



PUBLIC NOTICE DETAILS

PLANNING APPLICATION DETAILS

Application Number:	DA 2025/46
Application Type:	Discretionary Development Application
Property Location:	27 Dolerite Crescent, Flintstone
Proposal:	Outbuilding
Advertising Commencement Date:	14 August 2026
Representation Period Closing Date:	28 August 2026
Responsible Officer:	Louisa Brown, Senior Planning Officer

The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing development@centralhighlands.tas.gov.au. Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

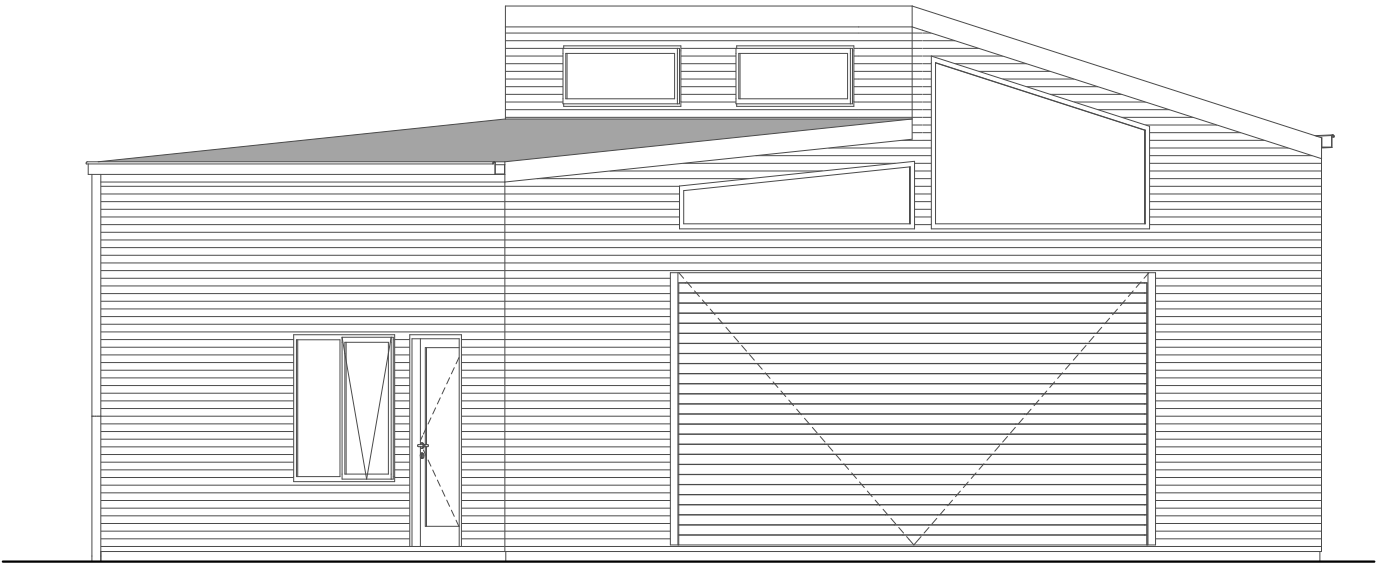
Post: 19 Alexander Street, Bothwell TAS 7030
Email: development@centralhighlands.tas.gov.au

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.



PROPOSED SHED
27 DOLERITE CRESCENT,
FLINTSTONE, 7030.

DRAWING #	DRAWING
DLRT25A-1	COVER PAGE
DLRT25A-2	SITE PLAN
DLRT25A-3	SHED FLOOR PLAN
DLRT25A-4	EXTERNAL SERVICES
DLRT25A-5	ELEVATIONS



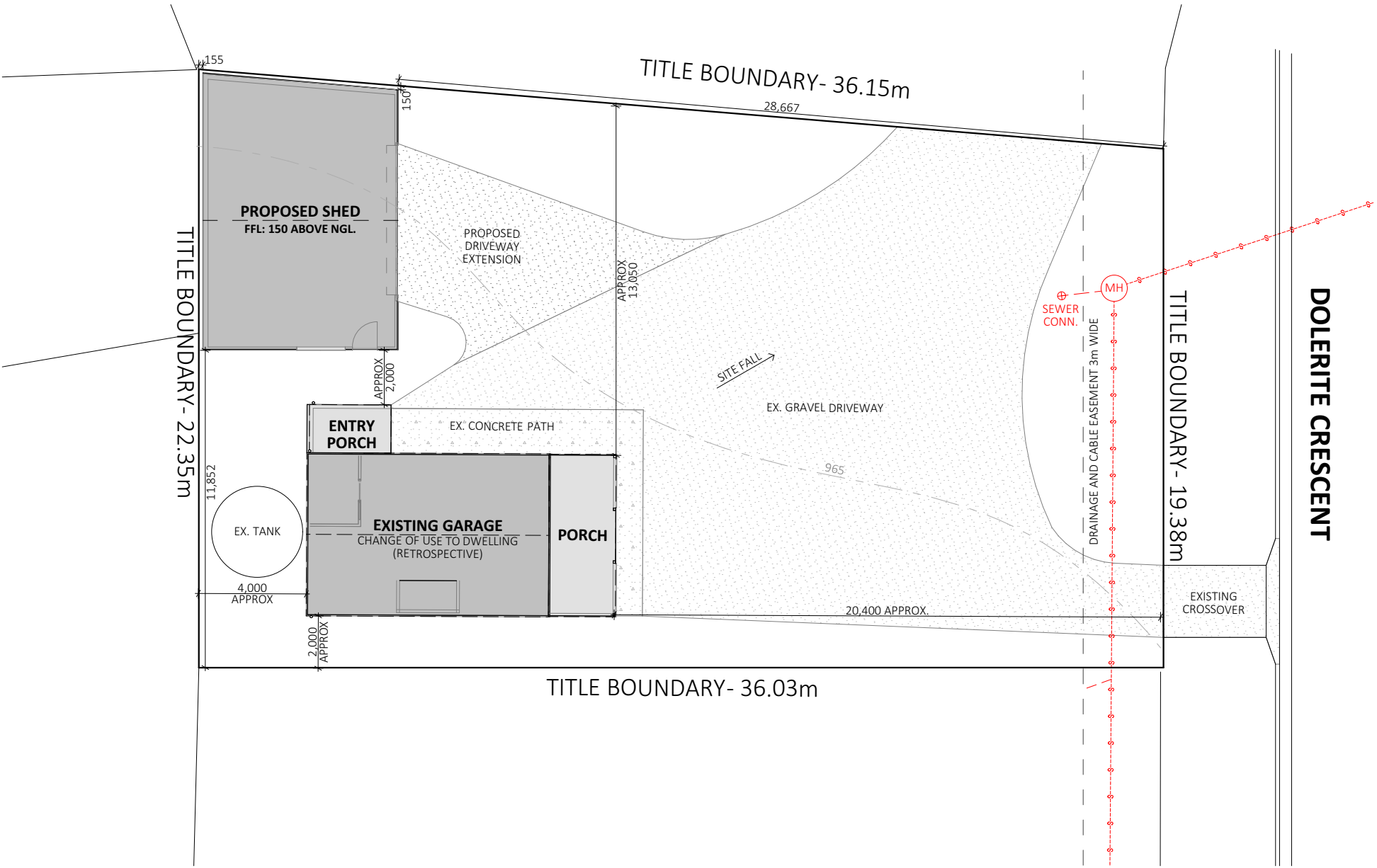
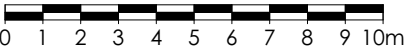
AREAS		COUNCIL		ZONE	
	(m²)	CENTRAL HIGHLANDS		LOW DENSITY	
EXISTING DWELLING	54.00	LAND TITLE REFERENCE	132569/46	ENERGY STAR RATING	N/A
EXISTING ENTRY PORCH	5.65	PROPERTY ID	1939837	CLIMATE ZONE	7
EXISTING PORCH	14.71	LOT SIZE (M²)	752	ALPINE AREA	YES
PROPOSED SHED	72.98	BAL RATING	TBC	CORROSION ENV'	LOW
		DESIGN WIND CLASS	N2	SITE HAZARDS	BUSHFIRE PRONE
		SOIL CLASSIFICATION	H1		
		PLANNING OVERLAY	BUSHFIRE PRONE		

	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: R & M CLARK SUPER PTY LTD	DRAWING COVER PAGE	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT.	SIGNATURE: DATE: SIGNATURE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.	REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	DLRT25A
							R1	01/08/2025	FOR REVIEW	DRAWN	H.K.	DRAWING	1/5
										CHECKED	M.L.	SCALE (@A3)	NTS



LOCALITY PLAN
NOT TO SCALE

AREA	m ²
EXISTING DWELLING	54.00
EXISTING ENTRY PORCH	5.65
EXISTING PORCH	14.71
PROPOSED SHED	72.98



ACC # 371799313
ABN. 71 615 812 747
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CLIENT/S:
R & M CLARK SUPER PTY LTD

SITE ADDRESS:
27 DOLERITE CRESCENT,
FLINTSTONE, 7030.

DRAWING
SITE PLAN

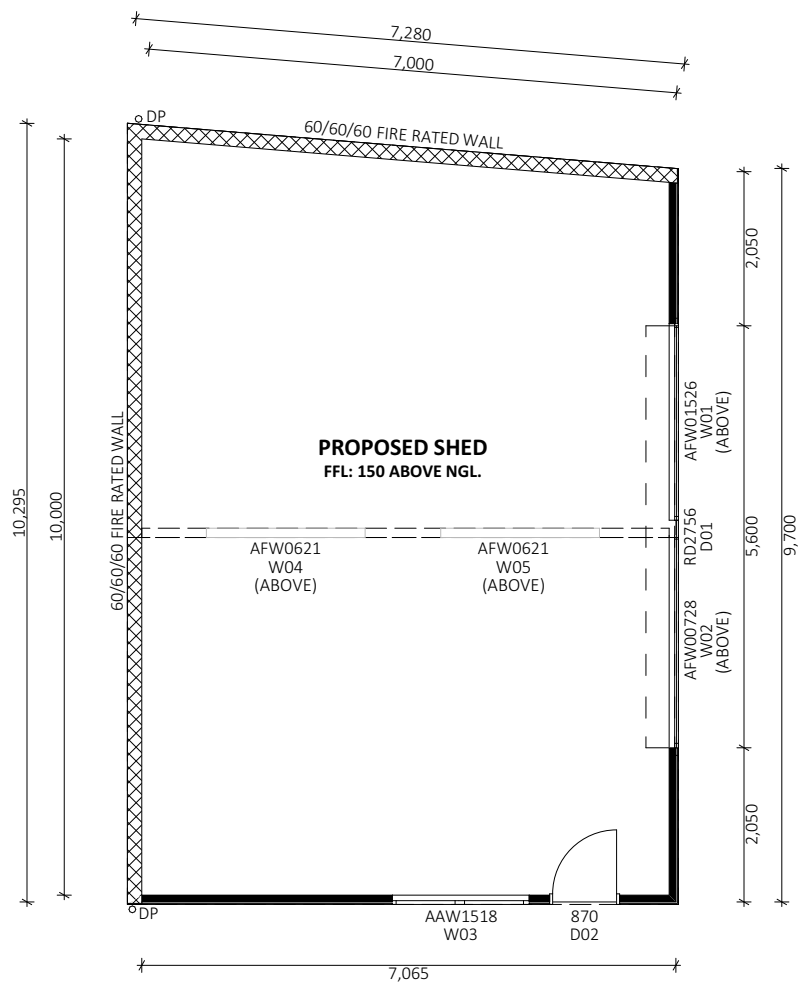
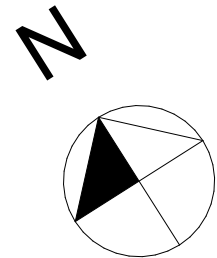
I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	DLRT25A
R1	01/08/2025	FOR REVIEW	DRAWN	H.K.	DRAWING	2/5
			CHECKED	M.L.	SCALE (@A3)	1:200



