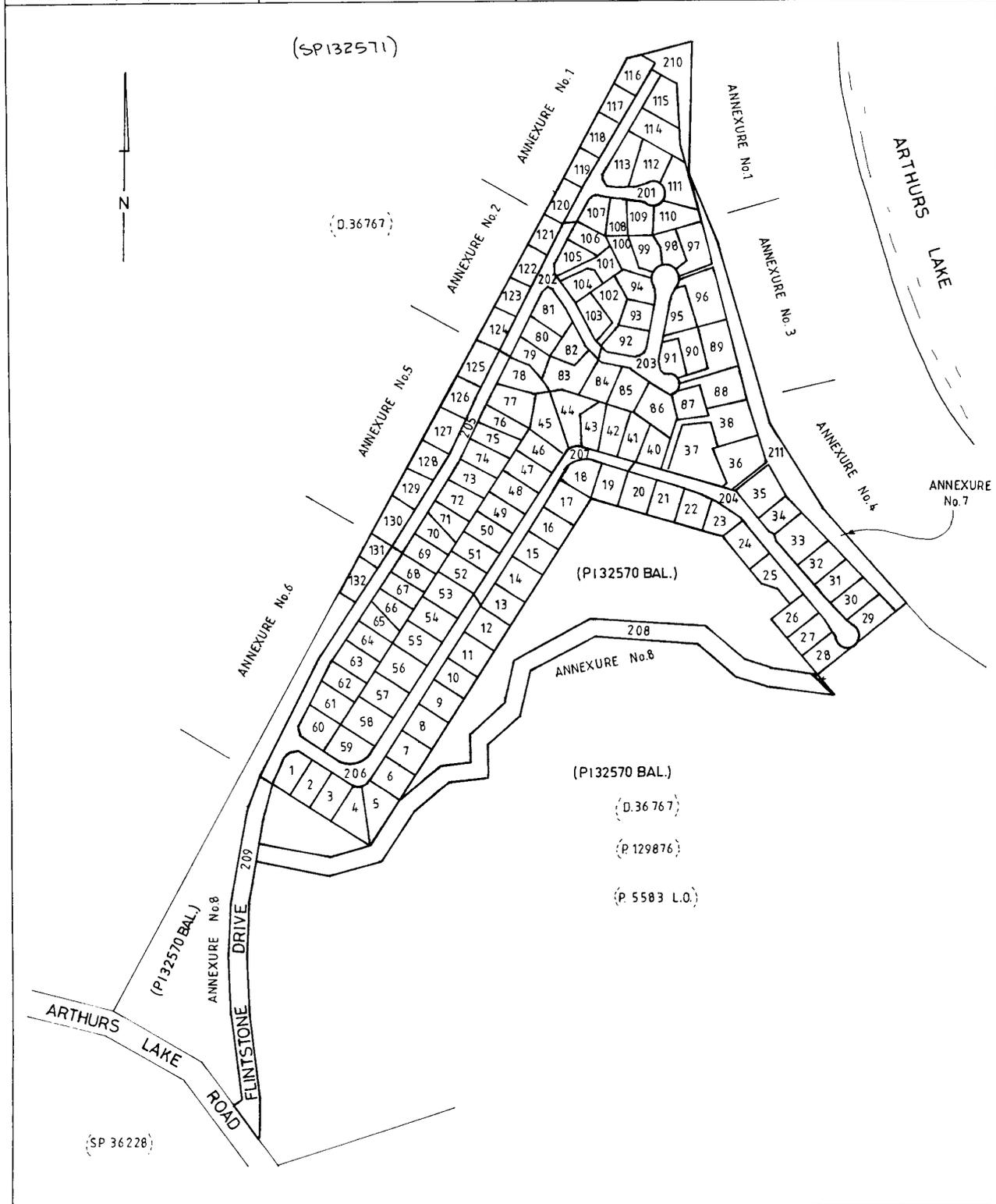
SCHEDULE 2

[C405099](#) Land is limited in depth to 15 metres, excludes minerals and is subject to reservations relating to drains sewers and waterways in favour of the Crown  
 SP [132569](#) EASEMENTS in Schedule of Easements  
 SP [132569](#) COVENANTS in Schedule of Easements  
[C405099](#) FENCING PROVISION in Transfer

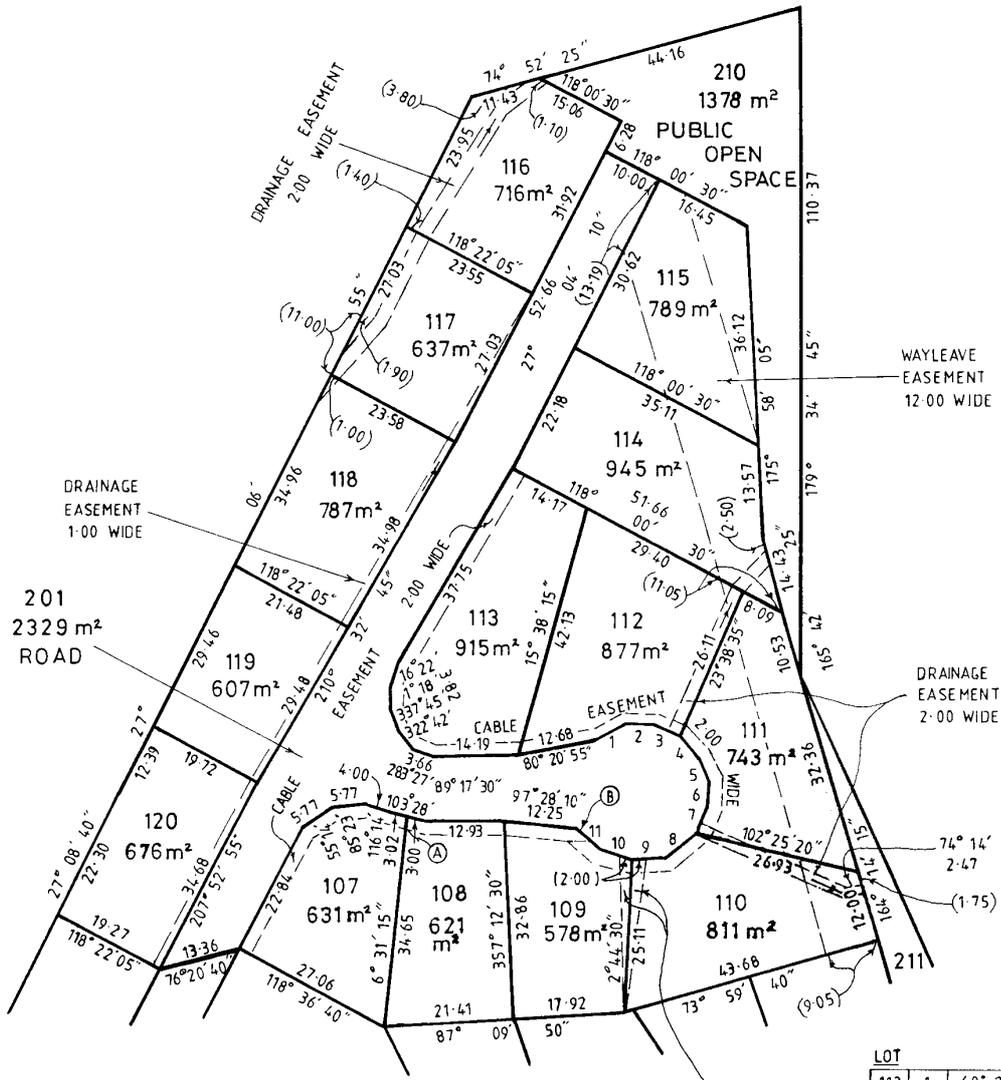
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p><u>OWNER</u> CROWN</p>		<p><b>PLAN OF SURVEY</b></p>		<p>REGISTERED NUMBER</p> <p><b>SP132569</b></p>
<p><u>FOLIO REFERENCE</u> C.T. 129876-2</p>		<p><u>BY SURVEYOR</u> T. N. WOOLFORD 72 GRAHAMS ROAD, MT. RUMNEY. 7170 Phone 03 62485224</p>		<p><b>17 SEP 1999</b></p>
<p><u>GRANTEE</u> PART OF 1,000 ACRES GRANTED TO EDWARD BISDEE</p>		<p>LAND DISTRICT OF WESTMORLAND PARISH OF OOLUMPTA</p>		<p><del>APPROVED</del> EFFECTIVE FROM .....</p> <p><i>Michael Blinn</i> Recorder of Titles</p>
		<p>SCALE 1:3,000      LENGTHS IN METRES</p>		
<p>MAPSHEET MUNICIPAL CODE No. 105 (4835)</p>	<p>LAST UPI No. FSR 28</p>	<p>LAST PLAN No. P 129876</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>	

