

PUBLIC NOTICE DETAILS

PLANNING APPLICATION DETAILS

Application Number:	DA 2025/67
Application Type:	Discretionary Development Application
Property Location:	463 Rockmount Road, Ellendale
Proposal:	Visitor Accommodation & Outbuilding (Shipping Container)
Advertising Commencement Date:	Monday 5 th January 2026
Representation Period Closing Date:	Monday 19 th January 2026
Responsible Officer:	Louisa Brown, Senior Planning Officer

The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing development@centralhighlands.tas.gov.au. Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030
Email: development@centralhighlands.tas.gov.au

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.



June 2025

PLANNING REPORT

**Development of a holiday cabin and
outbuilding**

463 Rockmount Road ELLENDALE



Prepared by
Woolcott Land Services Pty Ltd
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BURbRegEnvPlan

Town Planner

Rev.no	Description	Date
1	Draft	11 June 2025
2	Final draft	23 June 2025
3		

References

Kamae Consulting, 2014. *Aboriginal Cultural Heritage Management Plan; 475 Rockmount Road Subdivision, Lake Meadowbank*, Oldm Beach: s.n.

Tasmanian Government, 2021. *Land Information System Tasmania*. [Online]

Available at: <https://www.thelist.tas.gov.au/app/content/home/> [Accessed 2025].

Annexures

Annexure 1 – Copy of title plan, folio text and associated

Annexure 2 – Development plans

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1. Introduction

This report has been prepared in support of a planning permit application under Section 57 of the *Land Use Planning and Approvals Act 1993*.

Proposed development

Development of a holiday cabin and outbuilding

This application is to be read in conjunction with the following supporting documentation:

Document	Consultant
Proposal Plan	Engineering Plus/Tasbuilt

2. Subject site and proposal

2.1 Site details

Address	463 Rockmount Road, Ellendale TAS 7140
Property ID	9762616
Title	182981/6 <i>182981/0 Strata Corporation number 182981</i>
Land area	614m ²
Planning Authority	Central Highlands Council (Council)
Planning Scheme	Tasmanian Planning Scheme - Central Highlands (Scheme)
Schedules on title	None on title Strata plan applies. Agreement E110913 provided (Agreement)
Application status	Discretionary application
Existing Access	Vehicular access from Rockmount Road over CT. 142379/1 and CT. 185371/1 and CT. 182981/0
Zone	Rural
General Overlay	Meadowbank Lake Specific Area Plan (SAP)
Overlays	Priority vegetation area Bushfire-prone areas

Existing development	Vacant land/ strata lot
Existing services and infrastructure	
Water	Not serviced
Sewer	Not serviced
Stormwater	Not serviced

2.2 Proposal

The proposal is for the development of a single holiday cabin with an outbuilding (container). The cabin will have 2 bedrooms with 1 bathroom, living area, kitchen and laundry. It will include a substantial north facing deck.

The building will have a floor area of 60m² with an outbuilding of 14.78m². Access is afforded over the existing vehicular access that provides for the strata title. The access has a right of way easement through to Rockmount Road.

2.3 Images



Figure 1 Aerial view of the subject site according to current title (Tasmanian Government, 2021)

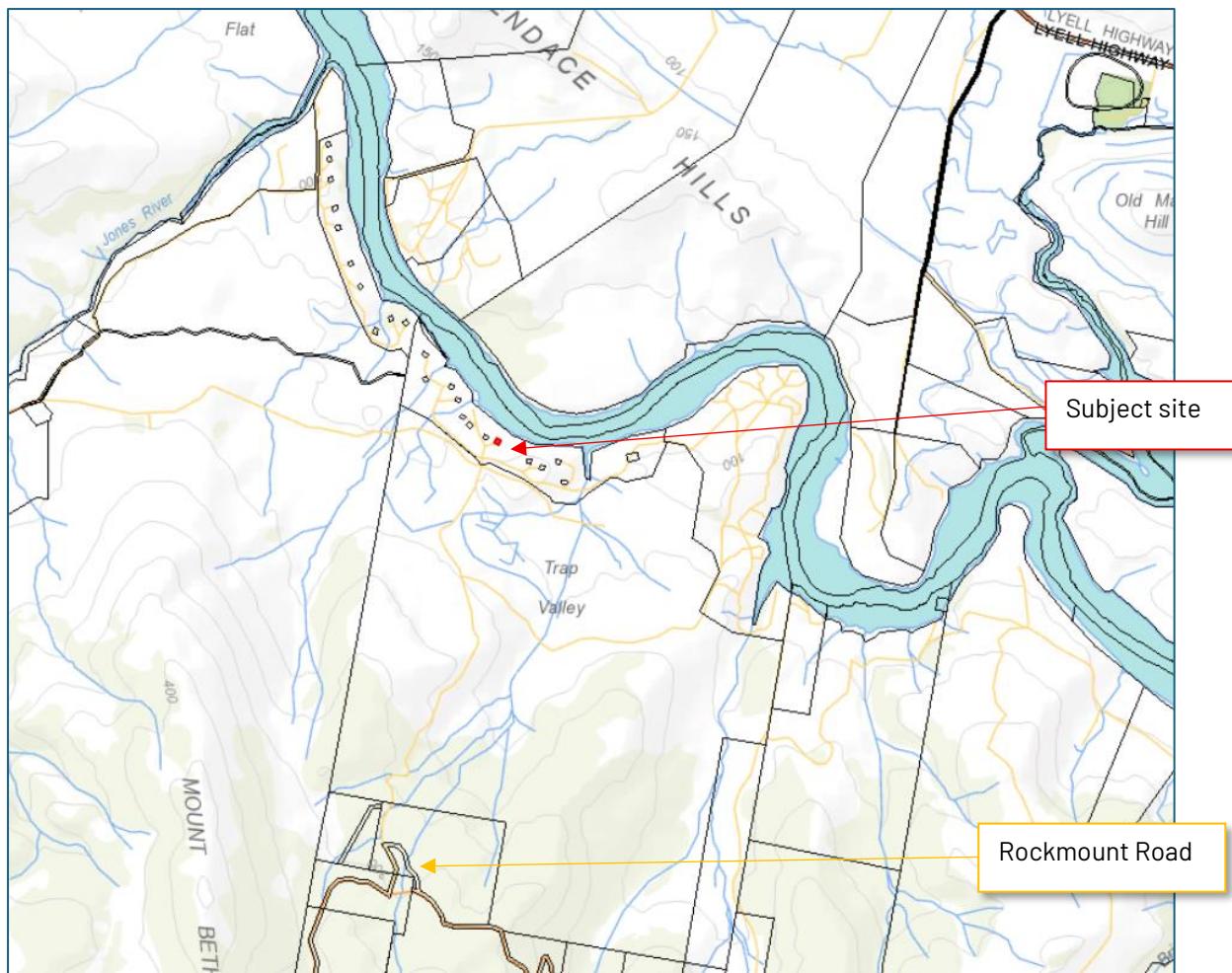


Figure 2 Subject site locality (Tasmanian Government 2021)



Figure 3 Site 6 – subject site looking north east



Figure 5 Site – looking south east



Figure 4 Looking north

3. Zone and overlays

3.1 Zoning

The site is zoned Rural under the Tasmanian Planning Scheme – Central Midlands.

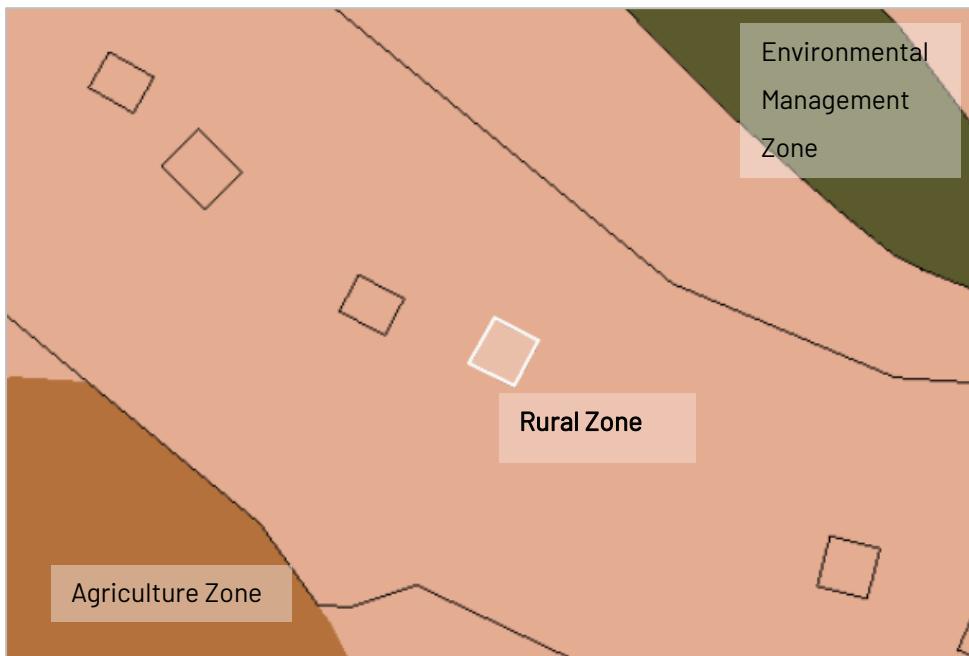


Figure 6 Zoning of the subject site and surrounds (Tasmanian Government, 2021)

3.2 Overlays

The entire site is affected by the Bushfire prone area overlay and Priority Vegetation Overlay.

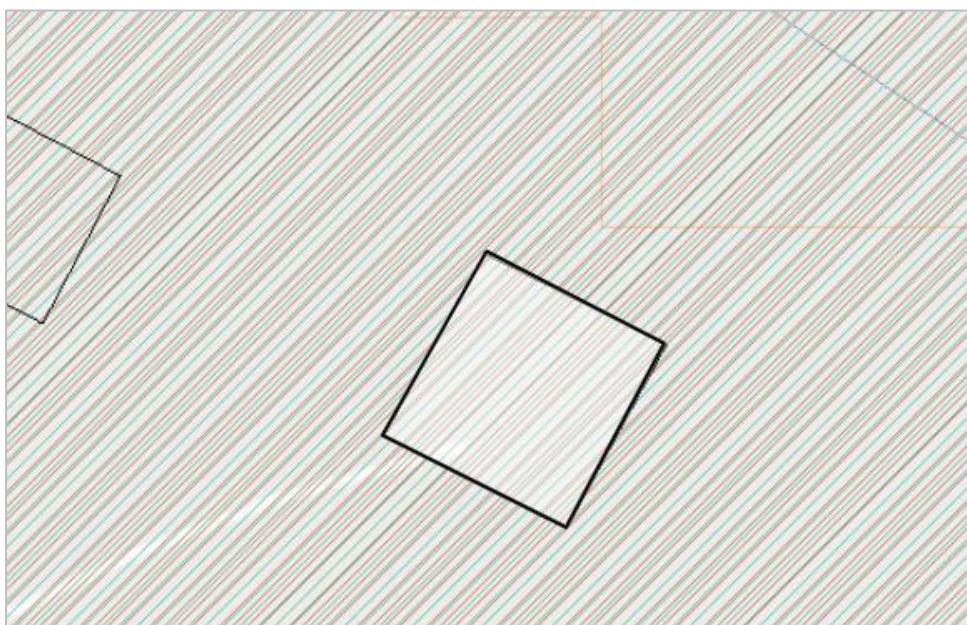


Figure 7 Overlays affecting the subject site (Tasmanian Government, 2021)

3.3 General Overlays

The site is included to the Meadowbank Lake Specific Area Plan.

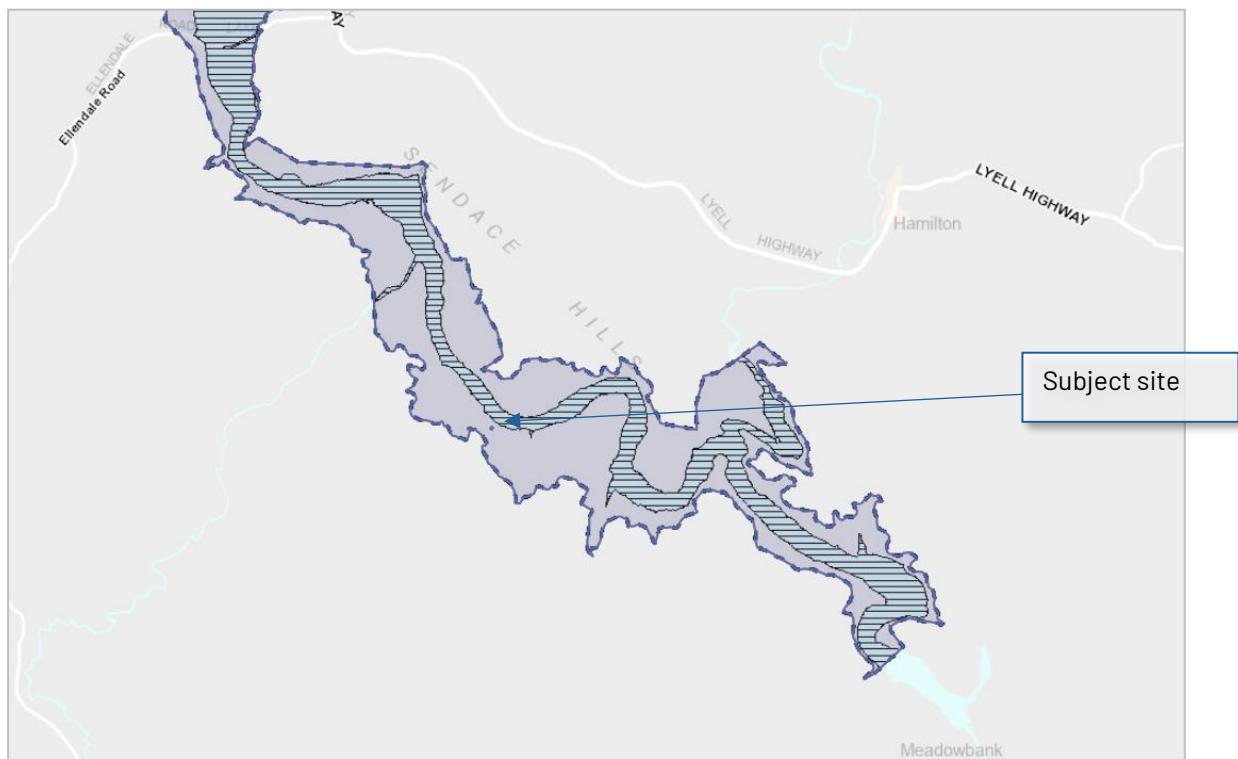


Figure 8 Showing the Meadowbank Lake SAP (Tasmanian Government, 2021)

4. Planning Scheme Assessment

4.1 Zone assessment

CHI-S1.0.0 Meadowbank Lake Specific Area Plan

CHI-S1.1 Plan Purpose

The purpose of the Meadowbank Lake Specific Area Plan is:

CHI-S1.1	To recognise and protect the operation of the Meadowbank Lake Hydro-electric Power Station from incompatible use and development.
CHI-S1.2	To ensure that on-site wastewater management does not contribute to adverse impacts on water quality.
CHI-S1.3	To recognise Meadowbank Lake as the premier water-skiing facility in the State and to support associated use and development whilst managing other use and development to minimise conflict between activities.
CHI-S1.4	To encourage the use and development of Meadowbank Lake and the adjoining land for tourism, recreational and visitor accommodation purposes whilst maintaining and enhancing the natural, cultural and landscape values of the area.
CHI-S1.5	To recognise and protect Aboriginal heritage values.
CHI-S1.6	To encourage co-ownership and sharing of aquatic structures such as boat ramps, jetties, pontoons and water-based sports infrastructure.
CHI-S1.7	To protect the lake foreshore landscape, from becoming over-crowded with buildings for Visitor Accommodation.
CHI-S1.8	To encourage the orderly and strategic development of appropriately scaled and located Visitor Accommodation, particularly camping and caravan parks and overnight camping areas.
CHI-S1.9	To provide for Resource Development and Resource Processing compatible with recreation and tourisms use of the area.
CHI-S1.10	To provide for use and development which does not compromise the significant role the lake plays in the Greater Hobart drinking water system.