ACC # 371799313
ABN. 71 615 812 747
PH. 6344 7319
E. info@designtolive.com.au
W. designtolive.com.au

CLIENT/S:
R & M CLARK SUPER PTY LTD

SITE ADDRESS:
27 DOLERITE CRESCENT,
FLINTSTONE, 7030.

**DRAWING
SHED FLOOR
PLAN**

I/WE APPROVE THESE DRAWING TO BE
CORRECT PER CONTRACT.

SIGNATURE: **DATE:**

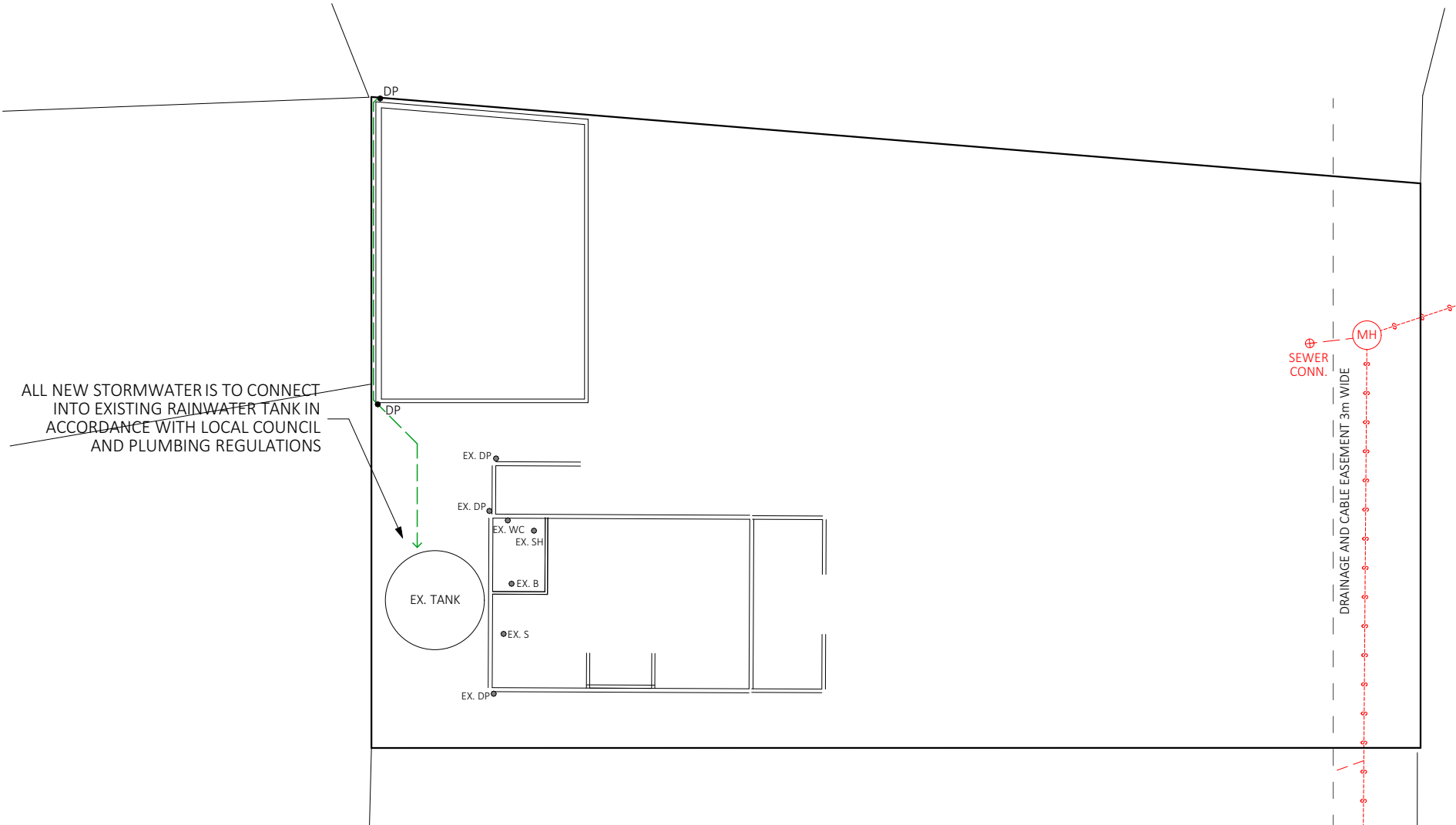
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REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	DLRT25A
R1	01/08/2025	FOR REVIEW				
			DRAWN	H.K.	DRAWING	3/5
			CHECKED	M.L.	SCALE (@A3)	1:100

LEGEND	
DP	DOWNPIPE (90Ø)
---	STORMWATER LINE (100mm PVC)

THIS PAGE IS TO BE PRINTED
AND READ IN COLOUR.



NOTES:
ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH LOCAL AUTHORITIES. ALL WORK IS TO COMPLY WITH AS-3500 AND LOCAL PLUMBING CODE AND SHOULD BE CARRIED OUT BY A LICENSED PLUMBER.

ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 03-2011-3.1 VERSION 3.1 MRWA VERSION 2.0) AND THE SEWERAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES INTERGRATED CODE (WSA 02-2014-3.1 MRWA VERSION 2.0) AND TASWATER'S SUPPLEMENTS TO THESE CODES.

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATION TO DRAIN LEVELLED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

SERVICES
THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF THE NCC VOLUME THREE- PLUMBING CODE OF AUSTRALIA.

THERMAL INSULATION FOR HEATED WATER PIPING MUST:
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING ; AND
C) USE THERMAL INSULATION IN ACCORDANCE WITH AS/NZS 4859.1

HEATED WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED AS FOLLOWS:

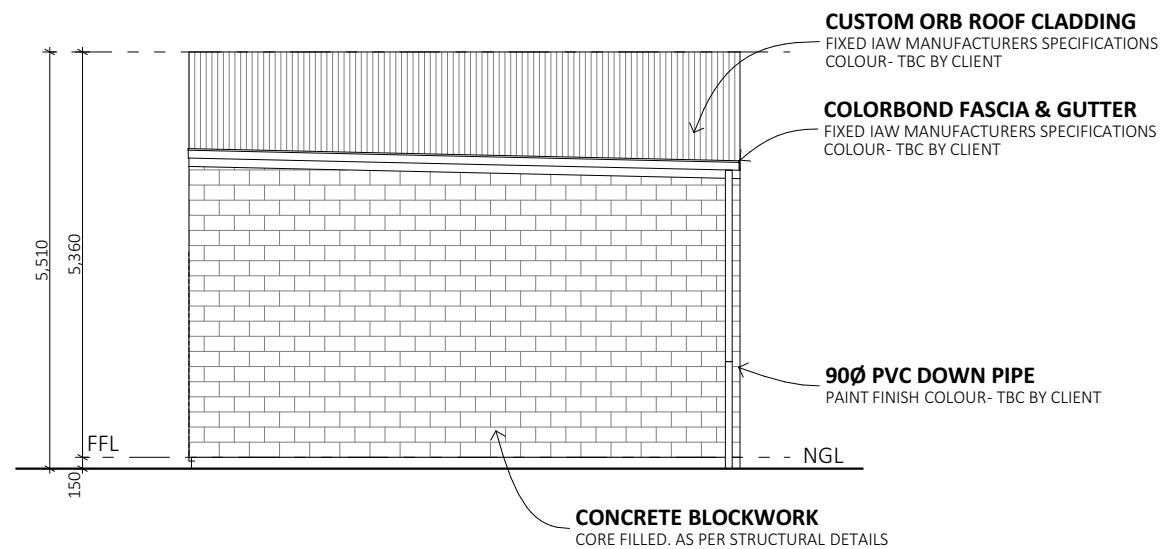
1. INTERNAL PIPING
a) ALL FLOW AND RETURN INTERNAL PIPING THAT IS-
i) WITHIN AN UNVENTILATED WALL SPACE
ii) WITHIN AN INTERNAL FLOOR BETWEEN STOREYS; OR
iii) BETWEEN CEILING INSULATION AND A CEILING
MUST HAVE A MINIMUM R-VALUE OF 0.2

2. PIPING LOCATED WITHIN A VENTILATED WALL SPACE, AN ENCLOSED BUILDING SUBFLOOR OR A ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM,
MUST HAVE A MINIMUM R-VALUE OF 0.45