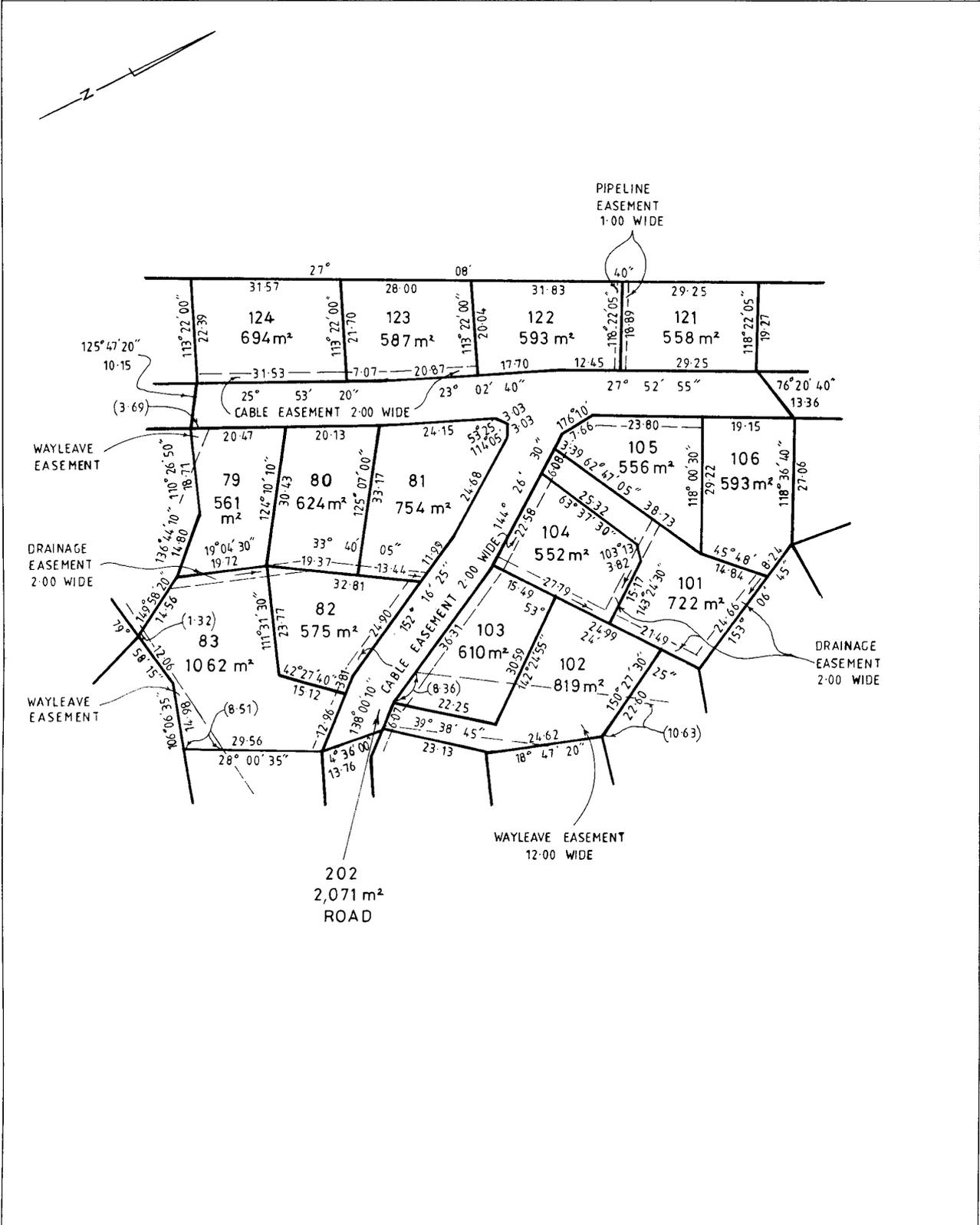


<p><b>PLAN OF SURVEY ANNEXURE SHEET</b> SHEET 1 OF 8 SHEETS</p>	<p>OWNER CROWN FOLIO REFERENCE C.T. 129876-2 SCALE 1:750 LENGTHS IN METRES</p>	<p>Registered Number <b>SP132569</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. Registered Surveyor ..... <i>J.N. Wood</i> ..... date ..30..7..99.....</p>	