Response

The zone allows for recreational use and visitor accommodation in balance with the hydro-electric power station and the natural and cultural heritage values.

6.2 Categorising Use or Development

Table 6.2 Use Classes

Visitor Accommodation	use of land for providing short or medium-term accommodation for persons away from their normal place of residence on a commercial basis or otherwise available to the general public at no cost. Examples include a backpackers hostel, camping and caravan park, holiday cabin, motel, overnight camping area, residential hotel and serviced apartment complex.
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RESPONSE

The proposed use is for accommodation away from a normal place of residence. The proposed use may be classified as a holiday cabin.

22.2 Use Table

Discretionary	
Visitor Accommodation	If for a holiday cabin, backpackers hostel, bed and breakfast, camping and caravan park, or overnight camping area.

CHI-S1.6 Use Standards

CHI-S1.6.1 Discretionary use

This clause is in substitution for Rural Zone - clause 20.3.1 Discretionary use and is in addition to Environmental Management Zone - clause 23.3.1 Discretionary use.

Objective	
That uses listed as Discretionary recognise and are compatible with the natural, cultural and landscape values of Meadowbank Lake and the plan purpose statements.	
Acceptable Solutions	Performance Criteria
A1 No Acceptable Solution.	<p>P1 A use listed as Discretionary must be consistent with the natural, cultural and landscape values of Meadowbank Lake and the plan purpose statements, having regard to:</p> <ul style="list-style-type: none">a) the significance of the natural, cultural, and landscape values;b) the protection, conservation and management of the values;c) the location, intensity and scale of the use and impacts on existing use and other lake activities;d) the characteristics and type of use;e) impact of traffic generation and parking requirements;f) any emissions and waste produced by the use;g) the storage and holding of goods, materials and waste; andh) the proximity of sensitive uses.
A2 No Acceptable Solution.	<p>P2 A use listed as Discretionary must not confine or restrain existing agricultural use on adjoining properties, having regard to:</p> <ul style="list-style-type: none">a) the location of the proposed use;b) the nature, scale and intensity of the use;c) the likelihood and nature of any adverse impacts on adjoining uses; andd) any off site impacts from adjoining uses.

RESPONSE

P1 The performance criteria are addressed.

- a. The use is proposed within an already approved and existing strata title that serves as a building envelope, (see Agreement and plan attached to the Agreement). The approved strata title has recognised the natural, cultural and landscape values within the conditions of permit.
- b. The holiday cabin will be contained to the strata lot and access will be via the existing vehicular track, thereby, protecting the surrounding area that does not have approval for development.
- c. The use proposed is an approved use under the Agreement as applied to the land, and is a use included to the Use Table as discretionary. As the use includes one holiday cabin. The use is appropriate to the site.
- d. The use is a single holiday cabin. It is modest in scale and will be used as temporary accommodation, according to the definition of the use class and the strictures included to the Agreement.
- e. The estimated generation of traffic for one holiday cabin is estimated to be 3 daily vehicle trips which is minimal. Traffic movements are confined to made vehicle tracks, limiting the impact. (Roads and Traffic Authority, 2002).
- f. The use is not expected to produce emissions of an unreasonable nature. Waste produced on site must either be managed on site or removed from the site for responsible disposal. All waste generation and management must be contained to the site.
- g. Storage of goods, materials and waste will be within reasonable limits given the Use class.
- h. The strata lots each have distance between lots and proximity to other sensitive uses is controlled in this way.

P2 The performance criteria are addressed.

- a. The proposed use is not adjoining an agricultural use.
- b. The nature, scale and intensity of the use is minor in impact to adjoining users.
- c. The proposed use is removed from boundaries to agricultural uses.
- d. Adjoining uses are protected by Agreement on the site for the right to conduct agricultural pursuit.

CHI-S1.6.2 Visitor Accommodation

This clause is in substitution for rural Zone - clause 20.3 Use Standards

Objective	
Visitor Accommodation does not cause an unreasonable loss of amenity or impact on the natural, cultural or landscape values of the area.	
Acceptable Solutions	Performance Criteria

A1 Visitor Accommodation must: <ul style="list-style-type: none"> a) have not more than 1 visitor accommodation unit per title; b) accommodate guests in existing buildings, or c) (c) have no more than 5 campsites or caravan park sites per title. 	P1 Visitor Accommodation must be in accordance with suitable master development plan prepared to the satisfaction of the Planning Authority.
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RESPONSE

A1 The acceptable solution is met; 1 visitor accommodation unit is proposed.

CHI-S1.7 Development Standards for Buildings and Works

CHI-S1.7.1 Building height

This clause is in substitution for Rural Zone - clause 20.4.1 Building height and Environmental Management Zone - clause 23.4.2 Building height, setback and siting A1 and P1.

Objective	
Acceptable Solutions	Performance Criteria
A1 Building height must be not more than: <ul style="list-style-type: none"> a) 4m for a camping and caravan park or overnight camping area; b) 5m for any Tourist Operation or Visitor Accommodation excluding a camping and caravan park or overnight camping area; c) 5m for an outbuilding; and d) 8m for any other building and works. 	P1 Building height must be compatible with the landscape values of the area, having regard to: <ul style="list-style-type: none"> a) the height, bulk and form of proposed buildings; b) the height, bulk and form of adjacent existing buildings; c) the topography of the site; d) the visual impact of the buildings when viewed from Meadowbank Lake, its foreshore or public places; and e) the landscape values of the surrounding area.

RESPONSE

A1 The acceptable solution is met. The building is 4.52m at the tallest point.

CHI-S1.7.2 Setbacks and Siting

This clause is in substitution for Rural Zone - clause 20.4.2 Setbacks.

Objective	
Acceptable Solutions	Performance Criteria
A1 Buildings and works, excluding for a camping and caravan park or overnight camping area, must have a setback not less than 100m from	P1 Buildings and works, excluding for a camping and caravan park or overnight camping area, must have a setback not less than 40m from full supply level

full supply level.	<p>and must be compatible with the natural, cultural and landscape values of the area and protect the amenity of the adjoining properties having regard to:</p> <ul style="list-style-type: none"> a) the visual amenity of the rural setting when viewed from adjoining properties, or from Meadowbank Lake, its foreshore or public places; and b) impacts of any stormwater discharge directly into Meadowbank Lake.
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RESPONSE

P1 The performance criteria are addressed. The strata title is closer than 100m to the full water supply.

- a. The strata titles are created with distance from each other to ensure visual amenity is protected.
- b. Stormwater is proposed to be contained and managed on the lot.

A2 Buildings must have a setback from all boundaries of not less than 20m.	<p>P2 Buildings must be sited to not cause an unreasonable loss of visitor accommodation amenity, or impact on landscape values of the site, having regard to:</p> <ul style="list-style-type: none"> a) the topography of the site; b) the size, shape and orientation of the site; c) the side and rear setbacks of adjacent buildings; d) the height, bulk, and form of existing and proposed buildings; e) the need to remove vegetation as part of the development; f) the appearance when viewed from adjacent property; g) the landscape values of the area; and h) the plan purpose statements.
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RESPONSE

P2 The performance criteria are addressed; the dimensions of the lot will not allow a 20m setback from all boundaries.

- a. The topography has no bearing on the building siting.
- b. The dimensions of the site do not allow 20m setbacks to all boundaries. Achieving a 20m setback to one boundary would create a severe limitation on the development proposal.
- c. Developed lots in the area are generally built with either reduced or no setback. The building areas are distributed with distance between each building.
- d. The proposed building height, bulk and form is within the intent of the Agreement and development standards to this SAP. Existing built form in the area appears to be within the confines of the building envelopes and so compliant to the Agreement and intent of the area for development. The proposed conforms to the existing pattern of built form.

- e. No major vegetation removal will be required for the building development. Any vegetation removal will be confined to the building envelope.
- f. The intervening vegetation will shield views to the proposed development from other sites. The building envelopes have been located to minimise visual impacts.
- g. The landscape values of the area are protected due to the strata layout and the Agreement on title.
- h. The Plan Purpose statements include the encouragement of the use of the land for visitor accommodation while maintaining natural, cultural and landscape values. As the development is within an approved building envelope, those values are preserved for the larger area.

A3 Buildings and works for a camping and caravan park or overnight camping area must have a setback not less than 40m from full supply level.	P3 Buildings and works for a camping and caravan park or overnight camping area must have a setback not less than 20m from full supply level, only if compliance with the Acceptable Solution cannot reasonably be achieved due to site constraints.
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RESPONSE

Not applicable

A4 Individual campsites or caravan park sites must be no more than 50m ² in area.	P4 No performance criteria
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RESPONSE

Not applicable

A5 Buildings for a sensitive use must be separated from the boundary of an adjoining property outside the Specific Area Plan in the Rural Zone or Agriculture Zone a distance of: <ul style="list-style-type: none"> a) not less than 200m; or b) if the setback of an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building. 	P5 Buildings for a sensitive use must be sited to not conflict or interfere with uses in the Rural Zone or Agriculture Zone outside the Specific Area Plan, having regard to: <ul style="list-style-type: none"> a) the size, shape and topography of the site; b) the separation from those zones of any existing buildings for sensitive uses on adjoining properties; c) the existing and potential use of land in the adjoining zones; d) any buffers created by natural or other features; and e) any proposed attenuation measures.
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RESPONSE

P1 The performance criteria are addressed. The Site is less than 200m from the SAP boundary and the agriculture zone. The underlying zone of the subject site is Rural.

- a. the topography of the site has no bearing on the distance to the Agriculture Zone or SAP boundary.
- b. Although not yet developed, there is another strata title/building envelope in closer distance to the Agriculture Zone.
- c. The use of the land in the adjoining lot for farming is recognised by the Agreement on title.

- d. There is intervening and existing vegetation between the uses together with some variation in topography.
- e. No attenuation measures are proposed as the use of the site is recognised by previous approvals, is recognised in the Agreement, and the proposed use is minor in impact due to the temporary, or intermittent, nature of the use.

CHI-S1.7.3 Access

This clause is in addition to Rural Zone - clause 20.4.3 Access for new dwellings.

Objective	
That safe and practicable vehicular access is provided with minimal impact on the surrounding natural, scenic and cultural values.	
Acceptable Solutions	Performance Criteria
A1 Vehicular access is provided using existing vehicular tracks and internal roads.	<p>P1 The design, construction and location of vehicular access must have minimal impact on the surrounding natural, scenic and cultural values, having regard to:</p> <ul style="list-style-type: none"> a) providing safe connections from existing road infrastructure; b) minimising the total number of new roads and tracks within the Meadowbank Lake Specific Area Plan area; c) being appropriate to the setting, and not substantially detracting from the rural character of the area; d) avoiding impacts from dust, run-off and noise to other land users; and e) consolidating and sharing vehicular access wherever practicable.

RESPONSE

A1 The acceptable solution is achieved.

CHI-S1.7.4 Landscape Protection

This clause is an addition to Rural Zone - clause 20.4 Development Standards for Buildings and Works.

Objective	
That buildings and works are compatible with the landscape values of the site and surrounding area and managed to minimise adverse impacts.	
Acceptable Solutions	Performance Criteria
<p>A1 Buildings and works must:</p> <ul style="list-style-type: none"> a) be located within a building area, if shown on a sealed plan; or b) be an alteration or extension to an existing 	<p>P1.1 Buildings and works must be located to minimise impacts on landscape values, having regard to:</p> <ul style="list-style-type: none"> a) the topography of the site; b) the size and shape of the site;

<ul style="list-style-type: none"> building providing it is not more than the existing building height; and c) not include cut and fill greater than 1m; and d) be on a site not requiring the clearing of native vegetation; and e) be not less than 10m in elevation below a skyline or ridgeline. 	<ul style="list-style-type: none"> c) the proposed building height, size and bulk; d) any constraints imposed by existing development; e) Visual impact when viewed from roads and public places; and f) any screening vegetation, and
	<p>P1.2 be located in an area requiring the clearing of native vegetation only if:</p> <ul style="list-style-type: none"> a) there are no sites clear of native vegetation and clear of other significant site constraints such as access difficulties or excessive slope, or the location is necessary for the functional requirements of infrastructure; and b) the extent of clearing is the minimum necessary for bushfire protection.

RESPONSE

A1 The acceptable solution (a) is met.

<p>A2 Buildings and works for a camping and caravan park or overnight camping ground must be of a temporary nature, such as not having footings and with the capacity to be easily removed from the site.</p>	<p>P2 Buildings and works for a camping and caravan park or overnight camping ground of a permanent nature must be for one or more of the following purposes:</p> <ul style="list-style-type: none"> a) a communal toilet/shower/laundry facility; b) storage; c) a site office or reception building.
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RESPONSE

Not applicable

<p>A3 Exterior building finishes must have a light reflectance value not more than 40%, in dark natural tones of grey, green or brown.</p>	<p>P3 Exterior building finishes must not cause an unreasonable loss of amenity to occupiers of adjoining properties or detract from the landscape values of the site or surrounding area, having regard to:</p> <ul style="list-style-type: none"> a) the appearance of the building when viewed from roads or public places in the surrounding area; b) any screening vegetation; and c) the nature of the exterior finishes.
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RESPONSE

P3 The performance criteria are addressed. The building is proposed to be in the colour Windspray which is a medium grey with a listed solar reflectance index of 44 and a solar absorbance value of 0.6.¹

- a. the building is located according to the building envelope. The topography is lightly undulating and provides some variation between public and private uses.
- b. The building envelope is minimal; development is confined to the building envelope, minimising visual impacts.
- c. The exterior is largely in line with the expectations set by the acceptable solution. The colour is a mid grey, expected to blend with the environment and recede in visual impact.