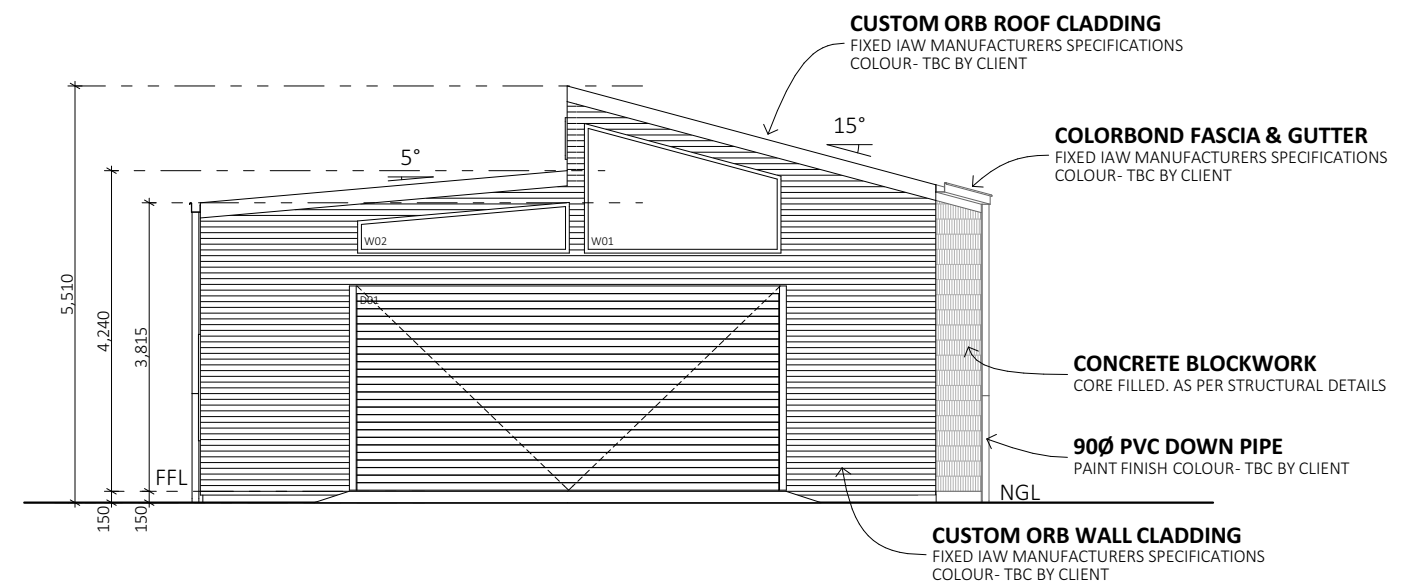
3. PIPING LOCATED OUTSIDE THE BUILDING OR IN AN UNENCLOSED BUILDING SUB FLOOR OR ROOF SPACE
a) ALL FLOW AND RETURN PIPING
b) COLD WATER SUPPLY PIPING AND RELIEF VALVE PIPING WITHIN 500mm OF THE CONNECTION TO CENTRAL WATER HEATING SYSTEM
MUST HAVE A MINIMUM R-VALUE OF 0.6

PIPING WITHIN AN INSULATED TIMBER FRAMED WALL, SUCH AS THAT PASSING THROUGH A WALL STUD, IS CONSIDERED TO COMPLY WITH THE ABOVE INSULATION REQUIREMENTS.

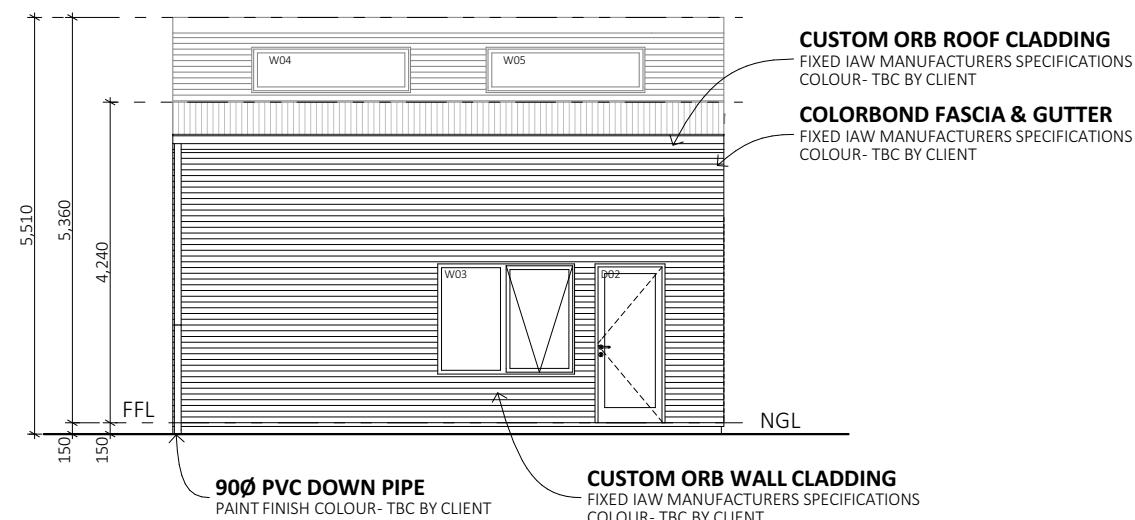
	ACC # 371799313 ABN. 71 615 812 747 PH. 6344 7319 E. info@designtolive.com.au W. designtolive.com.au	CLIENT/S: R & M CLARK SUPER PTY LTD	SITE ADDRESS: 27 DOLERITE CRESCENT, FLINTSTONE, 7030.	DRAWING EXTERNAL SERVICES	I/WE APPROVE THESE DRAWING TO BE CORRECT PER CONTRACT. SIGNATURE: SIGNATURE:	DATE: DATE:	COPYRIGHT: This is the sole property of Design To Live, and may not be used in whole, or in part without written or formal consent from Design To Live. Legal action will be taken against any person/s infringing the copyright.		REV.	DATE	DESCRIPTION	DESIGNER	M.L.	JOB NUMBER	DLRT25A
									R1	01/08/2025	FOR REVIEW	DRAWN	H.K.	DRAWING	4/5
												CHECKED	M.L.	SCALE (@A3)	1:200



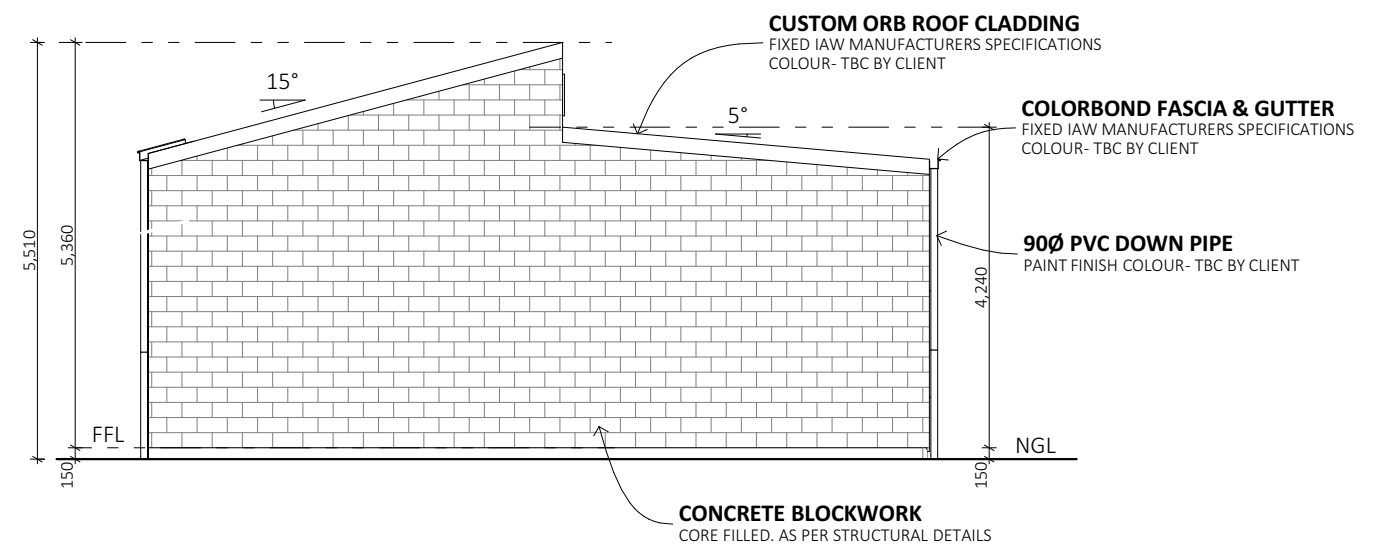
NORTHERN ELEVATION



EASTERN ELEVATION



SOUTHERN ELEVATION



WESTERN ELEVATION



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						R1	01/08/2025	FOR REVIEW	DRAWN	H.K.	DRAWING	5/5
									CHECKED	M.L.	SCALE (@A3)	1:100

SEARCH OF TORRENS TITLE

VOLUME 132569	FOLIO 46
EDITION 5	DATE OF ISSUE 18-Mar-2020

SEARCH DATE : 19-Feb-2024

SEARCH TIME : 09.45 AM

DESCRIPTION OF LAND

Parish of OOLUMPTA, Land District of WESTMORLAND
Lot 46 on Sealed Plan 132569
Derivation : Part of 1183 Acres Granted to E Bisdee
Prior CT 129876/2

SCHEDULE 1

M810789 TRANSFER to R AND M CLARK SUPER PTY LTD Registered
18-Mar-2020 at 12.01 PM