LOT			
112	1	60° 28'	5.87
112	2	91° 22'	4.84
112	3	115° 12'	4.84
111	4	139° 20'	4.32
111	5	152° 37'	4.32
111	6	187° 30'	4.32
111	7	200° 48'	4.32
110	8	230° 36'	6.33
110	9	267° 25'	6.33
109	10	290° 21'	5.12
109	11	312° 53'	5.12

<p><b>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 8 SHEETS</b></p>	<p><u>OWNER</u> CROWN <u>FOLIO REFERENCE</u> C.T. 129876-2 <u>SCALE</u> 1: 750      <u>LENGTHS IN METRES</u></p>	<p>Registered Number <b>SP 132569</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>[Signature]</i> Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET. Registered Surveyor ..... <i>J.N. Woodford</i> .....      date ..28..7..99.....</p>	



A-144

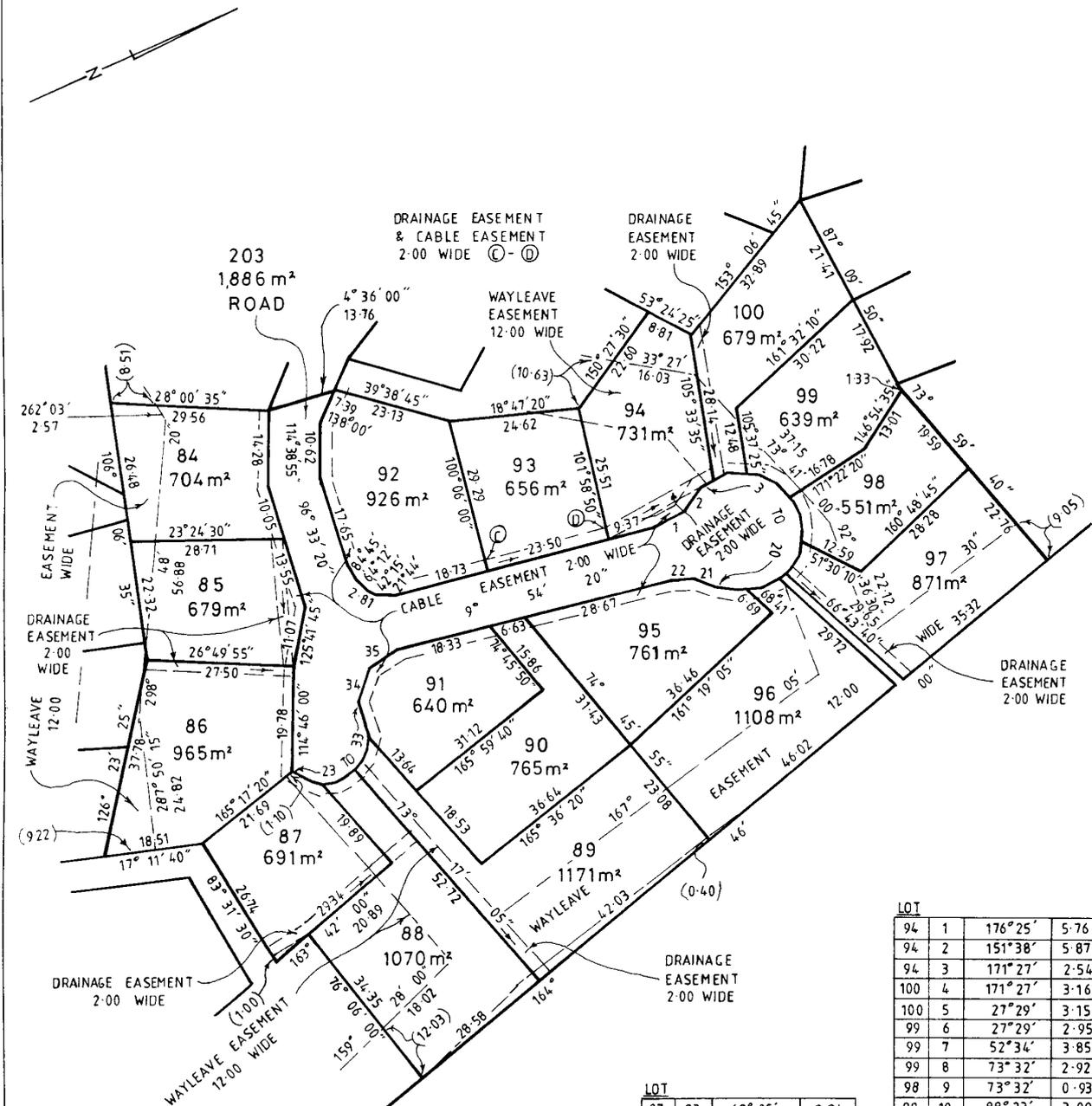
**PLAN OF SURVEY  
ANNEXURE SHEET  
SHEET 3 OF 8 SHEETS**