CHI-S1.7.5 Aquatic structures

Not applicable

CHI-S1.7.6 Aboriginal Heritage

This clause is in addition to Rural Zone - clause 20.4 Development Standards for Buildings and Works

Objective	
That Aboriginal heritage is not inappropriately disturbed.	
Acceptable Solutions	Performance Criteria
A1 Building and works: a) must not involve excavation; b) the application is accompanied by a record of advice and Unanticipated Discovery Plan, issued by Aboriginal Heritage Tasmania; or c) is in accordance with an Approved Permit issued by the Minister for Aboriginal Affairs under Section 14 of the Aboriginal Heritage Act 1975.	P1 Building and works must not inappropriately disturb Aboriginal heritage, having regard to any: a) advice received from Aboriginal Heritage Tasmania; or b) Aboriginal cultural heritage assessment by a suitably qualified person.

RESPONSE

P1 The performance criteria apply. The full extent of previous approvals is not known. The building envelopes are included to an Aboriginal heritage study undertaken by Kamae Consulting dated 2014. (Kamae Consulting, 2014) . The proposed is in line with the building envelopes and advice supplied in that report.

CHI-S1.7.7 Protection of Lake Operation

This clause is in addition to Rural Zone - clause 20.4 Development Standards for Buildings and Works

¹<https://colorbond.com/colours/windspray>

Objective	
That the operation of the lake for hydro-electric power generation and as a major source of potable water for greater Hobart is not compromised.	
Acceptable Solutions	Performance Criteria
A1 Buildings and works within 20 metres of the full supply level must be accompanied by the written support of Hydro Tasmania, with or without conditions.	<p>P1 Buildings and works within 20m of the full supply level must:</p> <ul style="list-style-type: none"> a) not hinder the operation of the lake for hydro-electric generation purposes; and b) not compromise water quality; <p>having regard to any advice received from Hydro Tasmania and/or relevant authority.</p>

RESPONSE

A1 The acceptable solution is achieved. The distance of 20m is met.

CHI-S1.7.8 On-site wastewater management

This clause is in addition to Natural Assets Code - Clause C7.6.1 Development Standards for Buildings and Works

Objective	
That on-site wastewater management does not contribute to adverse impacts on water quality.	
Acceptable Solutions	Performance Criteria
A1 Land application area must be 100m from full supply level.	<p>P1 Buildings and works within 20m of the full supply level must:</p> <ul style="list-style-type: none"> c) not hinder the operation of the lake for hydro-electric generation purposes; and d) not compromise water quality; <p>having regard to any advice received from Hydro Tasmania and/or relevant authority.</p>

RESPONSE

P1 The performance criteria are addressed. The site is not within 20m of the full supply level. Onsite wastewater is proposed to be managed within the site with a suitable system designed for the site.

20.0 Rural Zone

20.1 Zone Purpose

20.1.1 To provide for a range of use or development in a rural location:

- a) where agricultural use is limited or marginal due to topographical, environmental or other site or regional characteristics;
- b) that requires a rural location for operational reasons;

c)	is compatible with agricultural use if occurring on agricultural land; and
d)	minimises adverse impacts on surrounding uses.
20.1.2	To minimise conversion of agricultural land for non-agricultural use.
20.1.3	To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.

Response

Residential use and development is discretionary in the zone and should not interfere with the primary uses set aside as *no permit required* or *permitted* in the zone.

20.2 Use Table

Response

This clause is replaced by CHI-S1.5 Use Table

20.3 Use Standards

20.3.1 Discretionary use

RESPONSE

This clause is replaced by CHI-S1.6 Use standards and CHI-S1.6.2 Visitor Accommodation

20.4 Development Standards for Buildings and Works

20.4.1 Building height

RESPONSE

This clause is replaced by CHI-S1.7 Development Standards for Buildings and Works

20.4.2 Setbacks

RESPONSE

This clause is replaced by CHI-S1.7.2 Setbacks and Siting

20.4.3 Access for new dwellings

Objective

That new dwellings have appropriate vehicular access to a road maintained by a road authority.

Acceptable Solutions	Performance Criteria
A1 New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.	P1 New dwellings must have legal access, by right of carriageway, to a road maintained by a road authority that is appropriate, having regard to: <ul style="list-style-type: none"> a) the number of users of the access; b) the length of the access; c) the suitability of the access for use by the

	occupants of the dwelling; d) the suitability of the access for emergency services vehicles; e) the topography of the site; f) the construction and maintenance of the access; g) the construction, maintenance and usage of the road; and h) any advice from a road authority.
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RESPONSE

P1 The performance criteria are addressed. The subject site has a right of way as existing on title.

- The vehicle access is established and in use.
- The length of the access from Rockmount Road is in excess of 2km, as existing.
- The right of way is sufficient in width and passing allowances for all users.
- The road casement is wide enough for emergency vehicle access and bushfire hazard management purposes.
- The vehicular access is existing in the landscape.
- The access is existing.
- No construction of a road is proposed.
- No advice from a road authority has been sought in relation to the access. Consent to lodge the application from the Crown is required as the road is included to CT.142379/1.

4.2 Code Assessment

C2.0 Parking and Sustainable Transport Code

C2.5 Use Standards

C2.5.1 Car parking numbers

RESPONSE

A1 The acceptable solution is achieved; one car parking space will be provided.

C2.6 Development Standards for Buildings and Works

Please refer to the supplied plans.

C2.6.2 Design and layout of parking areas

Please refer to the supplied plans.

C2.6.3 Number of accesses for vehicles

A1 The acceptable solution is achieved.

C7.0 Natural Assets Code

C7.6 Development Standards for Buildings and Works

C7.6.2 Clearance within a priority vegetation area

RESPONSE

A1 The acceptable solution is achieved. The development is confined to a building area on a sealed plan.

5. Conclusion

The proposed development is for a single holiday cabin and outbuilding in the Rural Zone and the Meadowbank Lake Specific Area Plan. The proposal is consistent with similar lots in the surrounding area and the provisions of the SAP. A permit for use and development is sought from Council.



- SIGN SIMILAR TO ABOVE PICTURE TO BE PERMANENTLY FIXED TO THE STATIC WATER SUPPLY
 - SIGN SIZE DIMENSIONS
 - MIN. 300mm x 300mm
 - LETTERING TO BE UPPERCASE AND NOT LESS THAN 100mm IN HEIGHT

A MODIFIED 4C ACCESS ROAD IS AN ALL-WEATHER ROAD WHICH COMPLIES WITH THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL - GUIDELINES TO GOOD PRACTICE", 3RD EDITION, MARCH 2009 AS A CLASSIFICATION 4C ACCESS ROAD AND THE FOLLOWING MODIFIED REQUIREMENTS:

- ALL-WEATHER CONSTRUCTION;
- LOAD CAPACITY OF AT LEAST 20 TONNES, INCLUDING FOR BRIDGES AND CULVERTS;
- MINIMUM CARRIAGEWAY WIDTH OF 4 METRES;
- MINIMUM VERTICAL CLEARANCE OF 4 METRES;
- MINIMUM HORIZONTAL CLEARANCE OF 0.5 METRES FROM THE EDGE OF THE CARRIAGEWAY;
- CROSS FALLS OF LESS THAN 3° (1.20 OR 5%);
- DIPS LESS THAN 7° (1.8 OR 12.5%) ENTRY AND EXIT ANGLE;
- CURVES WITH A MINIMUM INNER RADIUS OF 10 METRES;
- MAXIMUM GRADIENT OF 15° (1.35 OR 28%) FOR SEALED ROADS, AND 10° (1.5 OR 18%) FOR UNSEALED ROADS; AND
- TERMINATE WITH A TURNING AREA FOR FIRE APPLIANCES PROVIDED BY ONE OF THE FOLLOWING:

- A TURNING CIRCLE WITH A MINIMUM INNER RADIUS OF 10 METRES
- A PROPERTY ACCESS ENCIRCLING THE BUILDING; OR
- A HAMMERHEAD "T" OR "Y" TURNING HEAD 4 METRES WIDE AND 8 METRES L

BAL NOTES:
 - FIREFIGHTING WATER SUPPLY TO BE A MIN. 10000L PER BUILDING TO BE PROTECTED. THIS VOLUME OF WATER MUST NOT BE USED FOR ANY OTHER PURPOSE INCLUDING FIRE FIGHTING SPRINKLER OR SPRAY SYSTEMS

- WATER TANK MUST BE METAL, CONCRETE OR LAGGED BY NON-COMBUSTABLE MATERIALS AND ALL ABOVE GROUND PIPES & FITTINGS TO BE MADE FROM NON-RUSTING, NON-COMBUSTIBLE AND NON-DEFORMING MATERIALS

- TANK TO BE LOCATED A MINIMUM 6.0m FROM DWELLING AND WITHIN 3.0m OF A HARDSTAND AREA - WATER TANK OR CONNECTION POINT TO BE FITTED WITH A MALE 64mm 5V THREAD COUPLING WITH MINIMUM DELIVERY OF 270L PER MINUTE

LEGEND	
	SEWER
	WATER
	STORMWATER

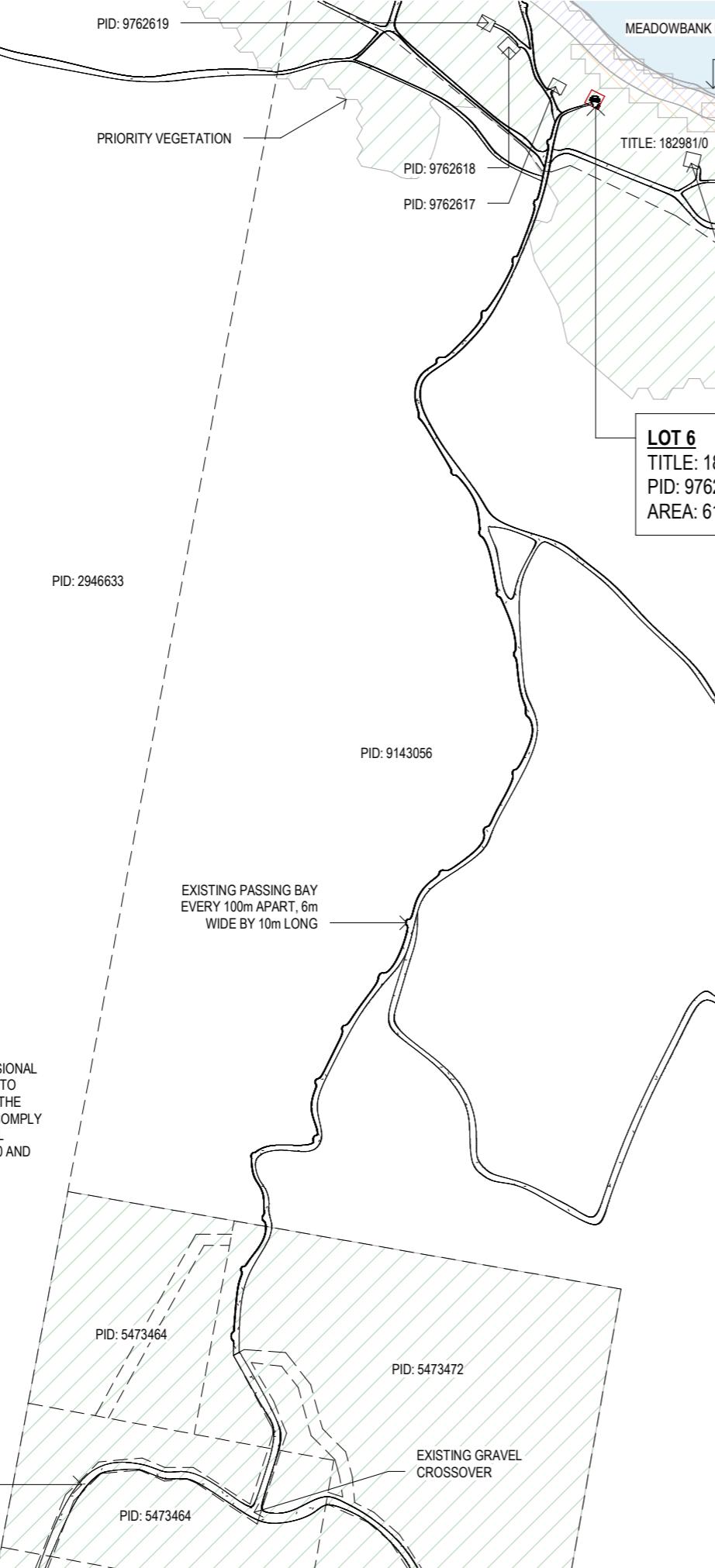
DRAINAGE
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

NOTE:
 ENTIRETY OF PROPERTY LOT IS WITHIN BAL HAZARD MANAGEMENT AREA, MEADOWBANK LAKE SPECIFIC AREA, AND PRIORITY VEGETATION AREA.

ROCKMOUNT ROAD

LOCALITY PLAN
 SCALE 1:10000

tasbuilthomes
 Your Complete Building Solutions
 Tasbuilt Manufactured Homes & Cabins
 P.O Box 274, Deloraine Tasmania 7304
 Ph: 03 6393 1013
 admin@tasbuilthomes.com.au

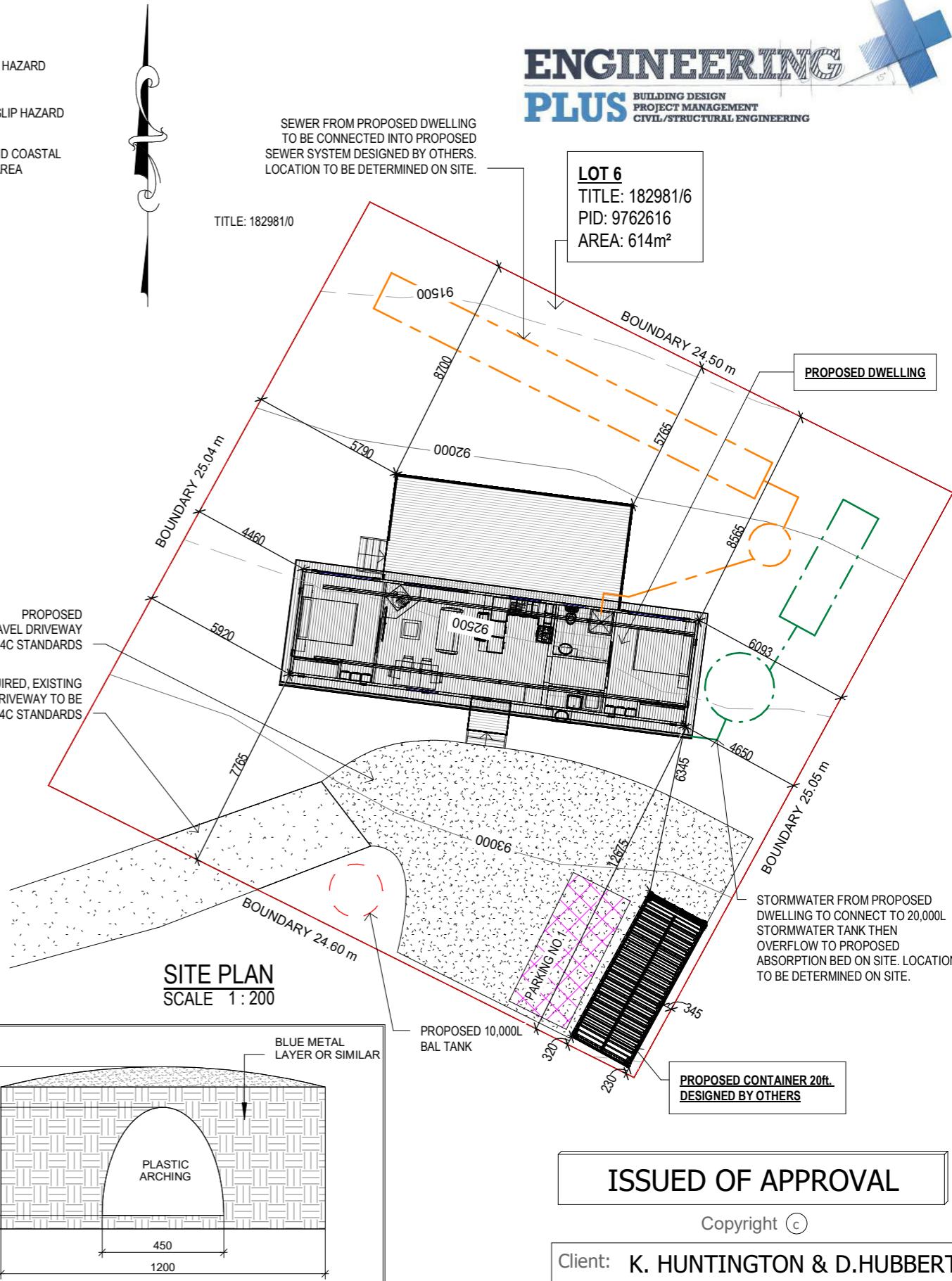


LOT 6
 TITLE: 182981/6
 PID: 9762616
 AREA: 614m²

SEWER FROM PROPOSED DWELLING TO BE CONNECTED INTO PROPOSED SEWER SYSTEM DESIGNED BY OTHERS. LOCATION TO BE DETERMINED ON SITE.