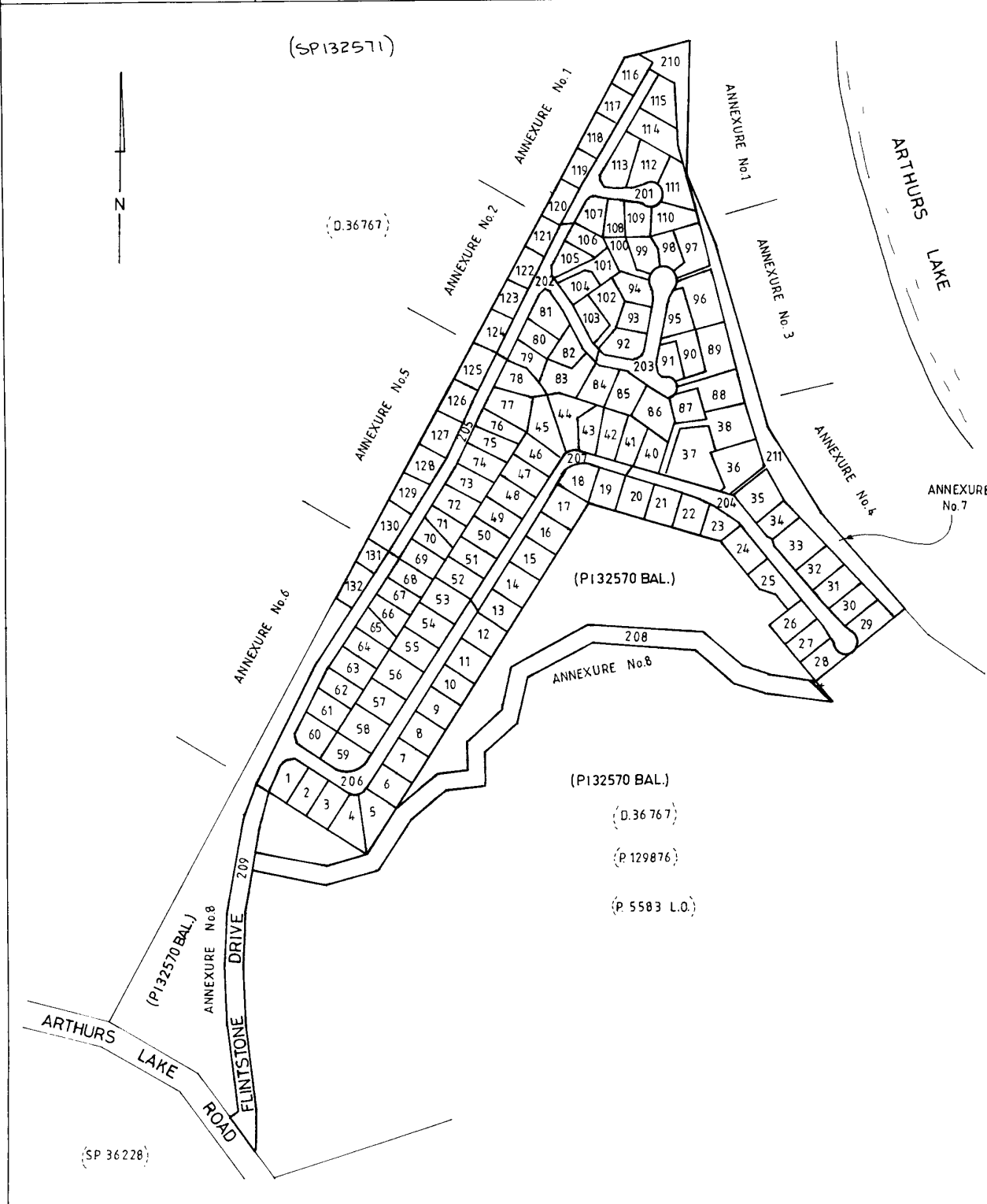
SCHEDULE 2

Land is limited in depth to 15 metres, excludes minerals and
is subject to reservations relating to drains sewers
and waterways in favour of the Crown
SP 132569 EASEMENTS in Schedule of Easements
SP 132569 COVENANTS in Schedule of Easements
C492435 FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER CROWN FOLIO REFERENCE C.T. 129876-2 GRANTEE PART OF 1,000 ACRES GRANTED TO EDWARD BISDEE		PLAN OF SURVEY BY SURVEYOR T.N. WOOLFORD 72 GRAHAMS ROAD, MT. RUMNEY. 7170 Phone 03 62485224 LOCATION LAND DISTRICT OF WESTMORLAND PARISH OF OOLUMPTA SCALE 1:3,000 LENGTHS IN METRES		REGISTERED NUMBER SP132569 17 SEP 1999 APPROVED EFFECTIVE FROM  Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 105 (4835)	LAST UPI No. FSR28	LAST PLAN No. P 129876	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



(SP132571)

(D.36767)

ANNEXURE No. 1

ANNEXURE No. 2

ANNEXURE No. 3

ANNEXURE No. 4

ANNEXURE No. 5

ANNEXURE No. 6

ANNEXURE No. 7

ANNEXURE No. 8

ARTHUR'S LAKE

FLINTSTONE DRIVE

ARTHUR'S LAKE ROAD

(P132570 BAL.)

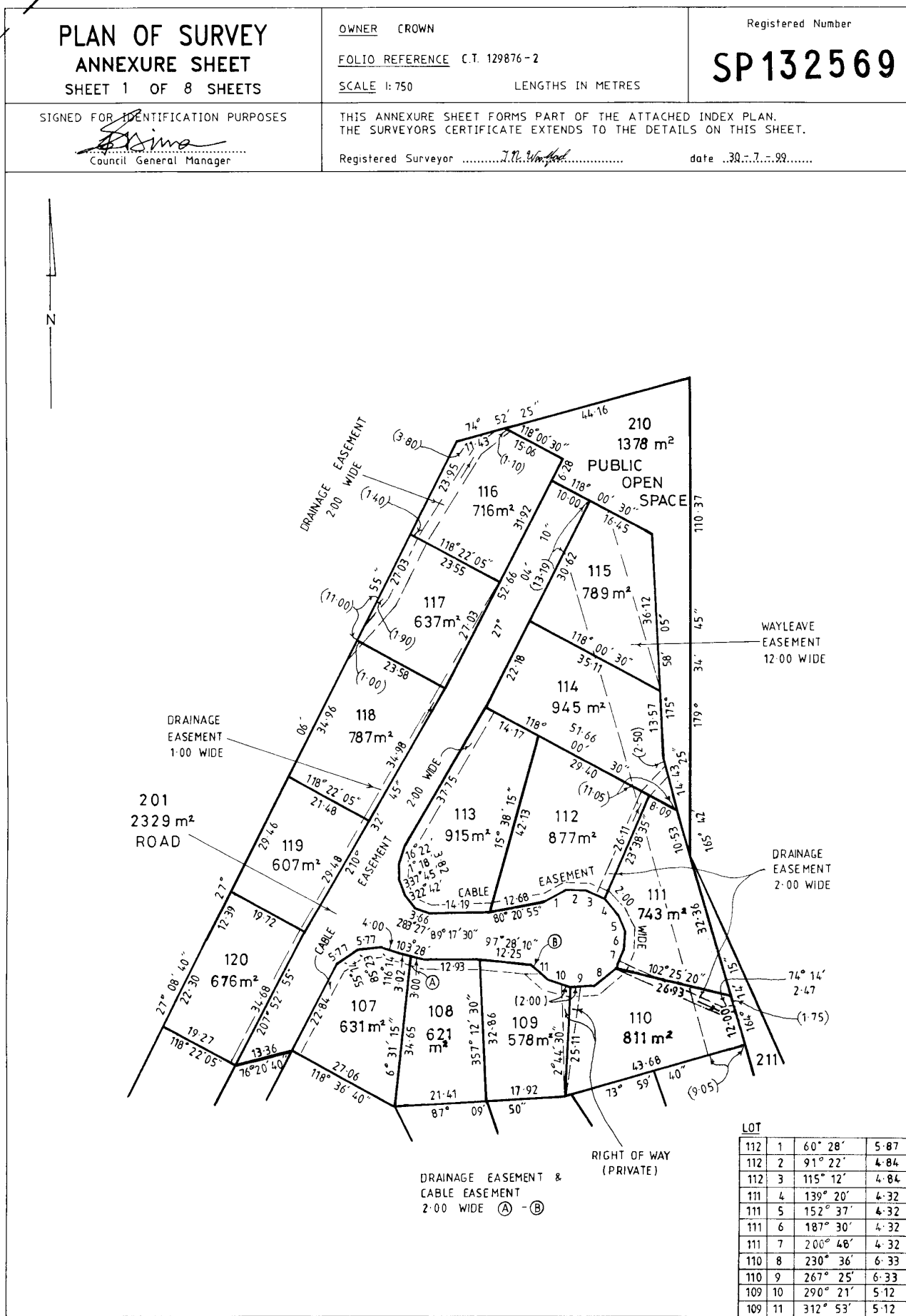
(P132570 BAL.)

(D.36767)

(P 129876)

(P 5583 L.O.)

(SP 36228)