OWNER CROWN  
FOLIO REFERENCE C.T. 129876 - 2  
SCALE 1:750 LENGTHS IN METRES

Registered Number  
**SP 132569**

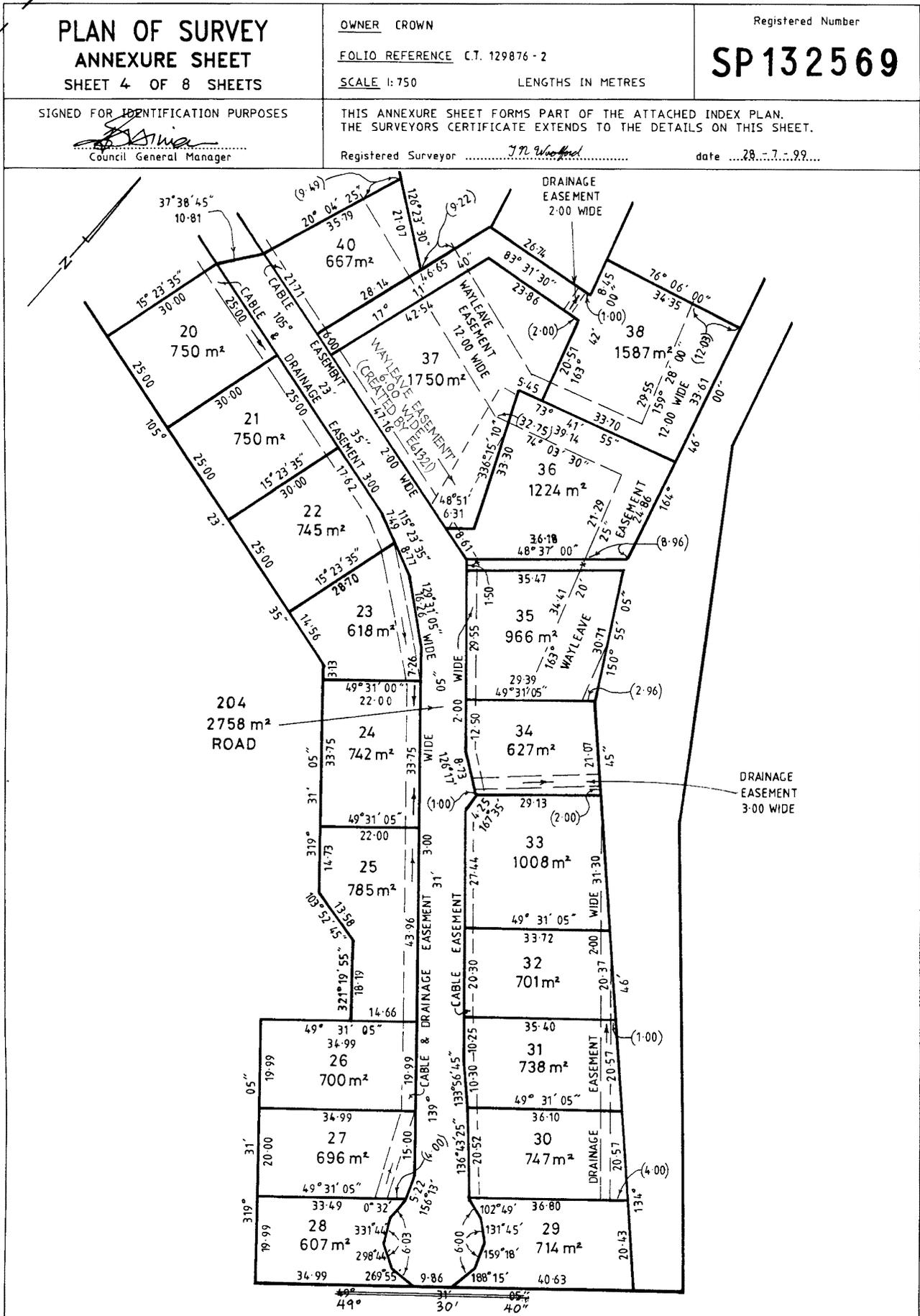
SIGNED FOR IDENTIFICATION PURPOSES  
*[Signature]*  
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.  
Registered Surveyor *[Signature]* date 26.7.99



LOT			
94	1	176° 25'	5.76
94	2	151° 38'	5.87
94	3	171° 27'	2.54
100	4	171° 27'	3.16
100	5	27° 29'	3.15
99	6	27° 29'	2.95
99	7	52° 34'	3.85
99	8	73° 32'	2.92
98	9	73° 32'	0.93
98	10	88° 23'	3.09
98	11	107° 01'	3.09
98	12	122° 42'	2.03
97	13	122° 42'	2.62
97	14	147° 30'	4.22
	15	147° 30'	0.44
	16	174° 52'	1.12
96	17	174° 52'	3.54
96	18	199° 40'	3.29
95	19	199° 40'	1.37
95	20	212° 57'	4.30
95	21	226° 03'	4.42
95	22	199° 53'	4.42

LOT			
87	23	62° 05'	2.24
87	24	47° 01'	2.24
87	25	31° 52'	2.24
88	26	17° 01'	2.16
88	27	2° 23'	2.16
88	28	347° 47'	2.16
89	29	332° 44'	2.28
89	30	317° 21'	2.28
89	31	301° 58'	2.28
91	32	287° 04'	2.12
91	33	279° 54'	5.00
91	34	311° 46'	6.33
91	35	348° 36'	6.33