TITLE: 182981/0

LOT 6
 TITLE: 182981/6
 PID: 9762616
 AREA: 614m²



			Date Drawn: 02.05.25
			Drawn: W. Tan
			Checked: C. Lim
			Approved: J. Pfeiffer
			Scale: As Shown @ A3
B	MINOR AMENDMENT	04.06.25	W.T.
A	ISSUED FOR APPROVAL	07.05.25	W.T.
Rev:	Amendment:	Date:	Int:

ENGINEERING
PLUS BUILDING DESIGN
 PROJECT MANAGEMENT
 CIVIL/STRUCTURAL ENGINEERING



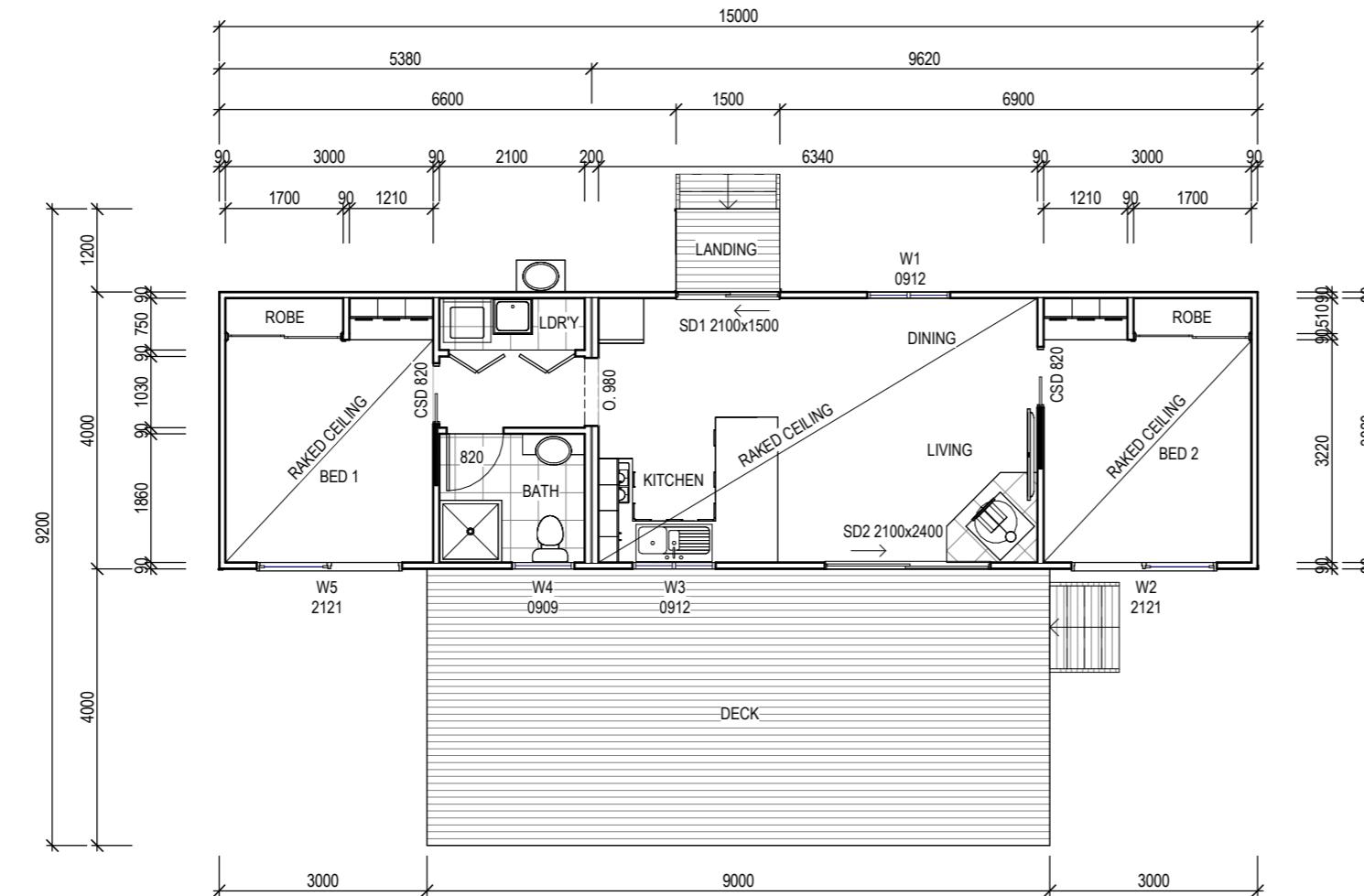
ISSUED OF APPROVAL

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Client: K. HUNTINGTON & D.HUBBERT
 Project: PROPOSED DWELLING & CONTAINER
 Address: 463 ROCKMOUNT RD, ELLENDALE TAS 7140
 Mob 0417 362 783 or 0417 545 813
 jack@engineeringplus.com.au
 trin@engineeringplus.com.au
ENGINEERING
PLUS BUILDING DESIGN
 PROJECT MANAGEMENT
 CIVIL/STRUCTURAL ENGINEERING

Rev
 2025-71 A01/ A07 B

WINDOW SCHEDULE



MARK	HEIGHT	WIDTH	TYPE	U-VALUE	SHGC
W1	900	1200	DG	4.3	.55
*W2	2100	2100	DG	4.3	.55
W3	900	1200	DG	4.3	.55
W4	900	900	DG	4.3	.55
*W5	2100	2100	DG	4.3	.55
^W6	400	2100	DG	4.3	.55
^W7	400	1200	DG	4.3	.55
^W8	400	2400	DG	4.3	.55
^W9	400	2100	DG	4.3	.55
SD1	2100	1500	DG	4.0	.61
SD2	2100	2400	DG	4.0	.61

*NOTE:
REFER ELEVATIONS FOR HIGHLIGHT WINDOWS

^NOTE:
IF HEIGHT TO GROUND IS GREATER THAN 2.0m WINDOW
TO HAVE PERMANENTLY FIXED ROBUST SCREEN
INSTALLED OR HAVE AN OPENING RESTRICTED TO 125mm

DISCLAIMER:
ALL WINDOWS SHOWN ON PLAN ARE APPROX.
BASED OFF STANDARD MANUFACTURING SIZES. ALL
WINDOW DIMENSIONS TO BE CONFIRMED ON SITE
BY BUILDER PRIOR TO ORDERING AND
MANUFACTURING.

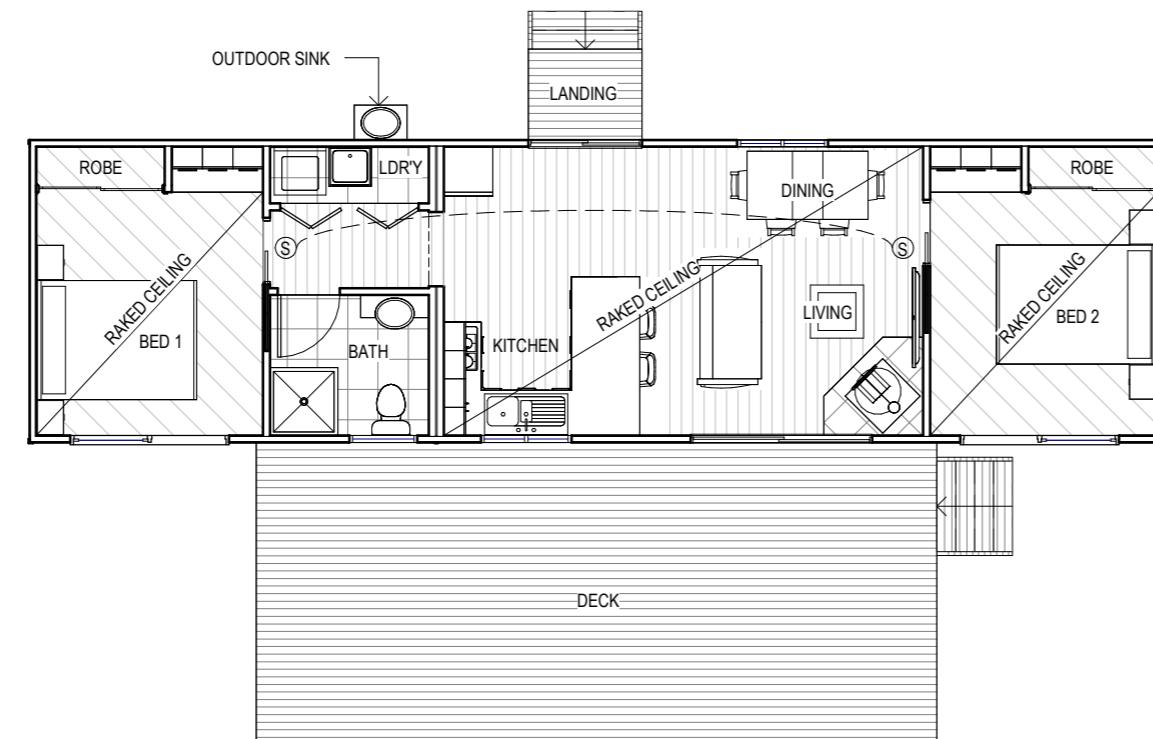
Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	60.00 m ²	6.46
LANDING	1.80 m ²	0.19
DECK	36.00 m ²	3.88
PROPOSED CONTAINER	14.64 m ²	1.58
	112.44 m ²	12.10

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A	ISSUED FOR APPROVAL	07.05.25	W.T.
Rev:	Amendment:	Date:	Int:
		Accredited Building Designer	Drawing No:
		Designer Name: J.Pfeiffer	2025-71
		Accreditation No: CC2211T	A02/ A07 B



FLOOR COVERINGS
<input type="checkbox"/> CARPET
<input type="checkbox"/> CONCRETE
<input type="checkbox"/> TIMBER DECKING
<input type="checkbox"/> TILE
<input type="checkbox"/> VINYL TIMBER FLOORING

SMOKE ALARMS
PROVIDE AND INSTALL SMOKE ALARMS & HARD WIRE TO BUILDING POWER SUPPLY TO AS 3786. CEILING MOUNTED WITH 9VDC ALKALINE BATTERY BACKUP TO LOCATIONS INDICATED ON PLAN AND IN ACCORDANCE WITH NCC PART H3.6 - ACBC PART 9.5

(S) - DENOTES INTERCONNECTED SMOKE DETECTORS

FLOOR PLAN
SCALE 1:100

Area Schedule (Gross Building)		
Name	Area	Area (sq)
DWELLING	60.00 m ²	6.46
LANDING	1.80 m ²	0.19
DECK	36.00 m ²	3.88
PROPOSED CONTAINER	14.64 m ²	1.58
	112.44 m ²	12.10

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Rev:	Amendment:	Date:	Int:	Accreditation No: CC2211T