A-144

**PLAN OF SURVEY
ANNEXURE SHEET
SHEET 2 OF 8 SHEETS**

OWNER CROWN

FOLIO REFERENCE C.T. 129876-2

SCALE 1: 750

LENGTHS IN METRES

Registered Number

SP 132569

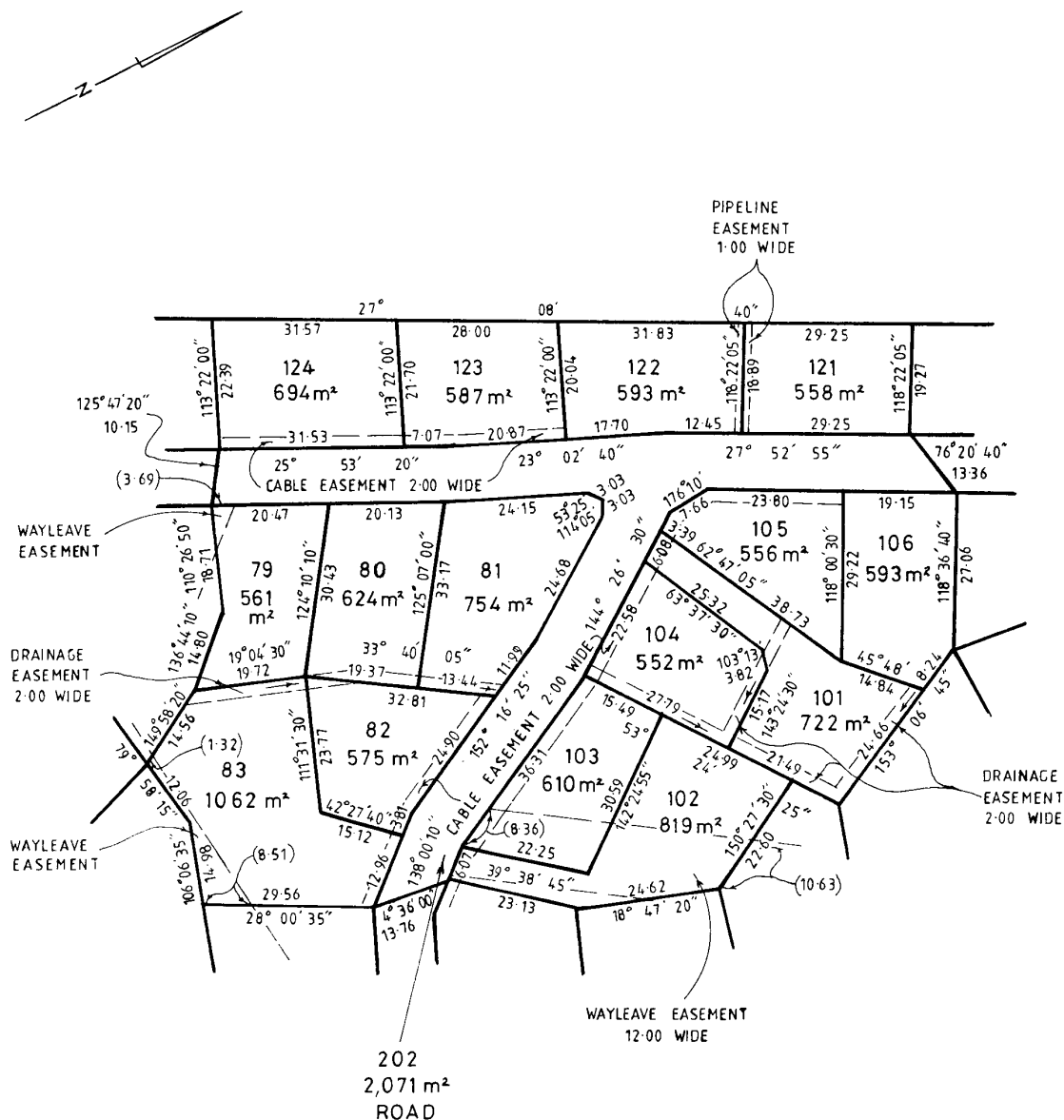
SIGNED FOR IDENTIFICATION PURPOSES

[Signature]
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

Registered Surveyor *[Signature]*

date 28-7-99



A-144

**PLAN OF SURVEY
ANNEXURE SHEET
SHEET 3 OF 8 SHEETS**

OWNER CROWN

FOLIO REFERENCE C.T. 129876 - 2

SCALE 1: 750

LENGTHS IN METRES

Registered Number

SP 132569

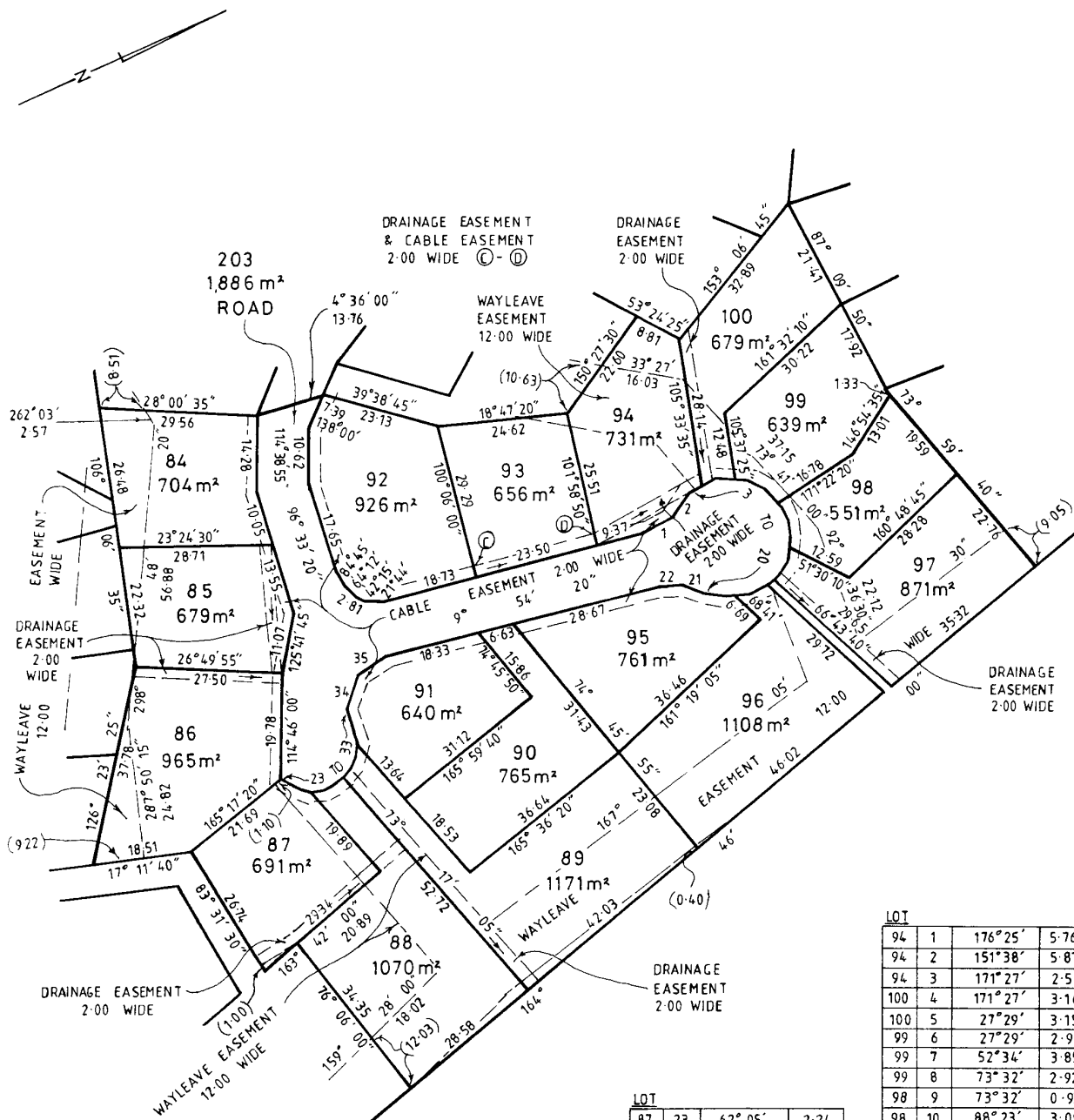
SIGNED FOR IDENTIFICATION PURPOSES

[Signature]
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

Registered Surveyor *[Signature]*

date 26-7-99



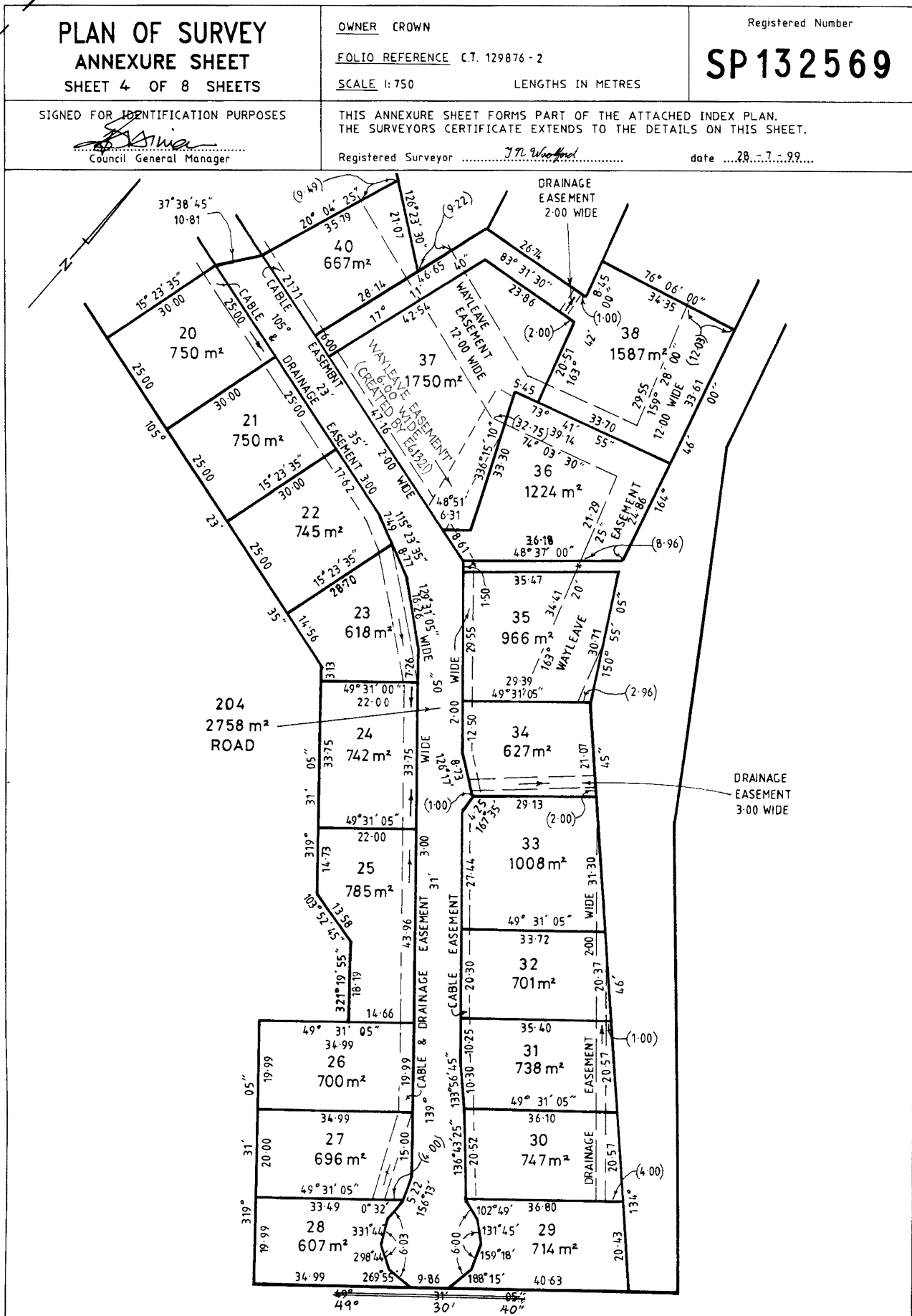
LOT

94	1	176° 25'	5:76
94	2	151° 38'	5:87
94	3	171° 27'	2:54
100	4	171° 27'	3:16
100	5	27° 29'	3:15
99	6	27° 29'	2:95
99	7	52° 34'	3:85
99	8	73° 32'	2:92
98	9	73° 32'	0:93
98	10	88° 23'	3:09
98	11	107° 01'	3:09
98	12	122° 42'	2:03
97	13	122° 42'	2:62
97	14	147° 30'	4:22
	15	147° 30'	0:44
	16	174° 52'	1:12
96	17	174° 52'	3:54
96	18	199° 40'	3:29
95	19	199° 40'	1:37
95	20	212° 57'	4:30
95	21	226° 03'	4:42
95	22	199° 53'	4:42