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**PLAN OF SURVEY  
ANNEXURE SHEET  
SHEET 6 OF 8 SHEETS**

OWNER CROWN  
FOLIO REFERENCE C.T.129876 - 2  
SCALE 1: 750 LENGTHS IN METRES

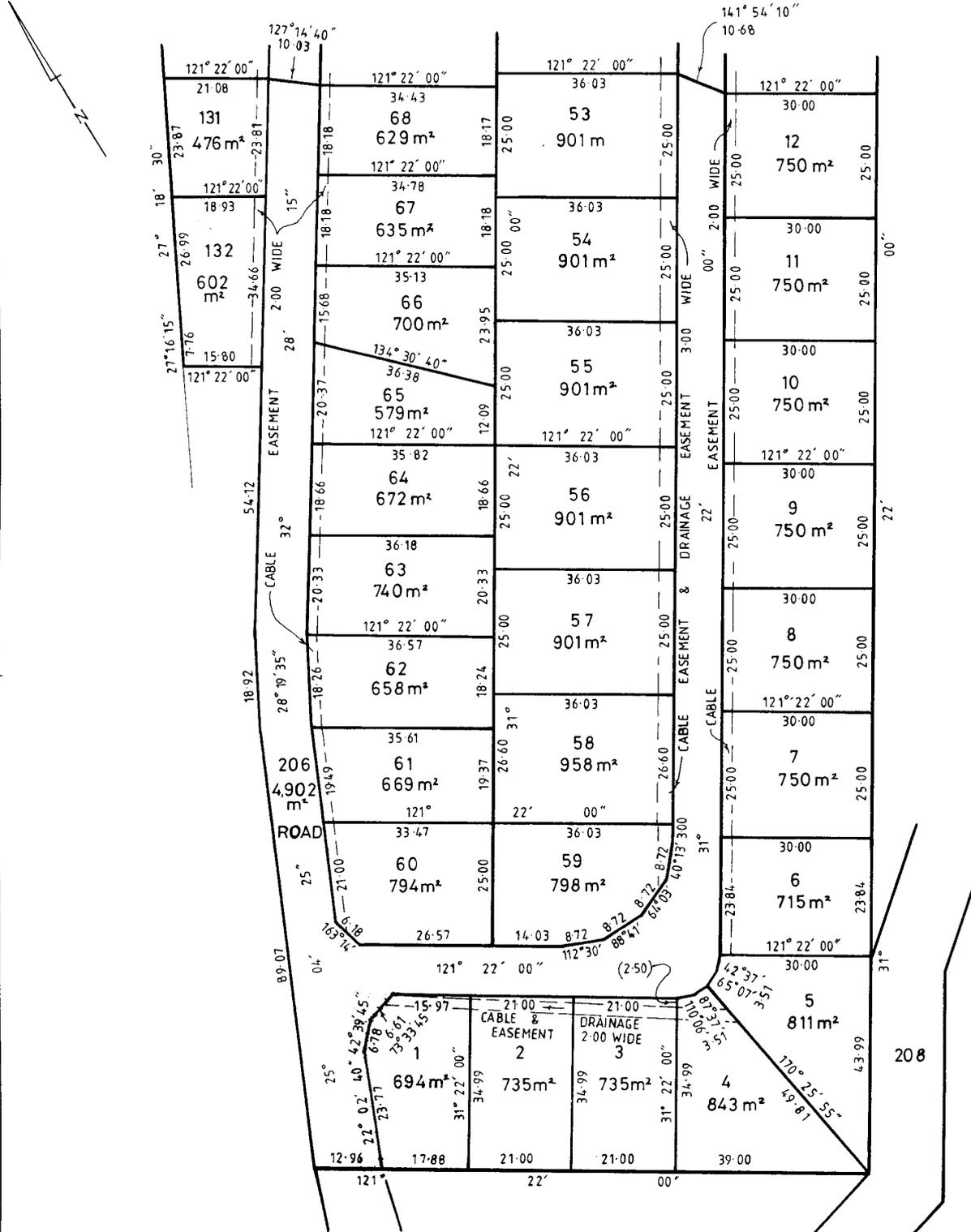
Registered Number  
**SP132569**

SIGNED FOR IDENTIFICATION PURPOSES

*[Signature]*  
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

Registered Surveyor ..... *[Signature]* ..... date ..30..7..09.....



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**PLAN OF SURVEY  
ANNEXURE SHEET  
SHEET 7 OF 8 SHEETS**

OWNER CROWN  
FOLIO REFERENCE C.T. 129876-2  
SCALE 1: 2,000 LENGTHS IN METRES

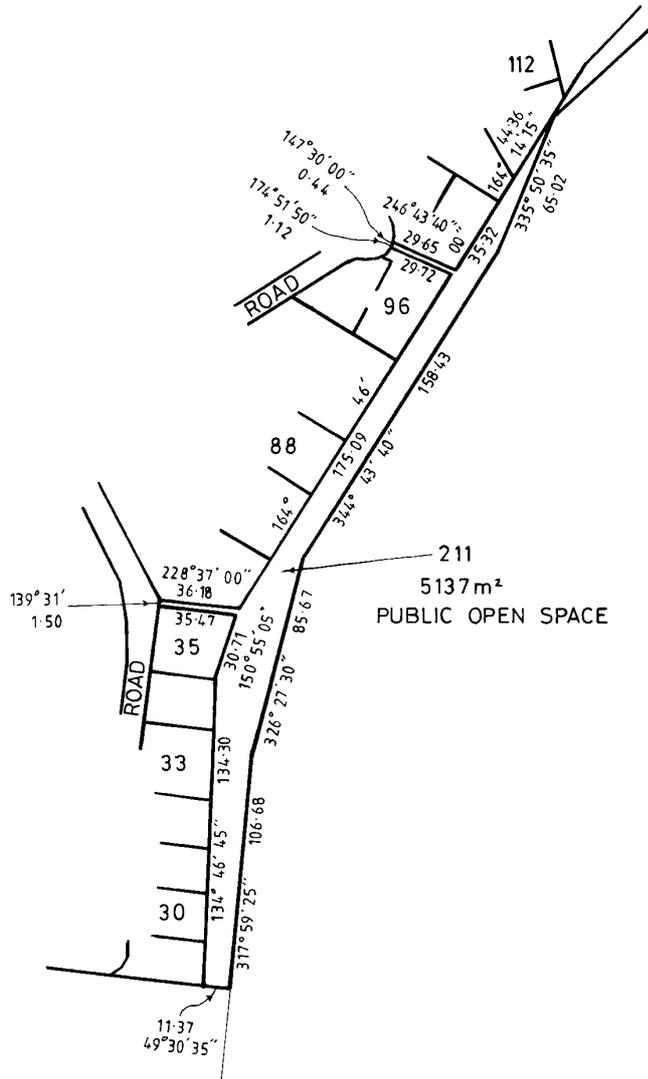
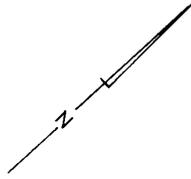
Registered Number  
**SP132569**