ISSUED OF APPROVAL

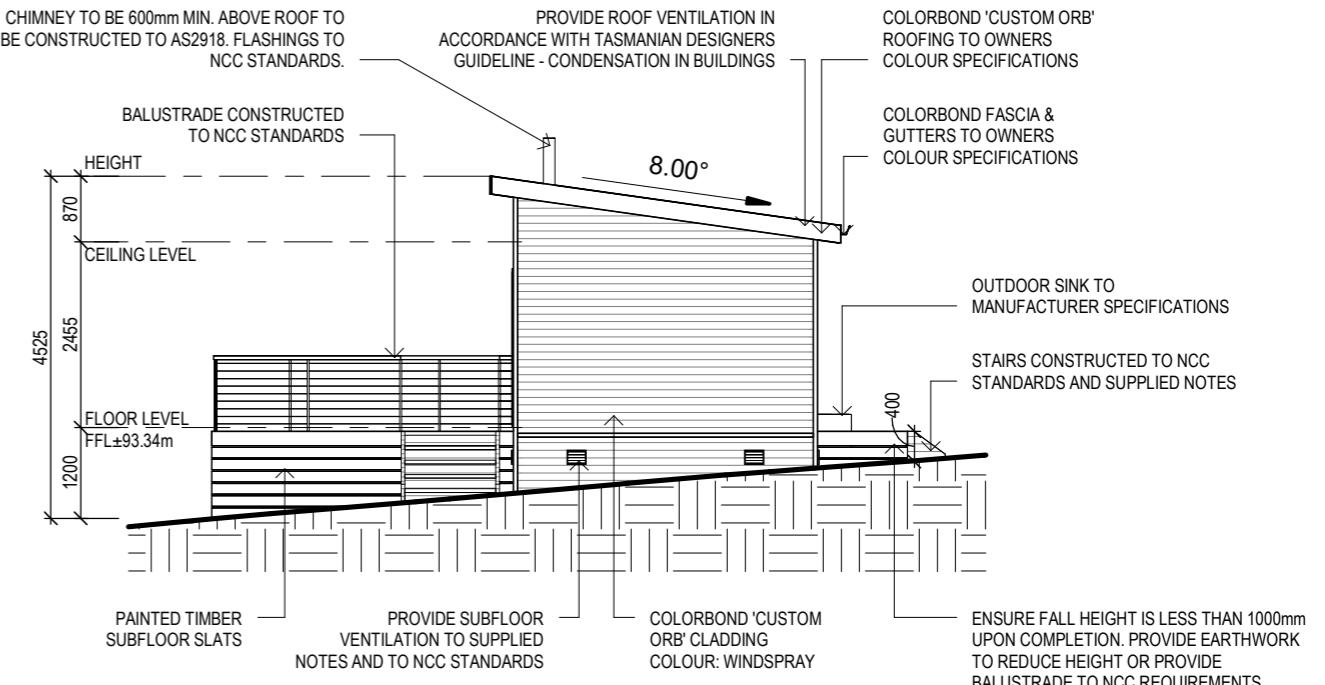
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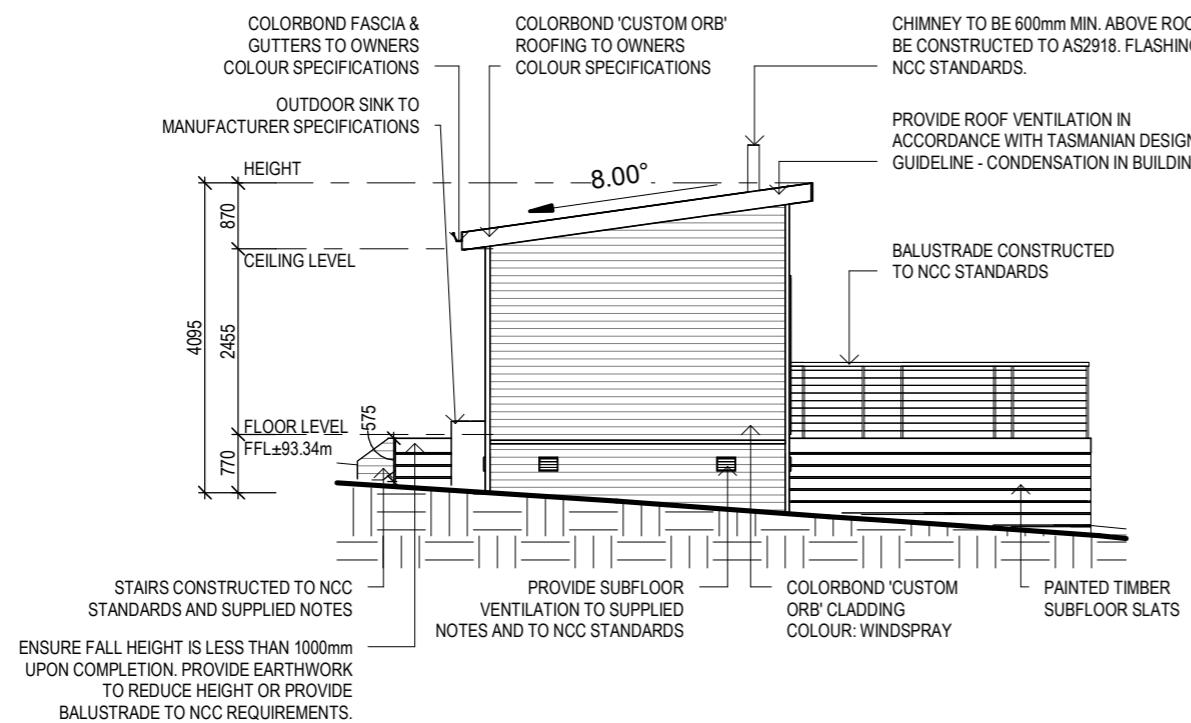
EAVE WIDTH - 300MM

SOFFIT / EAVE LINED WITH 'HARDIFLEX' CEMENT SHEETING

- TRIMMERS LOCATED WITHIN 1200 MM OF EXTERNAL CORNERS TO BE SPACED @ 500 MM CENTERS, REMAINDER OF SHEET - 700 MM CENTERS
- FASTENER / FIXINGS WITHIN 1200 MM OF EXTERNAL CORNERS @ 200 MM CENTERS, REMAINDER OF SHEET - 300 MM CENTERS



WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

STAIR CONSTRUCTION. ABCB VOLUME 2 PART 11.2

- TREADS: 240 MM
- RISERS: 180 MM
- TREATED PINE TIMBER STAIR MATERIAL TO AS1684
- TREATMENT LEVELS H4 FOR INGROUND USE & H3 FOR ABOVE GROUND USE.
- ALL FIXINGS FITTING BRACKETS AND CONNECTORS TO BE GALVANISED.
- STRINGER: 300x50 F5 TREATED PINE
- TREADS: 240x45 F5 TREATED PINE MAXIMUM TREAD SPAN 1000

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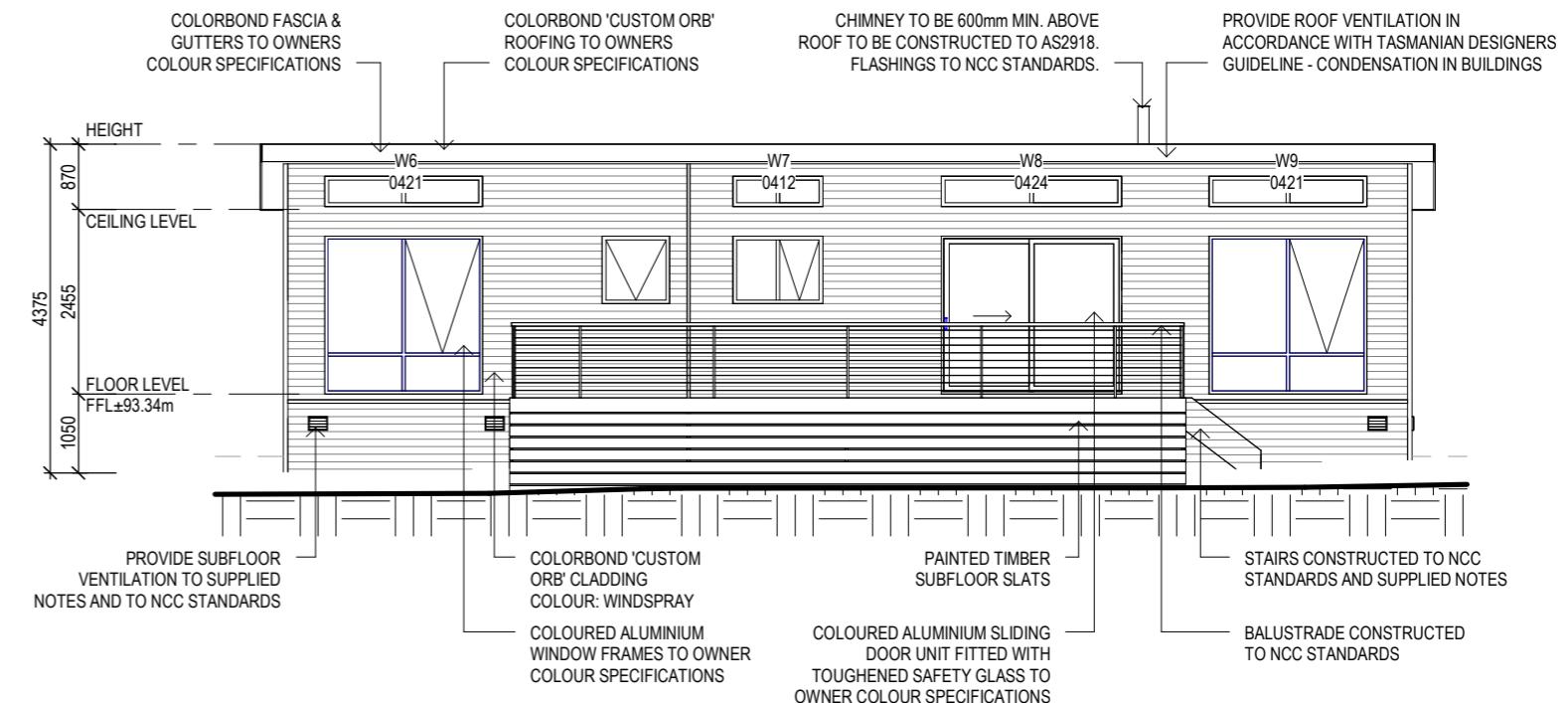
SUB FLOOR VENTILATION. NCC VOL 2 PART 6.2.1

- A MINIMUM OF 150 MM OF SUB FLOOR CLEARANCE IS TO BE PROVIDED BETWEEN FINISHED SURFACE LEVEL & THE UNDERSIDE OF THE FLOOR BEARER.
- A MINIMUM OF 6000 MM² PER METRE OF SUB FLOOR VENTILATION IS TO BE UNIFORMLY DISTRIBUTED AROUND THE EXTERNAL AND INTERNAL WALLS OF THE BUILDING.
- VENTS TO BE LOCATED NO GREATER THAN 600 MM FROM AN INTERNAL OR EXTERNAL CORNER.

PRYDA 230x75 - 52 HOLE VENT MAXIMUM SPACING 1050 MM ALONG WALL OR

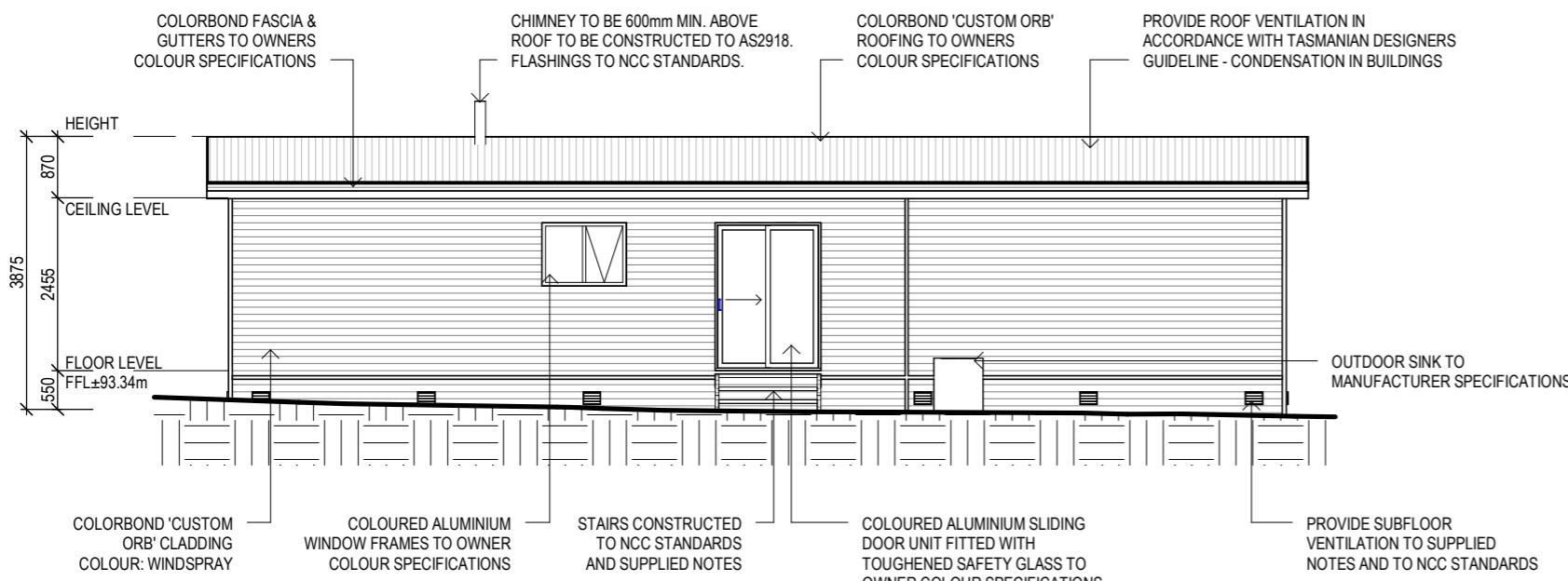
PRYDA 230x165 - 117 HOLE VENT MAXIMUM SPACING 2350 MM ALONG WALL

ADDITIONAL VENTILATION PROVISIONS TO BE INSTALLED WHERE OBSTRUCTIONS SUCH AS CONCRETE VERANDAH'S, DECKS, PATIOS AND PAVING ARE INSTALLED & OBSTRUCT VENTILATION.



NORTH ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100

SELECTED ALUMINIUM FRAMED WINDOWS - ABCB VOLUME 2 PART 8.3

POWDER COATED ALUMINIUM WINDOW & DOOR FRAMES, UNLESS OTHERWISE NOTED.

PRIMED PINE REVEALS AND TRIMS. ALL FLASHING AND FIXINGS TO MANUFACTURERS SPECIFICATIONS.

GLAZING & FRAME CONSTRUCTION TO AS 2047 & AS 1288

ALL FIXINGS AND FLASHINGS TO MANUFACTURERS REQUIREMENTS

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ROOF CLADDING. NCC PART 7.2 SHEET ROOFING

COLORBOND 'CUSTOM ORB' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

COLORBOND 'TRIMDEK' METAL SHEETING INSTALLED IN ACCORDANCE WITH THIS PART, AS 1562.1 AND MANUFACTURERS RECOMMENDATIONS.

REFER TO LYSAGHT ROOFING & WALLING MANUAL FOR FULL DETAILS ON SHEET INSTALLATION, FIXINGS & FLASHINGS

COLORBOND 'CUSTOM ORB'

- MINIMUM PITCH 5 DEGREES.
- CORROSION PROTECTION IN ACCORDANCE WITH BCA TABLE 3.5.1.I.
- END LAP OF SHEETS 5-15 DEGREES - MINIMUM 200MM.

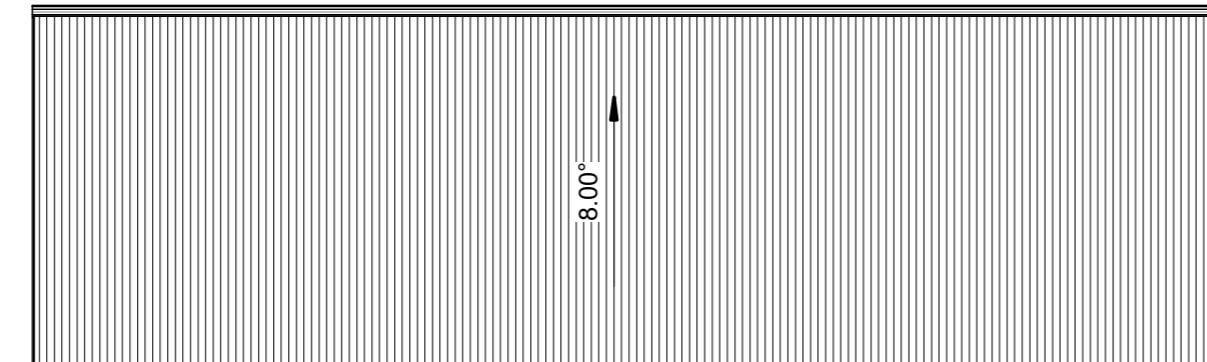
ABOVE 15 DEGREES - MINIMUM 150 MM.

- RIDGE LINE VALLEY TO BE TURNED UP (STOP ENDED).
- FASTENERS TO BE MADE OF COMPATIBLE MATERIAL WITH ROOFING MATERIAL.
- CREST FIXINGS OF END SPANS @ EVERY SECOND RIB AND INTERNAL SPANS @ EVERY THIRD RIB.
- WHERE POSSIBLE SHEETS TO BE LAID WITH SIDE LAPS FACING AWAY FROM PREVAILING WEATHER.
- REFLECTIVE FOIL INSULATION TO BE FITTED TO UNDERSIDE OF SHEETS.