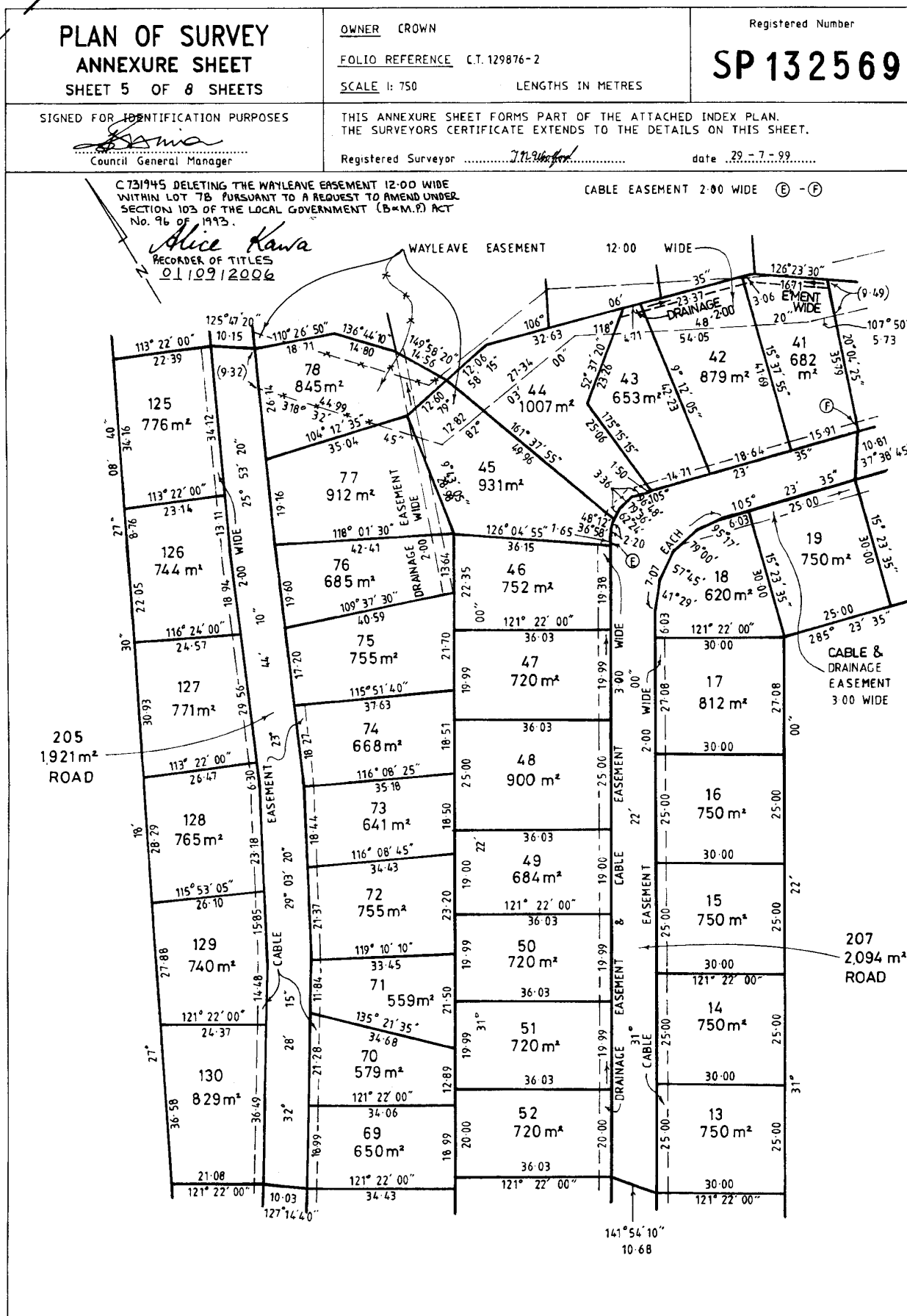
LOT

87	23	62° 05'	2:24
87	24	47° 01'	2:24
87	25	31° 52'	2:24
88	26	17° 01'	2:16
88	27	2° 23'	2:16
88	28	347° 47'	2:16
89	29	332° 44'	2:28
89	30	317° 21'	2:28
89	31	301° 58'	2:28
91	32	287° 04'	2:12
91	33	279° 54'	5:00
91	34	311° 46'	6:33
91	35	348° 36'	6:33

A-144



A-144



A-144

**PLAN OF SURVEY
ANNEXURE SHEET
SHEET 6 OF 8 SHEETS**

OWNER CROWN

FOLIO REFERENCE C.T.129876 - 2

SCALE 1: 750

LENGTHS IN METRES

Registered Number

SP132569

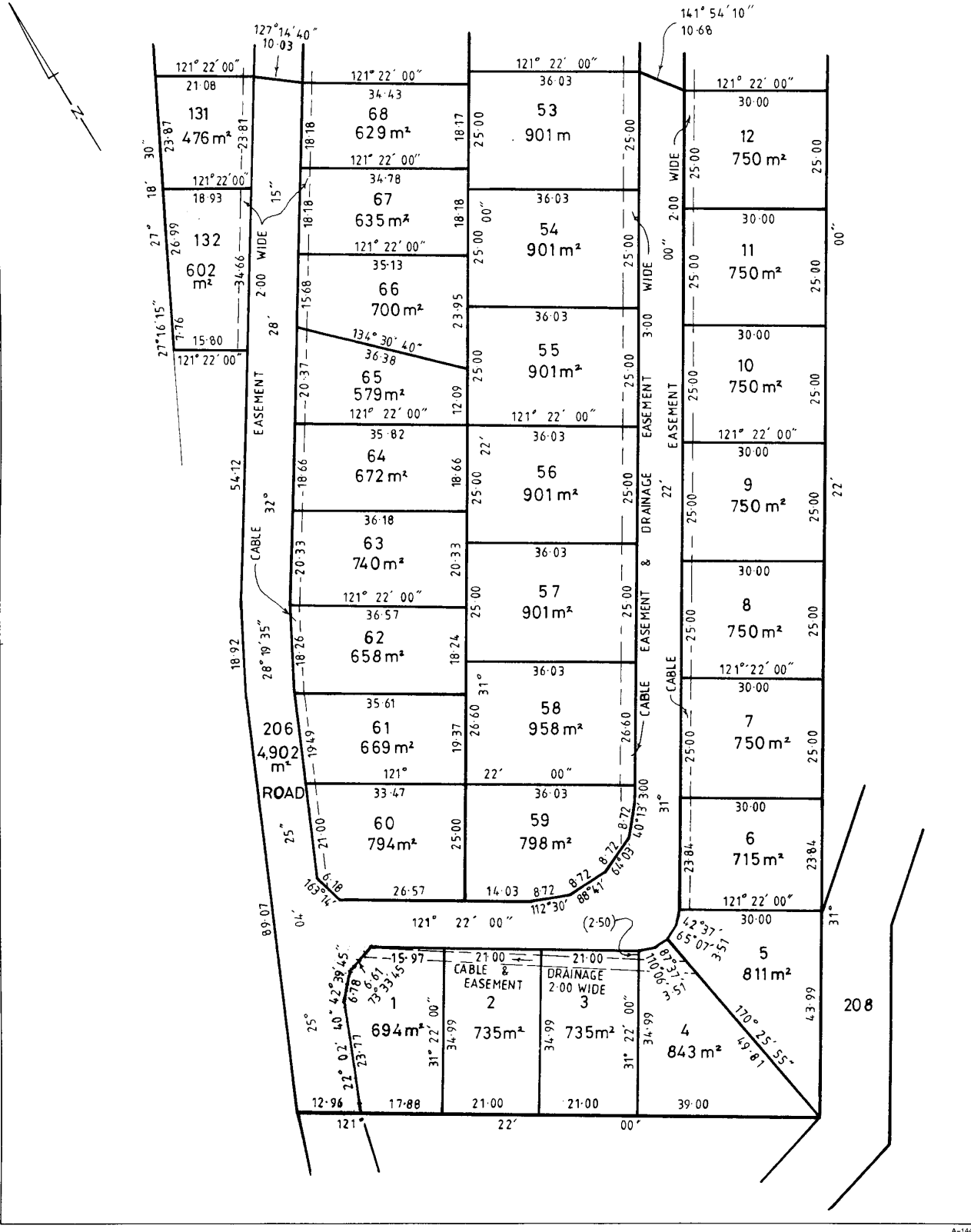
SIGNED FOR IDENTIFICATION PURPOSES

[Signature]
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

Registered Surveyor *[Signature]*

date 30.7.99



A-144

**PLAN OF SURVEY
ANNEXURE SHEET
SHEET 7 OF 8 SHEETS**

OWNER CROWN

FOLIO REFERENCE C.T. 129876-2

SCALE 1: 2,000

LENGTHS IN METRES

Registered Number

SP132569

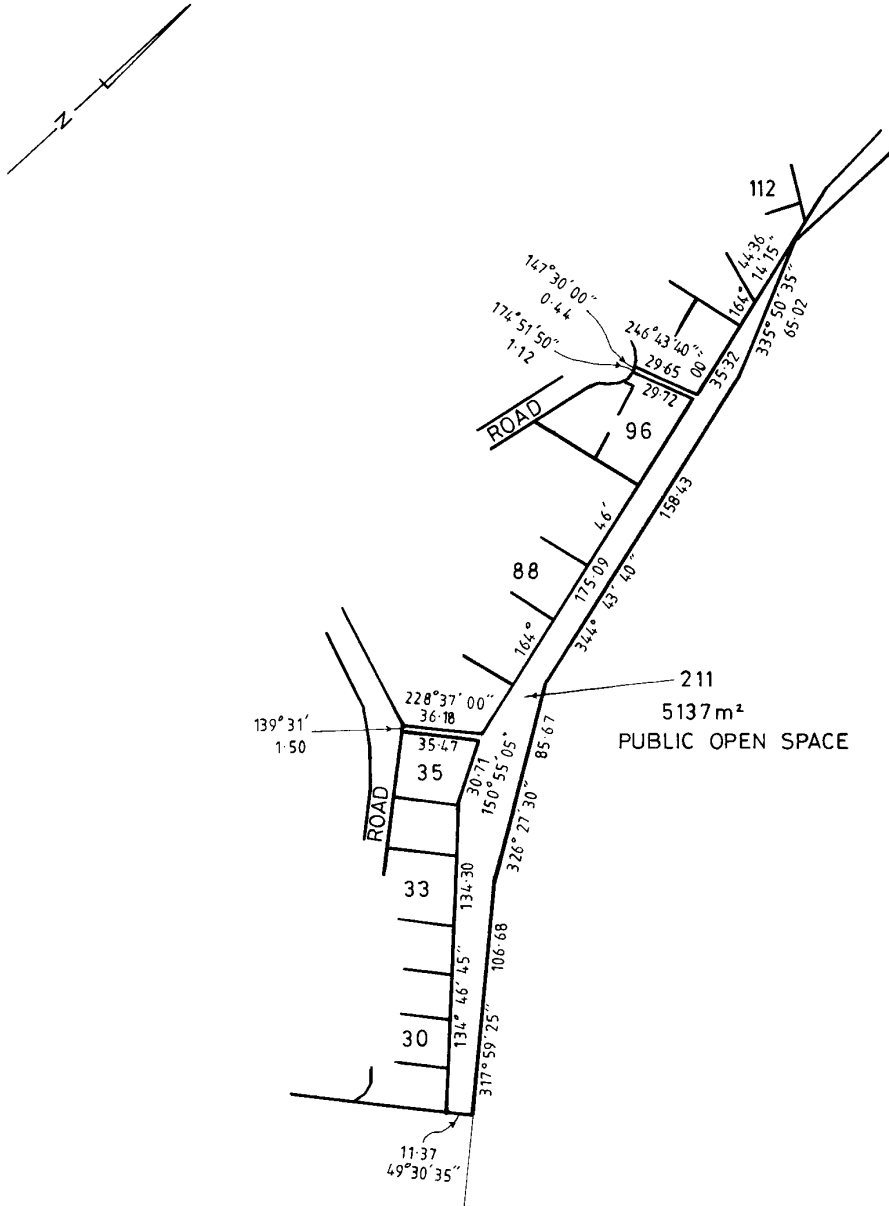
SIGNED FOR IDENTIFICATION PURPOSES

[Signature]
Council General Manager

THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.
THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