SIGNED FOR IDENTIFICATION PURPOSES

*[Signature]*  
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

Registered Surveyor *J.R. Woodford* date 30-7-99



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**PLAN OF SURVEY  
ANNEXURE SHEET  
SHEET 8 OF 8 SHEETS**

OWNER CROWN  
FOLIO REFERENCE C.T. 129876 -2  
SCALE 1: 2,000 LENGTHS IN METRES

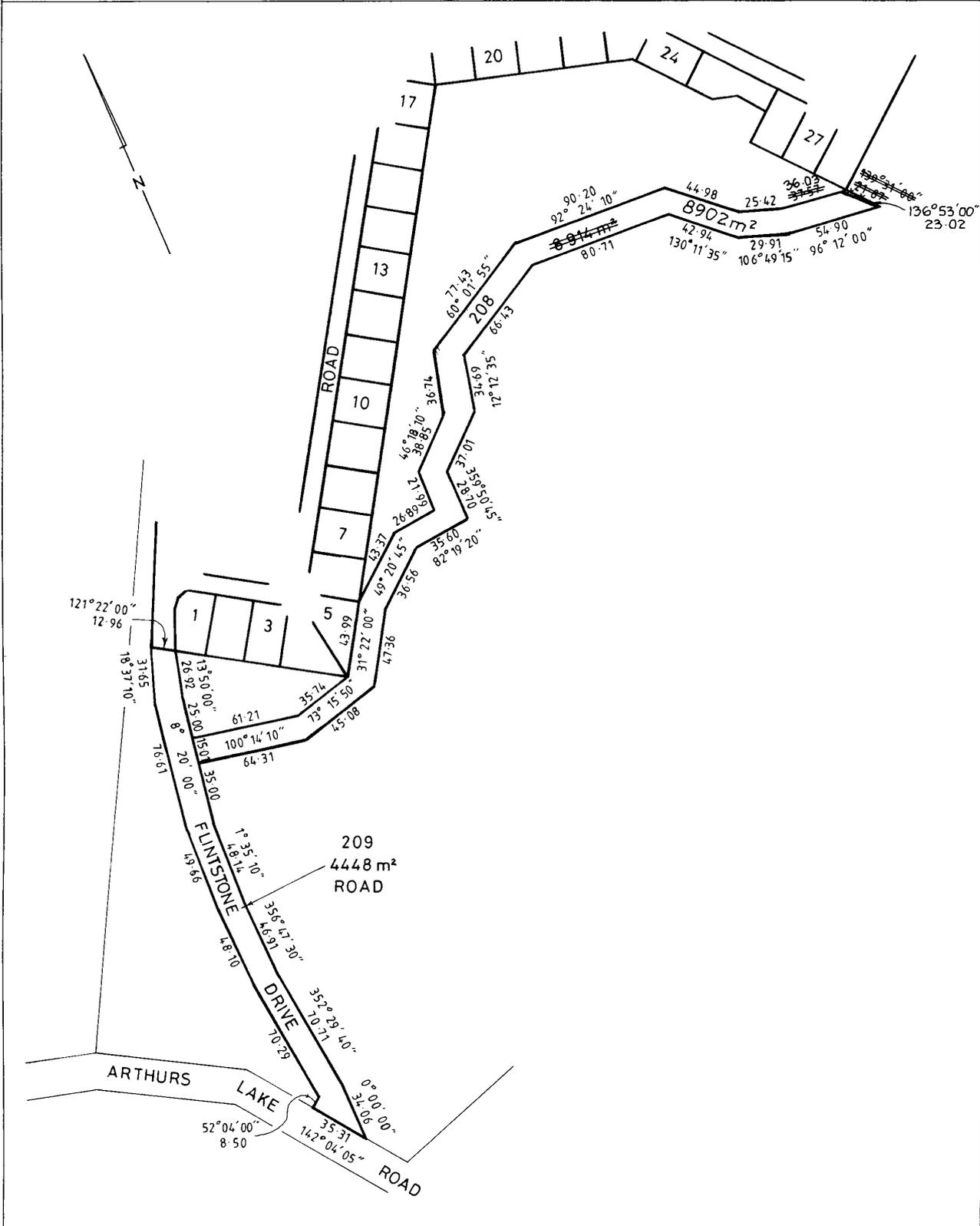
Registered Number  
**SP132569**

SIGNED FOR IDENTIFICATION PURPOSES

*[Signature]*  
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

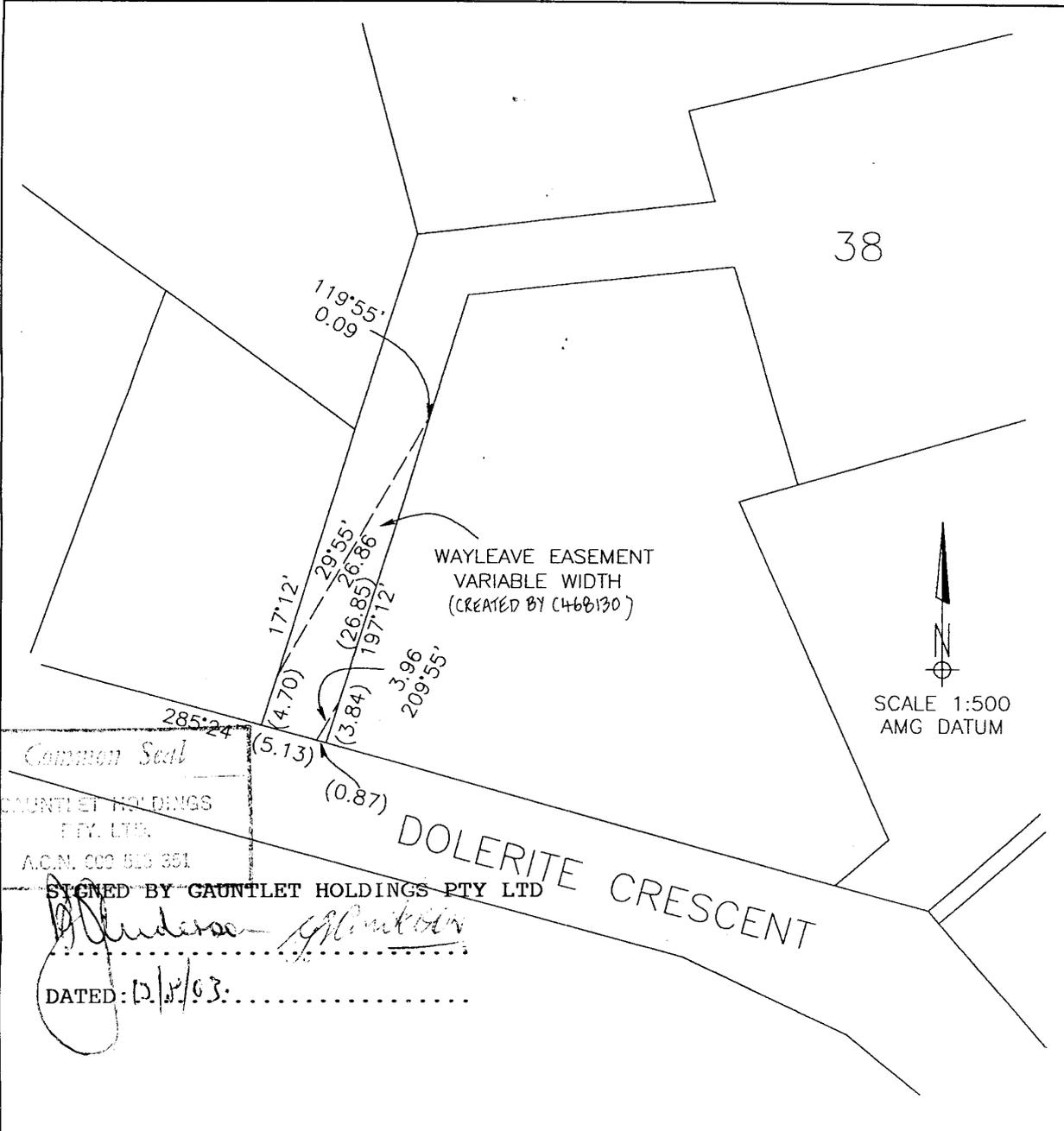
Registered Surveyor *J.N. Woodford* date 30.7.99



A-144

**IDENTIFICATION PLAN OF  
WAYLEAVE EASEMENT**

ANNEXURE PAGE  
TO FOLIO PLAN  
VOL : **132569** FOLIO : **38**



*Common Seal*  
GAUNTLET HOLDINGS  
PTY LTD  
A.C.N. 009 819 851

SIGNED BY GAUNTLET HOLDINGS PTY LTD

*[Signature]*

DATED: 12/5/03

**DOLERITE CRESCENT**

**LAND DISTRICT OF WESTMORLAND  
PARISH OF OOLUMPTA**

OWNER : GAUNTLET HOLDINGS PTY LTD

PLAN No: 132569

CNGS-QF-9084 Rev 2 1/9/98

Electricity Entity No. 4946-02

**SURVEYORS REPORT**

The wayleave easement shown in this plan has been surveyed in accordance with Clause 16 of the Land Surveyors (Survey Practice) By Laws 1982, for identification by the Electricity Entity for the purpose of registering an easement in gross.