R3.5 INSULATION BATTs TO ROOF SPACE ABOVE CEILING LINING.

RECOMMENDED FIXINGS FOR SEVERE EXPOSURE CONDITIONS TO AS 3566

USE CLASS 4 MATERIALS FOR SEVERE EXPOSURE & STAINLESS STEEL FOR VERY SEVERE COASTAL ENVIRONMENTS.



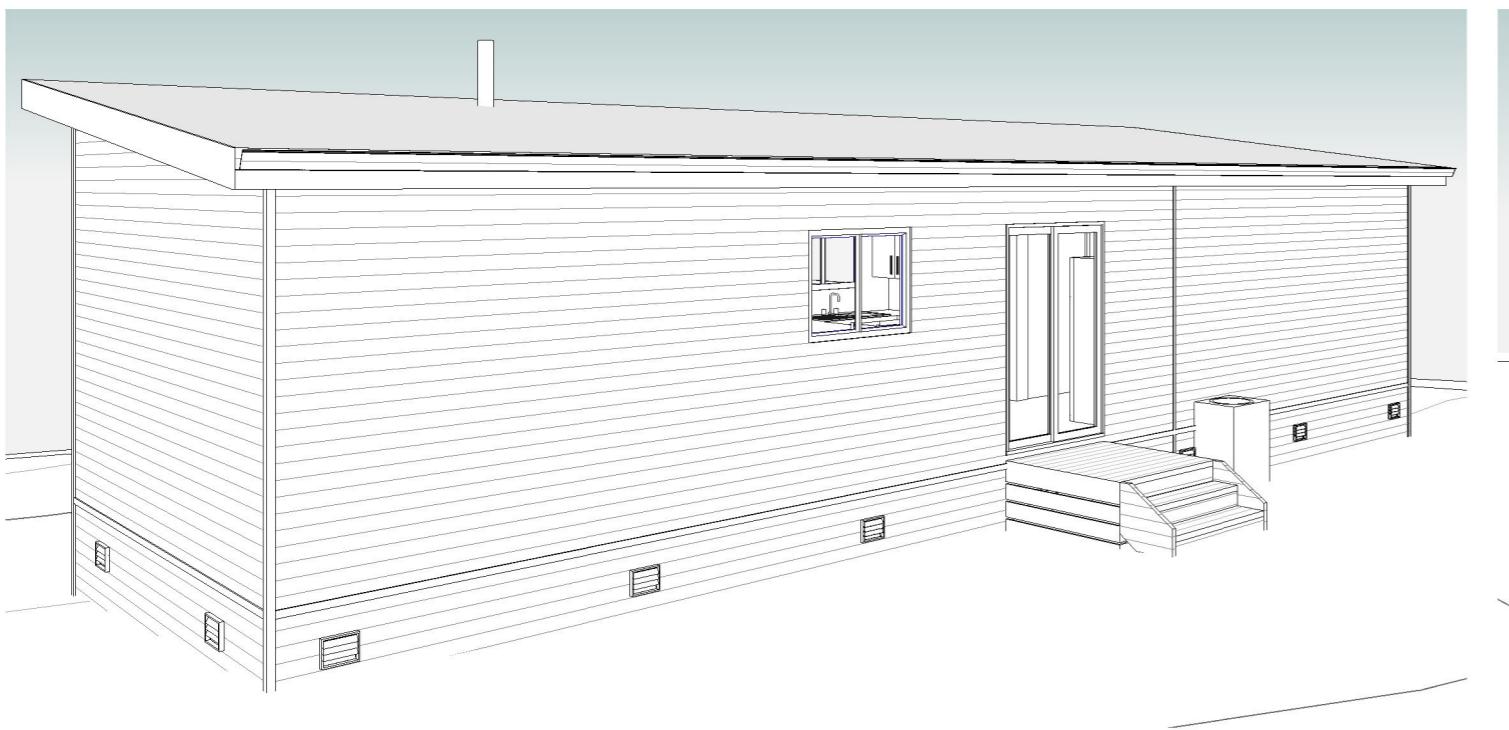
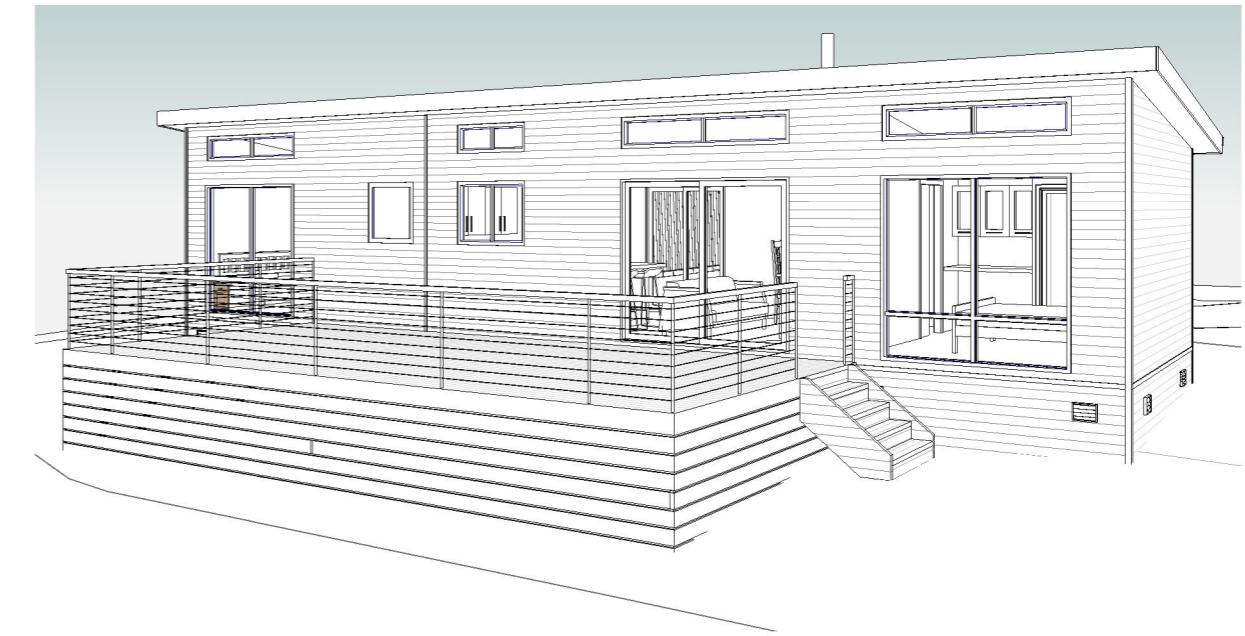
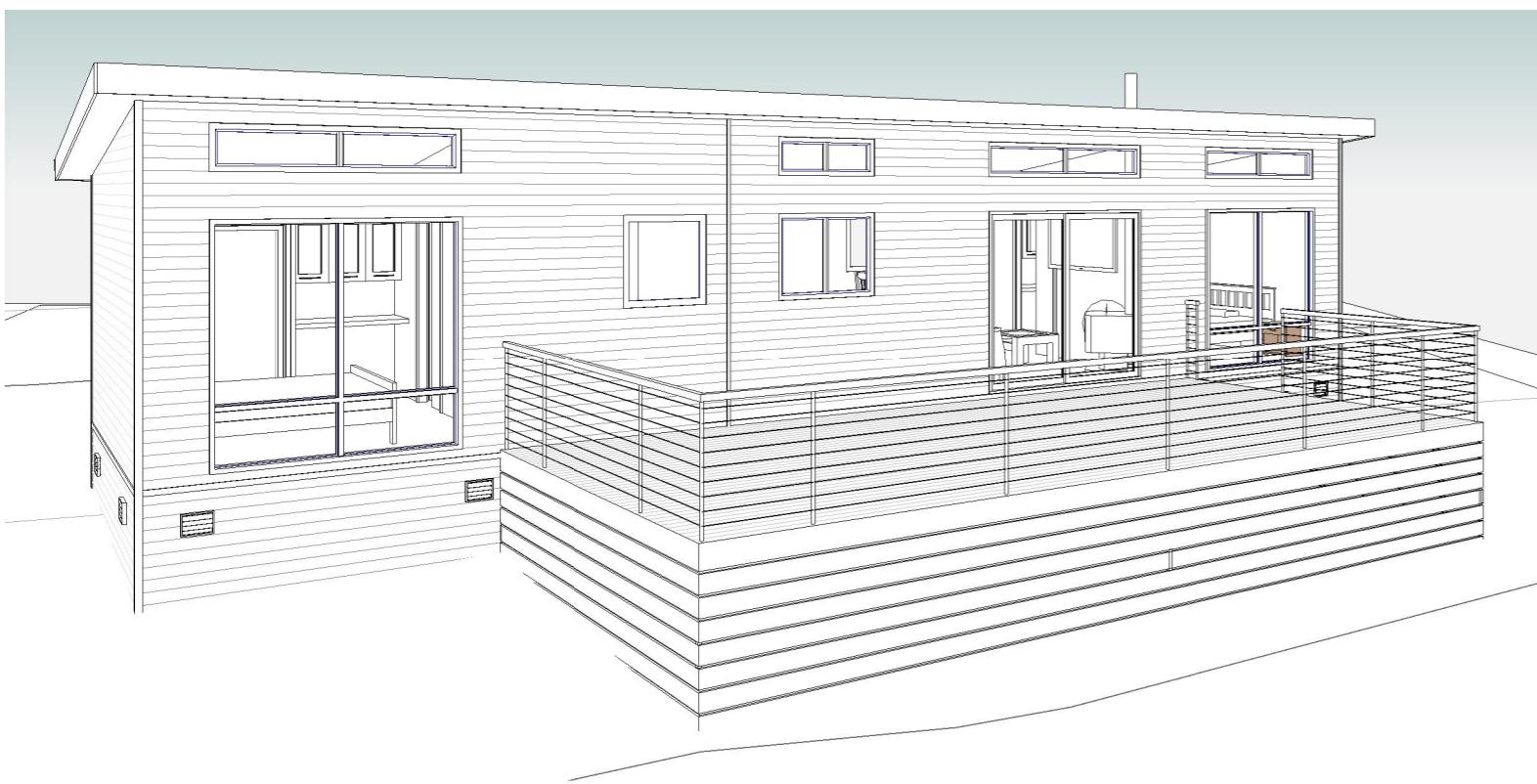
ROOF PLAN
SCALE 1:100

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Rev:	Amendment:	Date:	Int:	Drawing No: 2025-71 A06/ A07 B



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SEARCH OF TORRENS TITLE

VOLUME	FOLIO
182981	6
EDITION	DATE OF ISSUE
4	11-Jan-2025

SEARCH DATE : 30-Apr-2025

SEARCH TIME : 12.01 PM

DESCRIPTION OF LAND

Parish of ARGYLE Land District of BUCKINGHAM

Lot 6 on Strata Plan 182981 and a general unit entitlement operating for all purposes of the Strata Scheme being a 10 undivided 1/130 interest

Derived from Strata Plan 182981

Derivation : Part of Lot 626, 530 Acres Granted to Charles Simson & Part of 320 Acres Granted to William Murray

SCHEDULE 1

N225315 TRANSFER to KATHRYN LUCY HUNTINGTON and DAVID LANCE HUBBERT Registered 11-Jan-2025 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

The registered proprietor holds the lot and unit entitlement

subject to any interest noted on common property

Folio of the Register volume 182981 folio 0

SP185370 EASEMENTS in Schedule of Easements

SP169820 WATER SUPPLY RESTRICTION

SP169820 SEWERAGE AND/OR DRAINAGE RESTRICTION

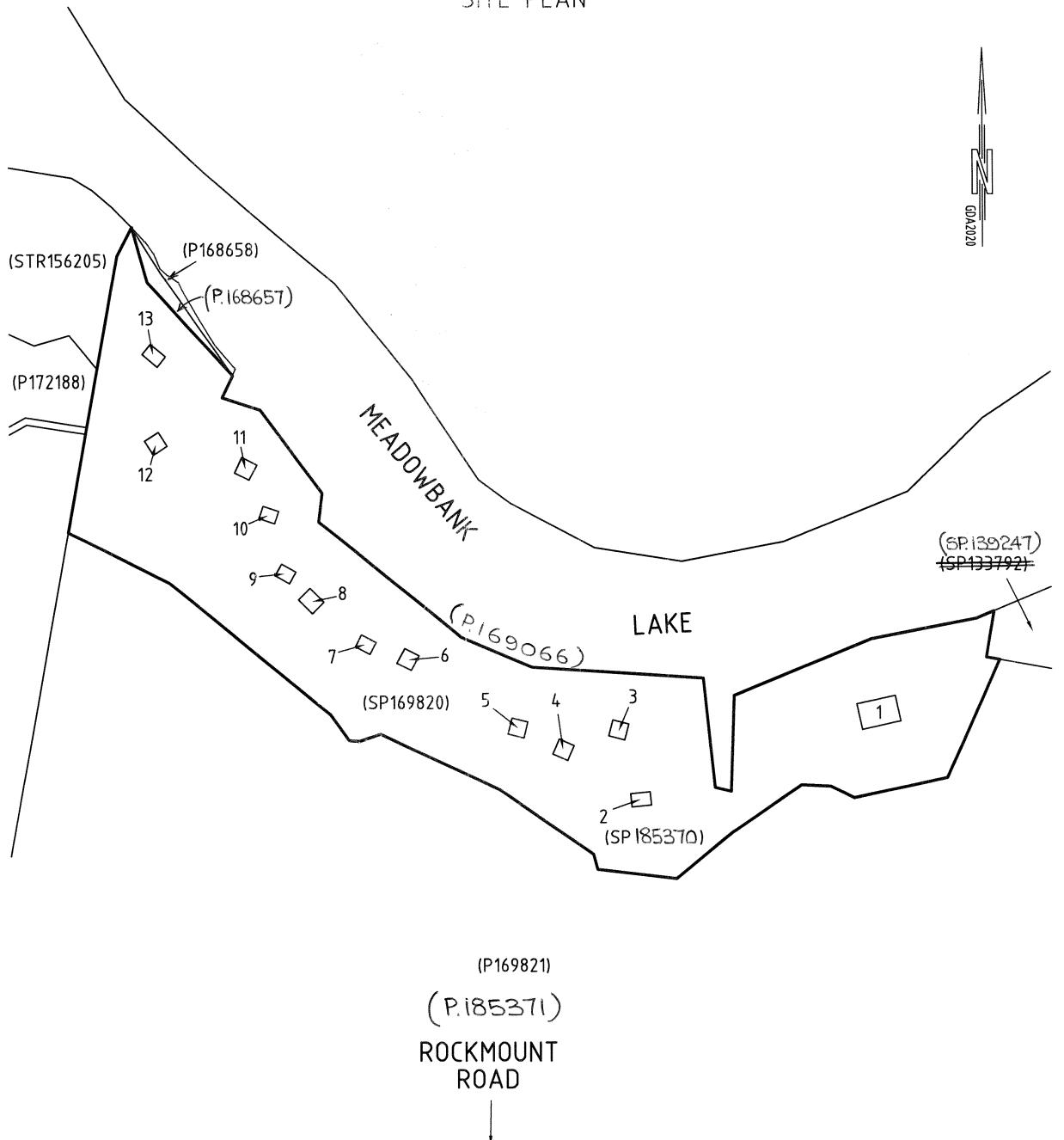
E110913 AGREEMENT pursuant to Section 71 of the Land Use