Registered Surveyor *J.N. Woodford*

date 30-7-99



A-144

**PLAN OF SURVEY
ANNEXURE SHEET
SHEET 8 OF 8 SHEETS**

OWNER CROWN

FOLIO REFERENCE C.T. 129876 -2

SCALE 1:2,000

LENGTHS IN METRES

Registered Number

SP132569

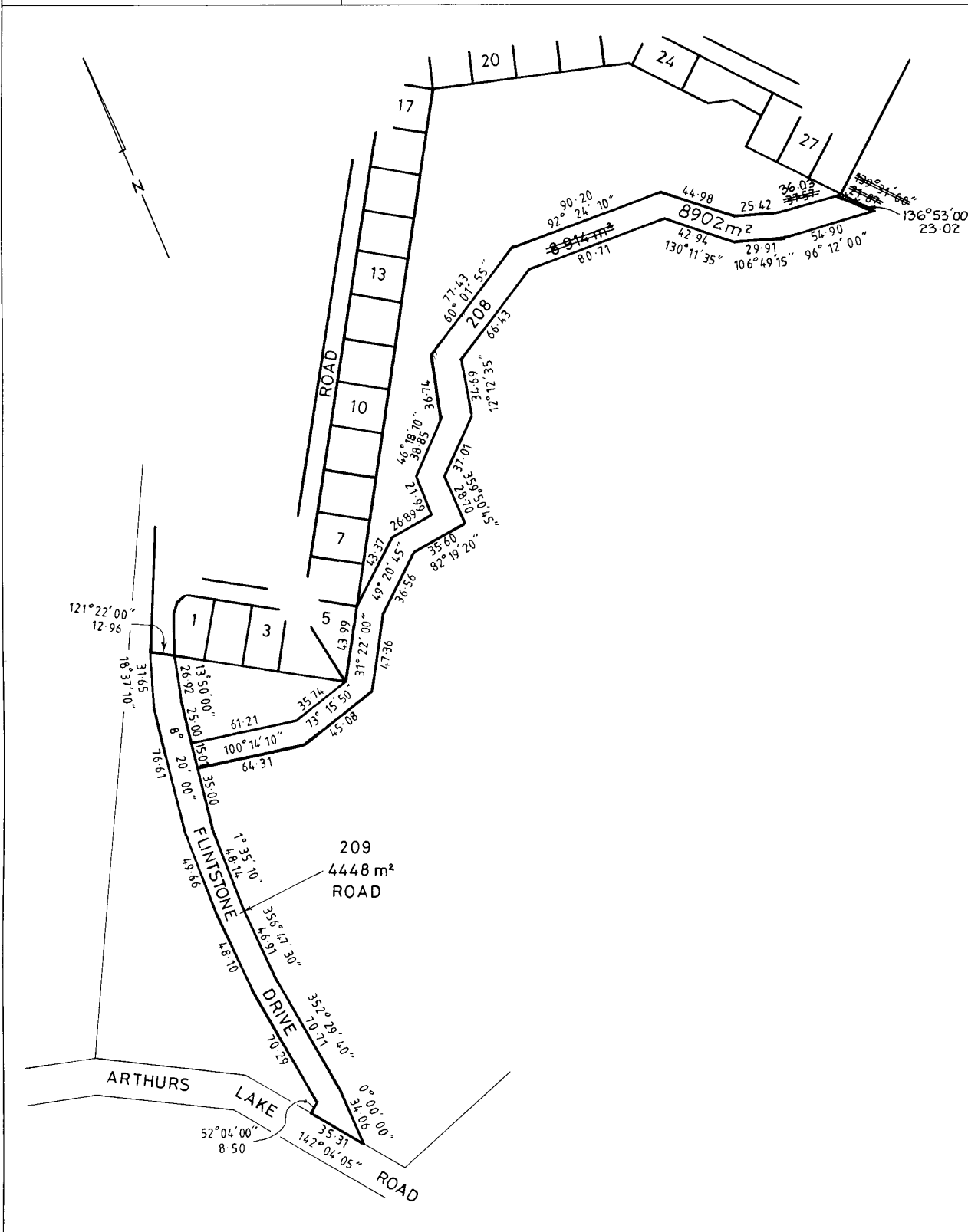
SIGNED FOR IDENTIFICATION PURPOSES

[Signature]
Council General Manager

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THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET.

Registered Surveyor *J.N. Woolford*

date 30-7-88



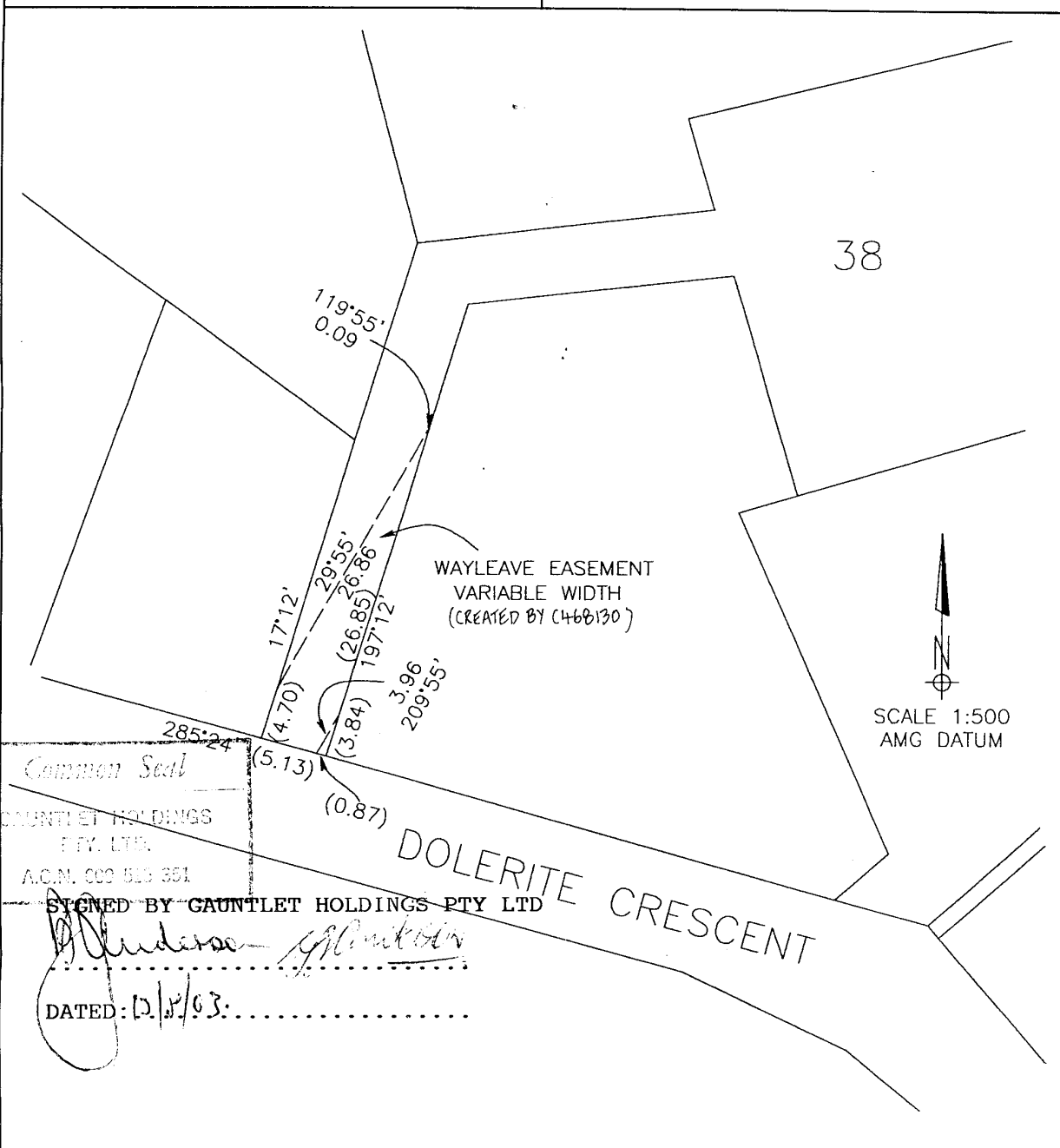
A-144

**IDENTIFICATION PLAN OF
WAYLEAVE EASEMENT**

ANNEXURE PAGE
TO FOLIO PLAN

VOL : **132569**

FOLIO : **38**



Common Seal

GAUNTLET HOLDINGS
PTY. LTD.

A.C.N. 000 810 351

SIGNED BY GAUNTLET HOLDINGS PTY LTD

DATED: 12/5/03:

DOLERITE CRESCENT

LAND DISTRICT OF WESTMORLAND

PARISH OF OOLUMPTA

OWNER : GAUNTLET HOLDINGS PTY LTD

PLAN No: 132569

CNGS-QF-9084 Rev 2 1/9/98

Electricity Entity No. 4946-02

SURVEYORS REPORT

The wayleave easement shown in this plan has been surveyed in accordance with Clause 16 of the Land Surveyors (Survey Practice) By Laws 1982, for identification by the Electricity Entity for the purpose of registering an easement in gross.

The easement to be created extends 3 metres either side of the centre of the electricity powerline.

The accuracy of this easement survey is insufficient for title boundary determination.