The easement to be created extends 3 metres either side of the centre of the electricity powerline.

The accuracy of this easement survey is insufficient for title boundary determination.

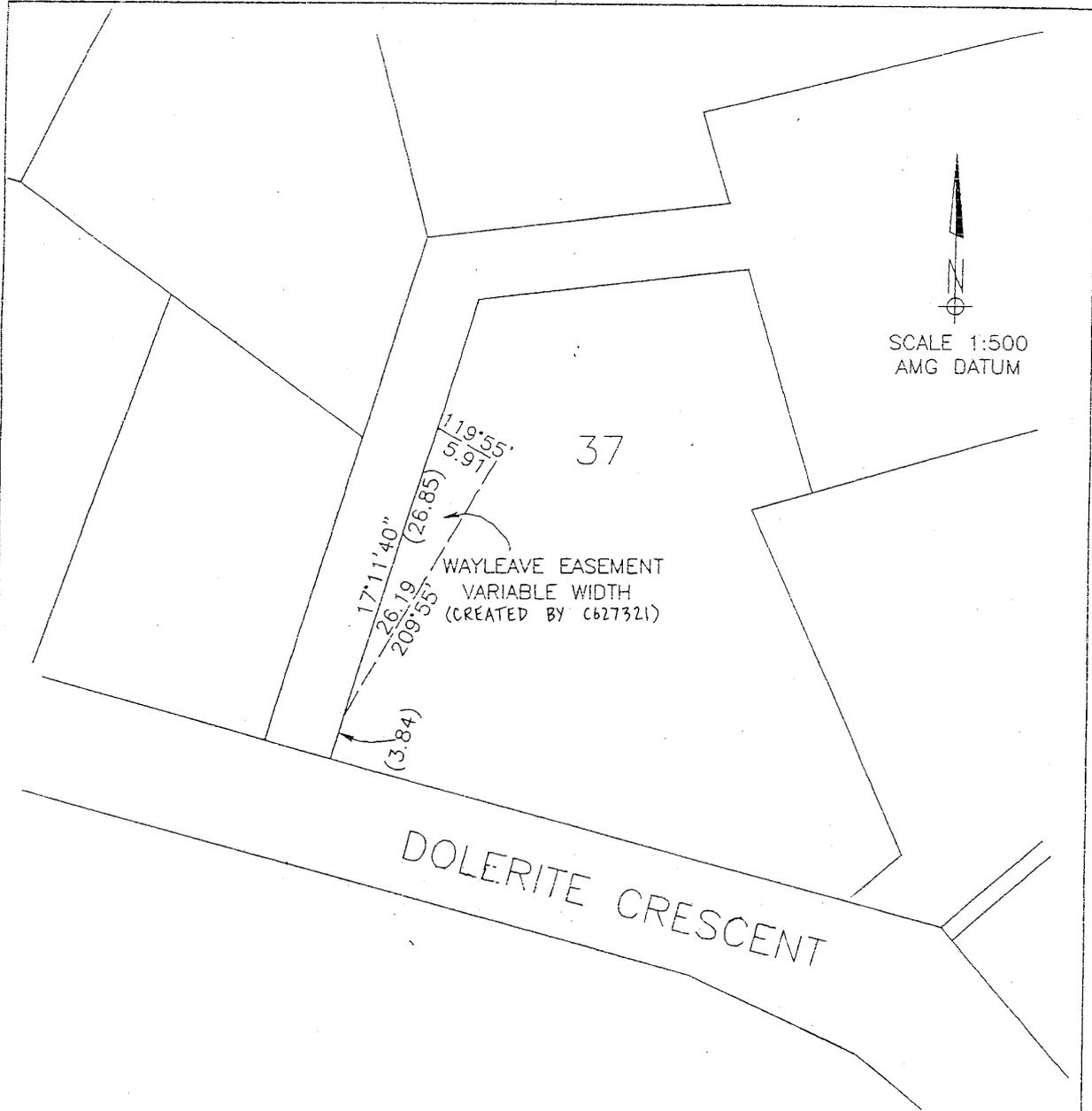
Registered Surveyor: *[Signature]* Date: *[Signature]* 6/May/2003  
Scott Strong

IDENTIFICATION PLAN OF  
WAYLEAVE EASEMENT

ANNEXURE PAGE TO FOLIO PLAN

VOL : 132569

FOLIO : 37



LAND DISTRICT OF WESTMORLAND

PARISH OF OOLUMPTA

OWNER : KENT RAYMOND HATELEY, PHILLIP  
CHRISTOPHER NOLAN, BRIAN WARREN HILL

PLAN No: 132569

CNGS-QF-9184 Rev 2 1/9/98

Electricity Entity No. 4946-01

SURVEYORS REPORT

The wayleave easement shown in this plan has been surveyed in accordance with Clause 16 of the Land Surveyors (Survey Practice) By Laws 1982, for identification by the Electricity Entity for the purpose of registering an easement in gross.

The easement to be created extends 3 metres either side of the centre of the electricity powerline.

The accuracy of this easement survey is insufficient for title boundary determination.

Registered Surveyor: *Scott Strong* Date: 6/May/2003  
Scott Strong

<b>SCHEDULE OF EASEMENTS</b>	REGISTERED NUMBER
<b>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS &amp; MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</b>	<b>SP 132569</b>

PAGE 1 OF 4 PAGE/S

**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

**EASEMENTS**

Lots 35-38, 40-45, ~~77-79~~<sup>77-79</sup>, 83-89, 93-94, 96-100, 102-103, 110-112 and 114-115 on SP 132569 are subject to a Wayleave Easement 12.00 metres wide.

Lots 6-17, 30-38, 40-45, 60-74, 82-92, 94-105, 107<sup>and 109</sup>, 110-113 and 123-132 on SP 132569 are subject to a Cable Easement 2.00 metres wide.

Lots 1-4, 93 and 108-109 on SP 132569 are subject to a Drainage Easement and Cable Easement 2.00 metres wide.

Lots 20-27<sup>18-19</sup> and 46-59 on SP 132569 are subject to a Drainage Easement and Cable Easement 3.00 metres wide.

Lot 109 is together with a Right of Carriageway over Right of Way (Private) appurtenant to Lot 110 as shown on SP 132569.