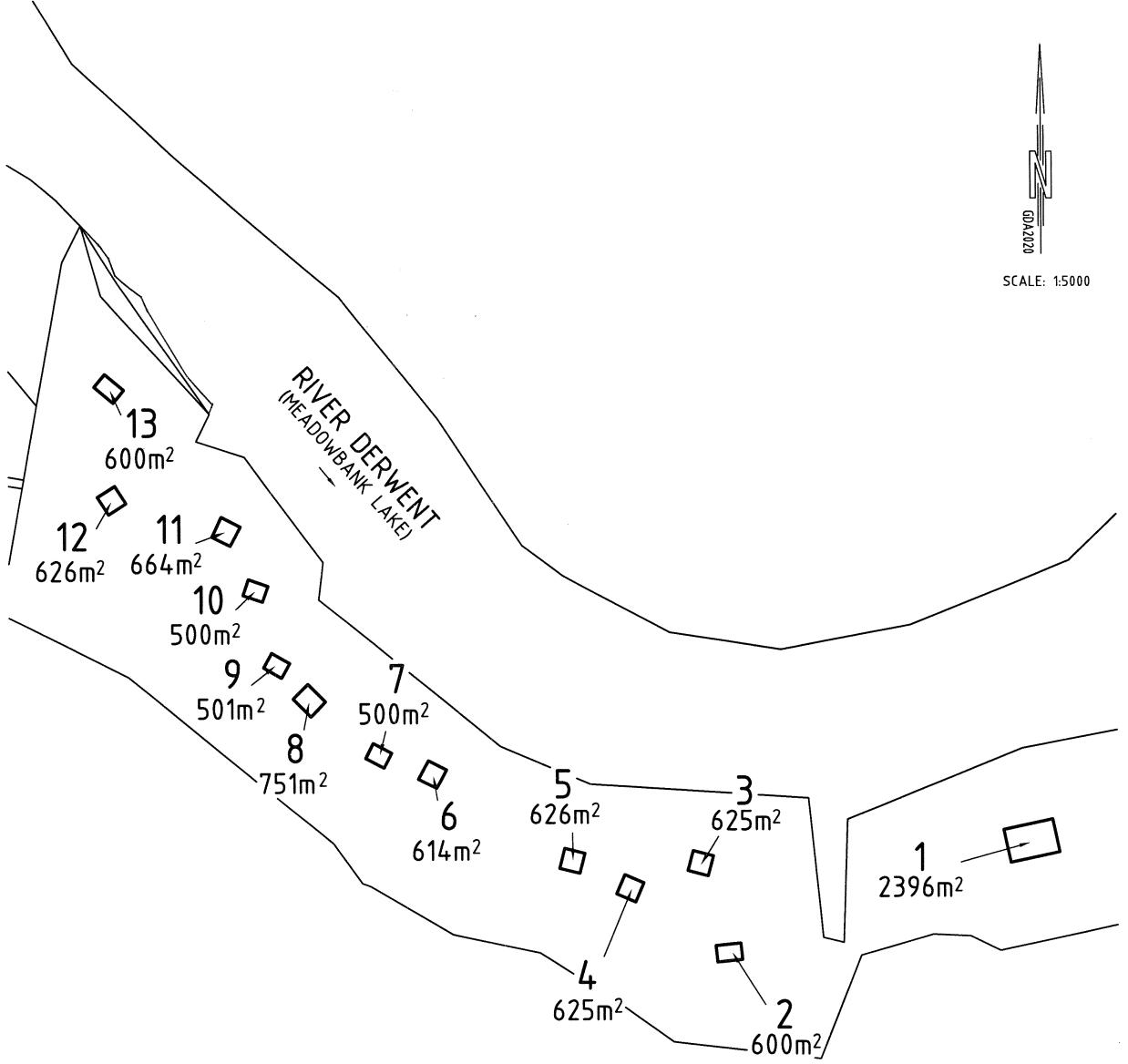
Planning and Approvals Act 1993 Registered

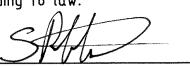
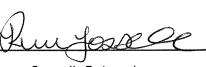
18-Dec-2017 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

CITY/TOWN SUBURB/LOCALITY ELLENDALE FOLIO REFERENCE 185370-1 SITE COMPRISSES THE WHOLE OF LOT 1 ON SEALED PLAN No. 185370		STRATA PLAN NEW SHEET 1 OF 3 SHEETS (PURSUANT TO E381960) NAME OF STRATA SCHEME 'PARADISE', 475 ROCKMOUNT ROAD, ELLENDALE		Registered Number 182981
MAPSHEET MUNICIPAL CODE No. 105	LAST UPI No.	SCALE 1:6000	LENGTHS IN METRES	STRATA TITLES ACT 1998 REGISTERED <u>14 JUL 2022</u> <i>Reuben</i> Recorder of Titles
SITE PLAN  <p>(STR156205) (P168658) (P168657) (P172188) 13 11 12 10 9 8 7 6 (P169066) (SP169820) 5 4 3 2 (SP185370) (SP139247) (SP139792) MEADOWBANK LAKE ROCKMOUNT ROAD (P169821) (P185371)</p>				
NOTES: (i) ALL BUILDINGS ON THE SITE TO BE SHOWN ON SHEET 1. (ii) BUILDING TO SITE BOUNDARY OFFSETS OF LESS THAN 2.00 METRES TO BE SHOWN ON SHEET 1.		<i>Reuben</i> Council Delegate	16/8/23 Date	43707CT-5 Ref. No. <i>SM</i> 15-9-2022 Registered Land Surveyor Date
STAGED/COMMUNITY DEVELOPMENT. SCHEME No. (IF APPLICABLE) E256847 (SDS)		LODGED BY PEACOCK DARCEY & ANDERSON		

STRATA PLAN NEW SHEET 2 OF 3 SHEETS (PURSUANT TO E231960)		STRATA TITLES ACT 1998 <i>R. J. ...</i> 16/8/23 Council Delegate Date	Registered Number 182981
 <p>SCALE: 1:5000</p>			
<p>THE HORIZONTAL LOT BOUNDARIES ARE SHOWN BY HEAVY UNBROKEN LINES AND ARE DEFINED BY CORNER PEGS PLACED AT THE LOT CORNERS.</p> <p>(SEE SURVEY NOTES FOR BOUNDARY DEFINITION)</p> <p>THE VERTICAL LOT BOUNDARIES EXTEND FROM 2 METRES BELOW GROUND LEVEL TO 5 METRES ABOVE GROUND LEVEL.</p> <p>AREAS ARE APPROXIMATE ONLY</p> <p><i>S. H. ...</i> Registered Land Surveyor 15-9-2022 Date 43707CT-5 Surveyors ref.</p>			

STRATA PLAN NEW SHEET 3 OF 3 SHEETS (PURSUANT TO E331960)		STRATA TITLES ACT 1998	Registered Number 182981
NAME OF BODY CORPORATE: STRATA CORPORATION NO. 182981, 'PARADISE', 475 ROCKMOUNT ROAD, ELLENDALE			
ADDRESS FOR THE SERVICE OF NOTICES: 475 ROCKMOUNT ROAD, ELLENDALE, TASMANIA 7140			
SURVEYORS CERTIFICATE I, Simon Roberts of Hobart a surveyor registered under the Surveyors Act 2002 certify that the building or buildings erected on the site and drawn on sheet 1 of this plan are within the site boundaries of the folio stated on sheet 1 and any encroachment beyond those boundaries is properly authorised according to law.  _____ Registered Land Surveyor		COUNCIL CERTIFICATE I certify that the <u>Central Highlands</u> Council has: (a) approved the lots shown in this plan and (b) issued this certificate of approval in accordance with section 31 of the Strata Titles Act 1998  _____ Council Delegate	
15-9-2022 43707CT-5 Date Ref No.		16/8/23 DA 2022/55 Date Ref No.	
GENERAL UNIT ENTITLEMENTS			
LOT	UNIT ENTITLEMENT		
1	10		
2	10		
3	10		
4	10		
5	10		
6	10		
7	10		
8	10		
9	10		
10	10		
11	10		
12	10		
13	10		
TOTAL	130		

TASMANIAN LAND TITLES OFFICE

Notification of Agreement under the Land Use Planning and Approvals Act 1993 (Section 71)



E110913

DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
169207	1		

REGISTERED PROPRIETOR:

Ian Charles Edwards

PLANNING AUTHORITY:

Central Highlands Council

Dated this 20 day of September 2017.....

I/We **Lyn Eyles**

of **Central Highlands Council**

the abovenamed Planning Authority, certify that the above particulars are correct and that attached is a certified executed copy of the agreement between the abovenamed parties, notice of which is to be registered against the abovementioned folio of the Register.

The abovenamed Planning Authority holds the original executed Agreement.

Signed
(on behalf of the Planning Authority)

LUA

Land Titles Office Use Only

REGISTERED

18 DEC 2017

Version 1
RECORD THE BACK OF THIS FORM MUST NOT BE USED

Stamp Duty

CERTIFIED COPY

J Brodburn

TASMANIAN LAND TITLES OFFICE

Blank Instrument Form

Land Titles Act 1980



DESCRIPTION OF LAND			
Folio of the Register			
Volume	Folio	Volume	Folio
169207	1		

THIS DEED is made the 20 day of September 2015 2017

BETWEEN Ian Charles Edwards c/- JMG Engineers & Planners, 117 Harrington Street, Hobart in Tasmania ("the Applicant") of the one part

AND Central Highlands Council of 6 Tarelton Street, Hamilton in Tasmania ("the Council") of the other part

RECITALS

- A. The Applicant is the registered proprietor of the property comprised in Certificates of Title Volume 139332 Folio 1 and Volume 46778 Folio 2 ("the Property").
- B. The Applicant has applied to subdivide the Property for the purpose of the construction of 13 Visitor Accommodation Units and associated site works in accordance with information and particulars set out in the development application and endorsed drawings.
- C. Planning Permit DA 2012/10 was issued ("the Permit") to the Applicant by the Council on 18th September 2012 a copy of which is annexed hereto and marked "A".
- D. Condition 20 of the Permit requires the parties to enter into an agreement pursuant to Part 5 of the Land Use Planning & Approvals Act 1993 ("the Act").
- E. The purpose of this Deed is to satisfy the requirement of the Permit referred to in Recital D.
- F. This Deed is made pursuant to or Part 5 of the Act.

NOW THIS DEED WITNESSES as follows:

Definitions and Interpretation

1. Definitions in the recital apply in this Deed.

Land Titles Office Use Only

Version 1

THE BACK OF THIS FORM MUST NOT BE USED

2. "Applicant" means the person from time to registered or entitled to be registered by the Recorder of Titles as proprietor of an Estate in Fee Simple in the Property any part of the Property and includes a Mortgagee in possession.
3. In this Deed, the following rules for Interpretation apply unless the contrary intention appears.
 - (a) A reference to a clause, schedule annexure to a clause of, schedule to or annexure to this Deed and reference to this Deed including any recitals, clauses, schedules and annexures;
 - (b) A reference to any party includes a reference to that party's executors, administrators, successors, substitutes (including without limited, persons taking by novation) and assigns;
 - (c) A reference to a person includes a body corporate, an unincorporated body or any other entity;
 - (d) The recitals form part of, and are include in, the operative provisions of this Deed;
 - (e) A reference to a singular include the plural and conversely;
 - (f) Heading are of convenience only and do not affect interpretation; and
 - (g) A reference to a gender includes all genders.

Agreement

4. The Applicant covenants with Council that:-
 - (a) The visitor accommodation units are located within an established rural area and may be subject to noise, odour, chemical and dust emissions associated with surrounding agricultural activities. Owners or visitors do not have a right to complain about agricultural activities.
 - (b) The Visitor Accommodation units may only be constructed within the building envelopes shown on the plan annexed hereto and marked "B".
 - (c) All buildings to be constructed on the property must not exceed five (5) metres above the natural ground level (excluding minor appurtenances).
 - (d) The twelve (12) visitor accommodation units are approved for short stay visitor accommodation only and are not to be used for permanent residential accommodation or long-term rental accommodation.
 - (e) The Applicant must not allow any native vegetation to be removed from the property unless the removal of that vegetation is necessary for bush fire hazard risk mitigation, access requirements or for building construction.
 - (f) The Applicant must ensure that construction must not occur on the lots numbered 5, 6 and 13 during the Tasmanian Devil (*sarcophilus harrisii*) breeding season of July to December inclusive.
 - (g) The visitor accommodation units must not be occupied by any owner or other occupant for a continuous period greater than three (3) months.
 - (h) Council will not be responsible for the construction or upgrading of any internal road or access to the approved lots. Any current or future owners of the approved lots will be responsible for any construction or upgrades necessary to provide an appropriate level of

service and safety to suit any future development and in accordance with an approved engineering design.

- (i) The development of the approved visitor accommodation units is to be carried out and maintained in accordance with the recommendations of Guidelines for Development in Bushfire Prone Areas of Tasmania, Tasmanian Fire Service, Hobart, 2005 and constructed in accordance with Level 1 of Standards Australia (1999): AS3959: Construction of Buildings in Bushfire Prone Areas Standards Australia, Sydney.
- (j) No caravans or other temporary accommodation are permitted on the site for a period greater than twenty one (21) days unless otherwise approved by Council.
- (k) All visitor accommodation units shall include skillion roof design.
- (l) All visitor accommodation units shall be constructed in materials which are natural earthy colours such as greens, browns and greys. Limited use of stronger colours and metallic finishes is acceptable for highlighting building elements.
- (m)

Covenant to run off the land

5. The parties acknowledge and agree that the Applicant covered in clause 2 above of this Deed will run with all lots in the subdivision of the Property as if they were covenants to which Section 102 (2) of the *Land Titles Act 1980* applied.

Registration of this Deed

6. The Applicant acknowledges that this Deed is to be registered by the Recorder of Titles pursuant to section 78 of the *Land Use Planning and Approvals Act 1993* in relation to the Property and undertakes and agrees to attend to the registration of this Deed.

Severability

7. If any part of this deed is found to be void, voidable, illegal or unenforceable then that part shall be severable from and shall not affect or derogate from the enforceability or validity of the rest of the Deed.

Jurisdiction and Proper Law

8. This Deed shall be governed and construed in accordance with the laws of Tasmania;
9. Each of the parties submit to the jurisdiction of the courts of Tasmania including all courts of appeal thereto

Further Assurances

10. Each party shall sign all such instruments, deeds and documents and do all such acts, matters and things which may be reasonably necessary for the purpose of carrying out the intent and provisions of this Deed.

Binding Agreement

11. This Deed shall bind the parties and their respective heirs, executors, administrators and assign.

Notices

12. All notices to be given under this Deed must be in writing and may be delivered or sent by prepaid post, email or facsimile transmission to the address shown in this Deed for the party to whom the notice is given or to such other addresses as may be notified hereunder of the parties' solicitors.
13. Every notice will be deemed to have been received and given:
 - (a) if sent by post, on the second day following the date of posting;
 - (b) if delivered, on the actual day of delivery;
 - (c) if sent by facsimile transmission, when receipt is acknowledged; and
 - (d) if sent by email when the sender's computer provides evidence that the email has been sent.