Registered Surveyor: *Scott Strong*

Date: *6/5/03*

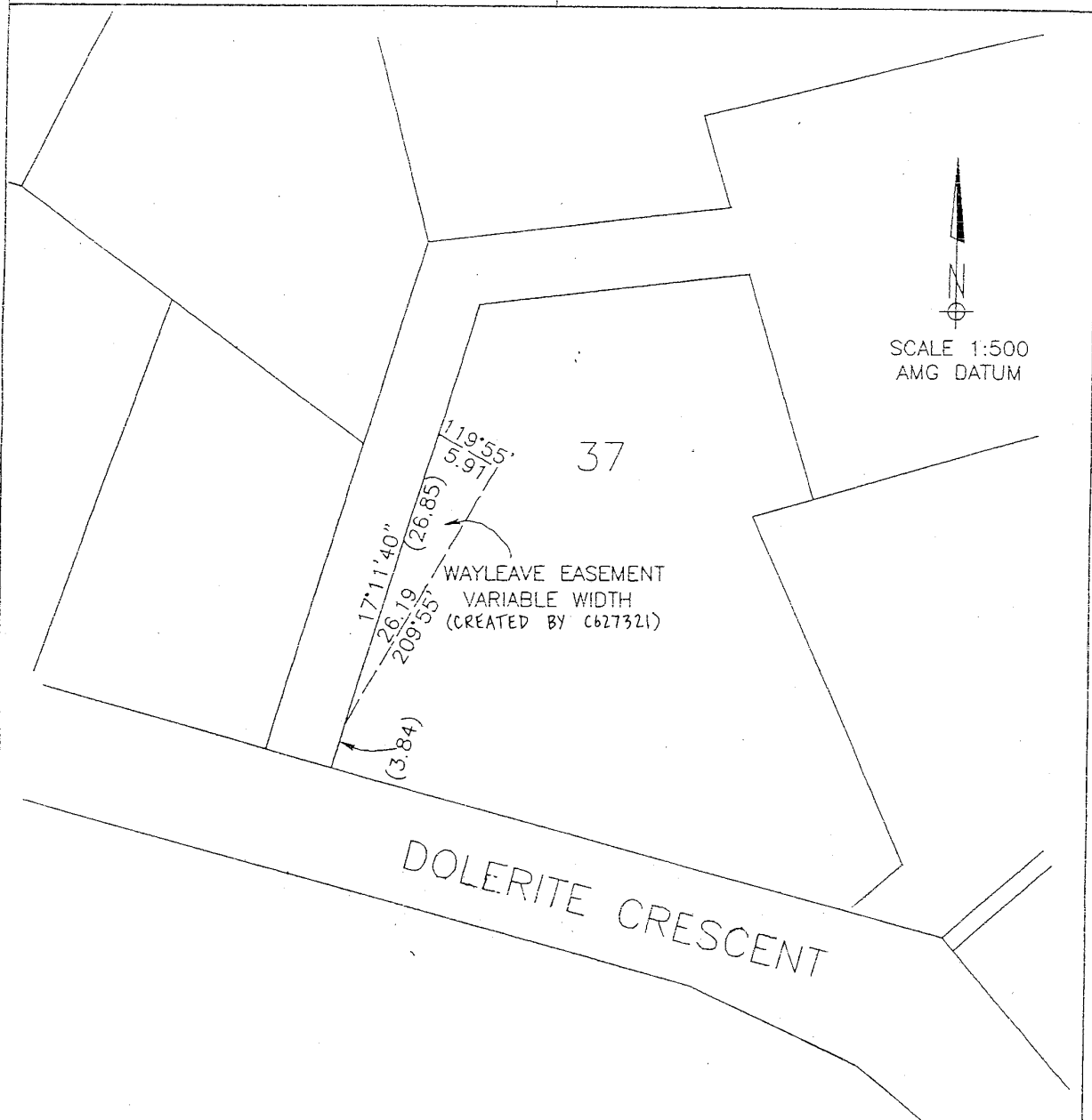
6/May/2003

IDENTIFICATION PLAN OF
WAYLEAVE EASEMENT

ANNEXURE PAGE TO FOLIO PLAN

VOL : 132569

FOLIO : 37



LAND DISTRICT OF WESTMORLAND
PARISH OF OOLUMPTA

OWNER : KENT RAYMOND HATELEY, PHILLIP
CHRISTOPHER NOLAN, BRIAN WARREN HILL

PLAN No: 132569

CNGS-QF-9084 Rev 2 1/9/98

Electricity Entity No. 4946-01

SURVEYORS REPORT

The wayleave easement shown in this plan has been surveyed in accordance with Clause 16 of the Land Surveyors (Survey Practice) By Laws 1982, for identification by the Electricity Entity for the purpose of registering an easement in gross.

The easement to be created extends 3 metres either side of the centre of the electricity powerline.

The accuracy of this easement survey is insufficient for title boundary determination.

Registered Surveyor:

Scott Strong

Date:

6/May/2003

SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS
& MORTGAGEES OF THE LAND AFFECTED.
SIGNATURES MUST BE ATTESTED.

REGISTERED NUMBER

SP 132569

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

77 & 79
Lots 35-38, 40-45, ~~77-79~~, 83-89, 93-94, 96-100, 102-103, 110-112 and 114-115 on SP 132569 are subject to a Wayleave Easement 12.00 metres wide.

and 109
Lots 6-17, 30-38, 40-45, 60-74, 82-92, 94-105, 107, 110-113 and 123-132 on SP 132569 are subject to a Cable Easement 2.00 metres wide.

Lots 1-4, 93 and 108-109 on SP 132569 are subject to a Drainage Easement and Cable Easement 2.00 metres wide.

18-19
Lots 20-27 and 46-59 on SP 132569 are subject to a Drainage Easement and Cable Easement 3.00 metres wide.

Lot 109 is together with a Right of Carriageway over Right of Way (Private) appurtenant to Lot 110 as shown on SP 132569.

passing through
Lot 110 is subject to a Right of Carriageway over Right of Way (Private) appurtenant to Lot 109 as shown on SP 132569.

passing through
Lot 110 is together with a Right of Carriageway over Right of Way (Private) appurtenant to Lot 109 as shown on SP 132569.

Lot 109 is subject to a Right of Carriageway over Right of Way (Private) appurtenant to lot 110 as shown on SP 132569.

Lots 121 and 122 on SP 132569 are subject to a Pipeline Easement 1.00 metre wide as shown on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: THE CROWN

FOLIO REF: 129876/2

SOLICITOR

& REFERENCE: CROWN SOLICITOR

PLAN SEALED BY: CENTRAL HIGHLANDS COUNCIL

DATE: 16 August 1999

(d) 10-97198

REF NO.

Council Delegate

NOTE: The Council Delegate must sign the Certificate for the purposes of identification.

Wayleave Easement 12.00 wide within Lot 78 deleted by me pursuant to Request to Amend No. C731945 made under Section 103 of Local Government (Building & Miscellaneous Provisions) Act 1993

1 / 9 / 2006

Recorder of Titles

Alice Kana

**ANNEXURE TO
SCHEDULE OF EASEMENTS**

PAGE 2 OF 4 PAGE/S

Registered Number

SP 132569SUBDIVIDER: THE CROWN
FOLIO REFERENCE: 129876/2**COVENANTS**

The owner of each lot on SP 132569 covenants with the Crown (the subdivider) and the owners for the time being of every other lot shown on SP 132569 to the intent that the burden of this covenant may run with and bind the covenantor's lot, and each and every part thereof, and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on SP 132569 to follow the following stipulations:-

1. Not to erect any boundary fences on any of the lots.
2. Not to remove any native vegetation from any of the lots without the prior approval of the Central Highlands Council or its successor body.
3. Not to plant any species of flora on the lots other than flora that is native to the area.
4. Not to construct any water wells on any of the lots without the prior approval of the Central Highlands Council or its successor body.

The owners of lots 1-32, 34 and 46-60 on SP 132569 covenant with the Crown (the subdivider) to the intent that the burden of this covenant may run with and bind the covenantor's lot, and each and every part thereof, and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on SP 132569 to follow the following stipulations:-

1. Not to construct any dwellings on the said lots without providing a 10 kl supply of water solely for fire fighting purposes fitted in accordance with Part 3.2 of the Planning Conditions and Guidelines for Subdivision in Bushfire Prone Areas 1995 as amended, replaced or substituted from time to time.
2. Not to construct dwellings on the said lots that have less than an 8 metre setback from the road.

DEFINITIONS

"Wayleave Easement" means all the full and free right and liberty for Aurora Energy Pty Ltd and its successors and its and their servants agents and contractor at all times hereafter:-

1. To clear the lands shown as Wayleave Easement on the SP 132569 affecting lots 35-38, 40-45, 77 & 79, ~~79~~, 83-89, 93-94, 96-100, 102-103, 110-112 and 114-115 ("the servient land") and to erect, construct, place, inspect, alter, repair, renew, maintain and use in, upon, and over and along, and remove from the servient land towers, poles, wires, cables, apparatus, appliances and other ancillary work (all of which are hereinafter collectively referred to as "the said lines") for the transmission and distribution of electrical energy and for purposes incidental thereto.

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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2. To cause or permit electrical energy to flow or be transmitted through and along the said lines.
3. To cut away, remove and keep clear of the said lines all trees and all other obstructions or erections of any nature whatsoever which may at any time overhang, encroach, or be in, or on, the servient land and which may in any way endanger or interfere with the proper operation of the said lines, and making good all damage occasioned thereby.

“Cable Easement” means the full and free right and liberty for Telstra Corporation to enter upon such portion of the land delineated on the plan as Cable Easement 2.00 metres wide on SP 132569 affecting lots 6-17, 30-38, 40-45, 60-74, 82-92, 94-105, 107, 110-113 and 123-132 and shown passing through such lots* to lay and maintain, cleanse and replace wires and cables therein from time to time for the purposes aforesaid and to bring such materials, machinery and other things as Telstra Corporation shall think proper without doing unnecessary damage to the land within the said Cable Easement and provided that any damage occasioned thereby shall be made good. * and over the Drainage and cable easement 3.00 wide passing through Lots 18-27 and 46-59.

“Drainage Easement and Cable Easement” means:-

1. A right of drainage as defined in Schedule 8 of the *Conveyancing and Law of Property Act 1884*; and
2. A “Cable Easement” as defined above.

“Pipeline Easement” means the full and free right and liberty for the Central Highlands Council or its successor body or its workmen, servants, agents and others and machinery to enter upon the said piece of land to break up and excavate the said pieces of land and to lay and maintain either thereon or therein a sewer rising main including pipes and valves and fittings for the purposes of running and passing sewerage through and align the same and from time to time to inspect, cleanse, repair and maintain the same and when necessary to lay new pipes in substitution for and addition thereto and to do all necessary works and things in connection therewith or as may be authorised without doing unnecessary damage to the same pieces of land and leaving the same in a clean and tidy condition.

“Right of Carriageway” means a right of carriageway as defined in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

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THE COMMON SEAL of the CENTRAL HIGHLANDS)
COUNCIL has been hereunto affixed this 16 day of)
August 1998 pursuant to a resolution of the said)
Central Highlands Council dated the 16 day of)
August 1999 in the presence of:)



[Signature]

[Signature]

SIGNED for and on behalf of the CROWN IN RIGHT)
OF THE STATE OF TASMANIA by JOHN)
GERARD TOOHEY being a duly)
authorised person in the presence of:-)

Witness: Bhucop (BINDI KWCCP)
Address: 134 MACQUARIE ST HOBART
Occupation: PROPERTY OFFICER

[Signature]

Being and as the Manager Crown
Land Services prescribed in
Statutory Rule No. 116 of 1997
and pursuant to an instrument
of delegation dated the 10th day
of October 1998.

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