Lot 110 is subject to a Right of Carriageway over Right of Way (Private) <sup>passing through</sup> ~~appurtenant to~~ Lot 109 as shown on SP 132569.

Lot 110 is together with a Right of Carriageway over Right of Way (Private) <sup>passing through</sup> ~~appurtenant to~~ Lot 109 as shown on SP 132569.

Lot 109 is subject to a Right of Carriageway over Right of Way (Private) appurtenant to lot 110 as shown on SP 132569.

Lots 121 and 122 on SP 132569 are subject to a Pipeline Easement 1.00 metre wide as shown on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: THE CROWN	PLAN SEALED BY: CENTRAL HIGHLANDS COUNCIL
FOLIO REF: 129876/2	DATE: 16 August 1999
SOLICITOR & REFERENCE: CROWN SOLICITOR	(d) 10-97198
	REF NO. <i>[Signature]</i> Council Delegate

**NOTE: The Council Delegate must sign the Certificate for the purposes of identification.**

Wayleave Easement 12.00 wide within Lot 78 deleted by me pursuant to Request to Amend No. C731945 made under Section 103 of Local Government (Building & Miscellaneous Provisions) Act 1993

1 / 9 / 2006

Recorder of Titles

*Alice Kara*

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 4 PAGE/S</p>	<p>Registered Number</p> <p><b>SP 132569</b></p>
<p>SUBDIVIDER: THE CROWN FOLIO REFERENCE: 129876/2</p>	

**COVENANTS**

The owner of each lot on SP 132569 covenants with the Crown (the subdivider) and the owners for the time being of every other lot shown on SP 132569 to the intent that the burden of this covenant may run with and bind the covenantor's lot, and each and every part thereof, and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on SP 132569 to follow the following stipulations:-

1. Not to erect any boundary fences on any of the lots.
2. Not to remove any native vegetation from any of the lots without the prior approval of the Central Highlands Council or its successor body.
3. Not to plant any species of flora on the lots other than flora that is native to the area.
4. Not to construct any water wells on any of the lots without the prior approval of the Central Highlands Council or its successor body.

The owners of lots 1-32, 34 and 46-60 on SP 132569 covenant with the Crown (the subdivider) to the intent that the burden of this covenant may run with and bind the covenantor's lot, and each and every part thereof, and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on SP 132569 to follow the following stipulations:-

1. Not to construct any dwellings on the said lots without providing a 10 kl supply of water solely for fire fighting purposes fitted in accordance with Part 3.2 of the Planning Conditions and Guidelines for Subdivision in Bushfire Prone Areas 1995 as amended, replaced or substituted from time to time.
2. Not to construct dwellings on the said lots that have less than an 8 metre setback from the road.

**DEFINITIONS**

"Wayleave Easement" means all the full and free right and liberty for Aurora Energy Pty Ltd and its successors and its and their servants agents and contractor at all times hereafter:-

1. To clear the lands shown as Wayleave Easement on the SP 132569 affecting lots 35-38, 40-45, 77 & 79, ~~79~~, 83-89, 93-94, 96-100, 102-103, 110-112 and 114-115 ("the servient land") and to erect, construct, place, inspect, alter, repair, renew, maintain and use in, upon, and over and along, and remove from the servient land towers, poles, wires, cables, apparatus, appliances and other ancillary work (all of which are hereinafter collectively referred to as "the said lines") for the transmission and distribution of electrical energy and for purposes incidental thereto.

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 4 PAGE/S</p>	<p>Registered Number</p> <p><b>SP 132569</b></p>
<p>SUBDIVIDER: THE CROWN FOLIO REFERENCE: 129876/2</p>	

2. To cause or permit electrical energy to flow or be transmitted through and along the said lines.
3. To cut away, remove and keep clear of the said lines all trees and all other obstructions or erections of any nature whatsoever which may at any time overhang, encroach, or be in, or on, the servient land and which may in any way endanger or interfere with the proper operation of the said lines, and making good all damage occasioned thereby.

“Cable Easement” means the full and free right and liberty for Telstra Corporation to enter upon such portion of the land delineated on the plan as Cable Easement 2.00 metres wide on SP 132569 affecting lots 6-17, 30-38, 40-45, 60-74, 82-92, 94-105, 107, 110-113 and 123-132 and shown passing through such lots\* to lay and maintain, cleanse and replace wires and cables therein from time to time for the purposes aforesaid and to bring such materials, machinery and other things as Telstra Corporation shall think proper without doing unnecessary damage to the land within the said Cable Easement and provided that any damage occasioned thereby shall be made good. \* and over the Drainage and cable easement 3.00 wide passing through Lots 18-27 and 46-59.

“Drainage Easement and Cable Easement” means:-

1. A right of drainage as defined in Schedule 8 of the *Conveyancing and Law of Property Act 1884*; and
2. A “Cable Easement” as defined above.

“Pipeline Easement” means the full and free right and liberty for the Central Highlands Council or its successor body or its workmen, servants, agents and others and machinery to enter upon the said piece of land to break up and excavate the said pieces of land and to lay and maintain either thereon or therein a sewer rising main including pipes and valves and fittings for the purposes of running and passing sewerage through and align the same and from time to time to inspect, cleanse, repair and maintain the same and when necessary to lay new pipes in substitution for and addition thereto and to do all necessary works and things in connection therewith or as may be authorised without doing unnecessary damage to the same pieces of land and leaving the same in a clean and tidy condition.

“Right of Carriageway” means a right of carriageway as defined in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b>  PAGE 4 OF 4 PAGE/S	Registered Number  <b>SP 132569</b>
SUBDIVIDER: THE CROWN FOLIO REFERENCE: 129876/2	

THE COMMON SEAL of the CENTRAL HIGHLANDS) COUNCIL has been hereunto affixed this 10 day of August 1998 pursuant to a resolution of the said Central Highlands Council dated the 10 day of August 1999 in the presence of: )



*[Handwritten signature]*

*[Handwritten signature]*

SIGNED for and on behalf of the CROWN IN RIGHT ) OF THE STATE OF TASMANIA by JOHN ) GERARD TOOHEY being a duly ) authorised person in the presence of:- )

*[Handwritten signature: JG Toohey]*

Witness: Bhucop (BINDI KWCCP)  
 Address: 134 MACQUARIE ST HOBART  
 Occupation: PROPERTY OFFICER

Being and as the Manager Crown Land Services prescribed in Statutory Rule No. 116 of 1997 and pursuant to an instrument of delegation dated the 10<sup>th</sup> day of October 1998.

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.