CERTIFIED COPY

J. Brodburn

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IN WITNESS whereof the parties hereto gave executed this Deed on the day of in the year
2016

SIGNED SEALED AND DELIVERED)
by the said **IAN CHARLES EDWARDS** by)
his attorney **DALE PAULINE AHERNE**)
under Power of Attorney No. PA10424 and)
the said **DALE PAULINE AHERNE** declares)
that she has received no notice of revocation of)
the said Power of Attorney in the presence of:)

Dale Aherne
Signature of Witness
Name of Witness CRAIG ZEPPA
Address of Witness 127 Beaconsfield Street HOBART
Occupation of Witness SURVEYOR

THE COMMON SEAL of CENTRAL HIGHLANDS COUNCIL
was hereunto affixed by the General Manager pursuant to an
authorisation issued to him by the Council by resolution made
the 20 day of September 2016 2017



Reyes
General Manager



COPY

'A'
AB

PLANNING PERMIT DA 2012 / 10

In accordance with Division 2 of Part 4 of the *Land Use and Planning Approvals Act 1993*, the Central Highlands Council (Planning Authority) grants a permit –

To: Ian Edwards C/- JMG Engineers & Planners
Of: 117 Harrington Street, HOBART 7000

For land described as:

475 Rockmount Road, Ellendale, Certificate of Title 139332/1 & 46778/2

This Permit allows for:

The land to be developed by the subdivision of one lot and balance and the construction of 13 visitor accommodation units and associated site works in accordance with the information and particulars set out in the development application and endorsed drawings.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT: -

General

1. The development must be carried out in accordance with the application for planning approval, the endorsed drawings and with the conditions of this permit and must not be altered or extended without the further written approval of Council.
2. **Prior to sealing the final Plan of Survey**, an amended site plan showing the exact Unit Type to be constructed on each site and the final location of the building, access and bushfire management zones must be submitted to the satisfaction of Council prior to any works commencing or strata division of the land. ~~All buildings must be located within the specified envelopes on the approved plan and must be no greater than 5 metres height above natural ground level. Once approved the amended drawings will form part of this planning permit.~~

Amended 06/08/2015

3. The manager's dwelling is not approved under this permit. A separate planning application must be made for that development prior to strata division of the land.
4. This permit shall not take effect and must not be acted on until 15 days after the date of receipt of this permit unless, as the applicant and the only person with a right of appeal, you notify Council in writing that you propose to commence the use or development before this date, in accordance with Section 53 of the *Land Use Planning and Approvals Act 1993*.
5. Electrical reticulation and telecommunication reticulation must be installed in accordance with the requirements of Aurora Energy Pty. Ltd., Telstra and the gas authority.

Subdivision

6. The subdivision layout or development must be carried out substantially in accordance with the application for planning approval, the endorsed drawings and with the conditions of this permit and must not be altered or extended without the further written approval of Council.
7. Easements must be created over all drains, pipelines, wayleaves and services in accordance with the requirements of the Council's General Manager. The cost of locating and creating the easements shall be at the subdivider's full cost.
8. The final plan of survey must be noted that Council cannot or will not provide a means of drainage, water or sewer services to all lots shown on the plan of survey.

Final Plan

9. A fee of \$220.00, or as otherwise adopted by Council resolution from time to time, must be paid to Council prior to the sealing of each stage of the final plan of survey.
10. A final plan of survey and two (2) copies must be provided together with the schedule of easements as necessary.
11. All conditions of this permit must be satisfied before the Council seals the final plan. It is the subdivider's responsibility to arrange any required inspections and to advise Council in writing that the conditions of the permit have been satisfied. The final plan of survey will not be dealt with until this advice has been provided.

Aboriginal Heritage

12. An Aboriginal Cultural Heritage Assessment prepared by a suitably qualified archaeological expert in accordance with the document *Aboriginal Heritage Guidelines and Standards for Consulting Archaeologists* must be submitted to Council prior to any works being undertaken on the site. Any recommendations of the report must be fully implemented to the satisfaction of the Council's General Manager.
13. In the event that any suspected item of archaeological significant is inadvertently encountered during works associated with development of the site, then the activity creating the disturbance should cease immediately, and the *Aboriginal Relics Act 1975* will apply for reporting and management.

Amenity

14. All external metal building surfaces (including wind turbine generators and associated infrastructure) must be clad in non-reflective pre-coated metal sheeting or painted in a matt finish to the satisfaction of the Council's General Manager.
15. Before any work commences a schedule specifying the finish and colours of all external surfaces and samples must be submitted to and approved by the Council's General Manager. The schedule must provide for finished colours that blend in with the natural rural landscape to minimise visual intrusion, such as natural browns or greens. The schedule shall form part of this permit when approved.

Environment

16. The final location of the building, access and bushfire protection areas for Site 5 must be determined to minimise clearance of *Eucalyptus tenuiramis* forest and woodland vegetation community. Evidence from a suitably qualified person to this effect must be provided to Council with the site final plan and prior to any works commencing.
17. The final locations of the building, access and bushfire protection areas for Sites 5, 6 and 13 must be sited at least 50 metres from any Tasmanian Devil (*Sarcophilus harrisii*) dens. No vegetation may be cleared from within this buffer area. Evidence from a suitably qualified person to demonstrate this has been achieved must be provided to Council with the site final plan and prior to any works commencing.

18. ~~Construction work at Sites 5, 6 and 13 must not occur during the Tasmanian Devil (*Sarcophilus harrisii*) breeding season of July to December, inclusive.~~

Amended 06/08/2015

19. A preclearance survey for *Pseudemoia pagenstercheri* (tussock skink) and evidence of *Haliaeetus leucogaster* (White-bellied Sea Eagle) and their nests must be undertaken by a suitably qualified professional prior to any construction work commencing. If the species is identified advice should be sought from the Policy and Conservation Branch of DPIPWE before works proceed.

Part 5 Agreement

20. An agreement pursuant to Part 5 of the *Land Use Planning and Approvals Act 1993* must be entered into prior to any works commencing. This agreement shall provide for the following:

- a. All Visitor Accommodation Units are to be located within the defined building envelopes as shown on the amended Site Plan required by Condition 2 of this Planning Permit. The amended Site Plan shall form an attachment to this agreement.
- b. All Visitor Accommodation Units are to be constructed at each site in accordance with the final design as required by Condition 2 of this permit. The final designs shall form an attachment to this agreement.
- c. All buildings will be less than 5 metres in height above natural ground level (not including minor protrusions)
- d. Native vegetation is not to be removed from the property except for vegetation management required for bushfire hazard risk mitigation, for access requirements and for building construction.
- e. Construction work at Sites 5, 6 and 13 must not occur during the Tasmanian Devil (*Sarcophilus harrisii*) breeding season of July to December, inclusive.
- f. The visitor accommodation units are located within an established rural area and maybe subject to noise, odour, chemical and dust emissions associated with surrounding agricultural activities. Owners or visitors do not have a right to complain about agricultural activities.
- g. The twelve (12) Visitor Accommodation units are approved for short stay visitor accommodation only and are not to be used for permanent residential accommodation or long-term rental accommodation.
- h. The Visitor Accommodation units must not be occupied by any owner or other occupant for a continuous period greater than three (3) months.
- i. Council will not be responsible for the construction or upgrading of any internal road or access to the approved lots. Any current or future owners of the approved lots will be responsible for any construction or upgrades necessary to provide an appropriate level of service and safety to suit any future development and in accordance with an approved engineering design.
- j. The development of the approved Visitor Accommodation Units is to be carried out and maintained in accordance with the recommendations of Guidelines for development in bushfire prone areas of Tasmania, Tasmanian Fire Service, Hobart, 2005 and constructed in accordance with Level 1 of Standards Australia (1999): AS3959: Construction of Buildings in Bushfire Prone Areas Standards Australia, Sydney.
- k. No caravans or other temporary accommodation are permitted on the site for a period greater than twenty one (days) unless otherwise approved by Council.

Amended 06/08/2015

21. Agreements made pursuant to Part 5 of the *Land Use Planning and Approvals Act 1993* must be prepared by the applicant on a blank instrument form to the satisfaction of Council and registered with the Recorder of Titles. All Costs associated with the preparation and registration of the Part 5 Agreement must be met by the applicant.

Bushfire Management

22. Before the use commences the land and dwelling must be developed and completed in accordance with the approved Bushfire Hazard Management Plan and must continue to be maintained to the satisfaction of the Council's General Manager.
23. The Visitor Accommodation must be designed and constructed in accordance with the recommendations of the approved fire hazard management plan and the provisions for Level 1/2 risk of Standards Australia (2001): *Australian Standard AS 3959-1999, Construction of Buildings in Bushfire Prone Areas*, (incorporating Amdt. 1 & 2), SAI Global Ltd., Sydney.

Signage

24. No signs are to be erected on the property without Council approval unless exempt under the Scheme.

Covenants

25. Covenants or other similar restrictive controls that conflict with any provisions or seek to prohibit any use provided within the planning scheme must not be included or otherwise imposed on the titles to the lots created by this permit, either by transfer, inclusion of such covenants in a Schedule of Easements or registration of any instrument creating such covenants with the Recorder of Titles, unless such covenants or controls are expressly authorised by the terms of this permit or the consent in writing of the Council's General Manager.

Wastewater

26. All wastewater disposal shall be in accordance with the Geotechnical report approved with this permit (*Geo-Environmental Solutions: Geo-Environmental Assessment, 475 Rockmount Road, Ellendale September 2011*) and a Special Plumbing Permit to the satisfaction of Council's Senior Environmental Health Officer. Aerated Wastewater Treatment Systems (AWTS) would be the preferred option.

Services

27. The developer must pay the cost of any alterations and/or reinstatement to existing services, Council infrastructure or private property incurred as a result of the development. Any work required is to be specified or undertaken by the authority concerned.

Protection of water quality

28. Before any work commences a Soil and Water Management Plan (SWMP) prepared by a consultant approved by Council's Municipal Engineer recommending measures to control stormwater runoff from the land so that runoff does not cause erosion and sedimentation or discolouration of any surface water outside the boundaries of the land during the construction phase must be submitted to and approved by the Council's General Manager (refer to advice below). The SWMP shall form part of this permit when approved.

Weed Management

29. Prior to the carrying out of any works approved or required by this approval, the subdivider must provide a Weed Management Plan detailing measures to be adopted to limit the spread of weeds listed in the *Weed Management Act 1999* through imported soil or land disturbance by appropriate water management and machinery

and vehicular hygiene to the satisfaction of Council's General Manager and of the Regional Weed Management Officer, Department of Primary Industries, Parks, Water and Environment.

Roadwork's

30. The developer is to upgrade the User Road to an unsealed rural road standard in accordance with the standards shown on standard drawings SD-1008 Rural Roads – Typical Cross Section prepared by the IPWE Aust. (Tasmania Division) (attached) and to the requirements of Council's General Manager.
31. All private access roads must be constructed or upgraded to comply with relevant municipal standard drawings, the recommendations of Bushfire Planning Group (2005): *Guidelines for development in bushfire prone areas of Tasmania, Tasmania Fire Service, Hobart* and to the satisfaction of Council's General Manager. Shared access must include a:
 - All weather construction;
 - minimum trafficable width of 6.00 metres (Including consolidated, formed, surfaced and drained shoulders), or minimum 4.0 metres trafficable width with 2.0 metre wide by 20 metre long passing bays every 90 metres along the access otherwise;
 - stormwater drainage as required.
32. The developer must pay the cost of any alterations, damages and/or reinstatement to Council's road assets, Council infrastructure, existing services or private property incurred as a result of the development. Any work required is to be specified or undertaken by the authority concerned.

Engineering drawings

33. Engineering design drawings for any works relating to Council Infrastructure are to be submitted for approval by Council's General Manager. Engineering Drawings are to be prepared by a qualified and experienced civil engineer, or other person approved by the General Manager.
34. Approved Engineering Plans will remain valid for a period of 2 years from the original date of approval.

Construction amenity

35. Any works relating to the development must be carried out between the following hours:

Monday to Friday	7.00am to 6.00pm
Saturday	9.00am to 6.00pm
Sundays & Public Holidays	10.00am to 6.00pm

THE FOLLOWING ADVICE APPLIES TO THIS PERMIT:

- A. This permit does not imply that any other approval required under any other legislation or by-law has been granted.
- B. The issue of this permit does not ensure compliance with the provisions of the *Threatened Species Protection Act 1995* or the *Environmental Protection and Biodiversity Protection Act 1999* (Commonwealth). The applicant may be liable to complaints in relation to any non-compliance with these Acts and may be required to apply to the Policy and Conservation Assessment Branch of the Department of Primary Industries, Parks, Water and the Environment or the Commonwealth Minister for a permit.
- C. The issue of this permit does not ensure compliance with the provisions of the *Aboriginal Relics Act 1975*.

D. The primary function of Lake Meadowbank is for hydro generation. The lake operates in a range of 6.08 metres, therefore, for continuity of supply, any pumps or pipes installed should be designed to operate over this full range. Note that separate approval will be required from Hydro Tasmania for any pumps or pipes across or on its land.

E. Lake Meadowbank is a multiple use lake and there is a need to respect the rights and obligations of others. This permit does not extend to approval for structures such as boat ramps, pipes and pumps on the adjoining Hydro Tasmania land. Approval for these are subject to separate approval by either Hydro Tasmania, Council or both and requires authorisation of Hydro Tasmania and needs to meet the requirements of Hydro Tasmania as well as the Central Highlands Planning Scheme and any other permitting requirements.

F. The SWMP shall be prepared in accordance with HMCA (1999): Guidelines for Soil and Water Management, HMCA, Hobart, the *State Policy for Water Quality Management 1997* and the requirements of the Council's General Manager and show the following –

- Allotment boundaries, north-point, contours, layout of roads, driveways, building envelopes and reticulated services (including power and telephone and any on-site drainage or water supply), impervious surfaces and types of all existing natural vegetation;
- Critical natural areas such as drainage lines, recharge area, wetlands, and unstable land;
- Estimated dates of the start and completion of the works;
- Timing of the site rehabilitation or landscape program;
- Details of land clearing and earthworks or trenching and location of soil stockpiles associated with roads, driveways, building sites, reticulated services and fire hazard protection;
- Arrangements to be made for surface and subsurface drainage and vegetation management in order to prevent sheet and tunnel erosion;
- Temporary erosion and sedimentation controls to be used on the site; and
- Recommendations for the treatment and disposal of wastewater in accordance with Standards Australia: AS/NZS 1547: *On-site wastewater management*, Standards Australia, Sydney, 2000.

G. This planning approval shall lapse at the expiration of two (2) years from the date of the commencement of planning approval if the development for which the approval was given has not been substantially commenced. Where a planning approval for a development has lapsed, an application for renewal of a planning approval for that development shall be treated as a new application.

Dated: 2 September 2015


for David Allingham
Contract Planner

