



## PUBLIC NOTICE DETAILS

### PLANNING APPLICATION DETAILS

<b>Application Number:</b>	DA 2025 / 45
<b>Application Type:</b>	Discretionary Development Application
<b>Property Location:</b>	8 Morrisons Way, Morass Bay
<b>Proposal:</b>	Outbuilding
<b>Advertising Commencement Date:</b>	28 August 2025
<b>Representation Period Closing Date:</b>	11 September 2025
<b>Responsible Officer:</b>	Louisa Brown, Senior Planning Officer

The relevant documents may be viewed at Council's website [www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au) or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing [development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au). Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030  
Email: [development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au)

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.

GENERAL INFORMATION

Land Title Reference	-	102963/34
Building Class	-	10a
Property Zone	-	Low Density Residential
Wind Classification	-	A4
Soil Classification (AS 2870)	-	CLASS T.B.C
Climate Zone (NCC 3.12)	-	NA
Alpine Area (900m above AHD) -	-	NA
BAL Rating (AS3959)	-	TBC
Heritage Building	-	NO
Flood Prone Area	-	NO
Coastal Ingress Area	-	NO
Coastal Erosion Area	-	NO
Corrosion Environment	-	Moderate

OTHER CONSULTANTS

Structural Engineer	-	T.B.C
Geological Report (Soil)	-	T.B.C
Energy Assessment	-	T.B.C
Waste Water Report	-	NA
Bushfire Assessment	-	TBC
Natural Value Assessment	-	TBC
Civil Engineer	-	NA
Mechanical Engineer	-	NA
Electrical Engineer	-	NA
Site Survey	-	NA
Hydrologist Report	-	NA
Contaminated Site Survey	-	NA

AREA SCHEDULE	(All measurements in m2)
Site Plan	- 2688 m2
Existing Residence	- 72.0m2
Residence (Ground Floor)	- NA
Residence (First Floor)	- NA
Alfresco Area	- NA
Verandah Area	- NA
Porch (Laundry)	- NA
Detached Office / Study	- NA
Porch	- NA
Decking Area	- NA
Existing Carport	- NA
Boat Shed / Outbuilding	- 110.0m2

Drawing Schedule:

Sheet number	Sheet name
01	COVER PAGE
02	SITE PLAN
03	SITE PLAN-OVERALL
04	SITE DRAINAGE PLAN
05	SHED FLOOR PLAN
06	SHED ELEVATIONS
07	PLUMBING PLAN
08	SHADOW DIAGRAMS

Proposed Boat Shed

8 Morrisons Way

Morass Bay TAS 7030



ISLAND LIFE DESIGNERS  
BUILDING SERVICES PROVIDER  
LICENCE No. 456943679  
CONTACT: nick@islandlifedesigners.com

**General Notes**  
The Builder shall check all dimensions and levels on site prior to construction.  
Notify any errors, discrepancies or omissions to the building designer.  
Drawings shall not be used for construction purposes until issued for construction.  
Do not scale drawings.  
All boundaries and contours subject to survey

notes	revision
Shed design	0
Revised shed design	1

stage	
<input type="checkbox"/> sketch design	
<input type="checkbox"/> design development	
<input type="checkbox"/> contract documentation	
<input checked="" type="checkbox"/> DA	
<input type="checkbox"/> BA	
<input type="checkbox"/> construction drawings	

PROJECT NAME :  
Proposed Boat Shed

CLIENT :  
INVESTABUG PTY LTD

SITE :  
8 Morrisons Way  
Morass Bay TAS 7030

DRAWING TITLE :  
Cover Page

REVISION NO. 0

DRAWING NO 01

SCALE: As noted on  
A3 paper size

DRAWN BY : M.S.

CHECKED BY : Nicholas Young

PROJECT NO. 25-014

Plot Date: 18/08/2025

8 Morrisons Way  
Morass Bay TAS 7030  
Site Area: 2,688m<sup>2</sup>

Existing Site Coverage  
Existing dwelling 72.00m<sup>2</sup>  
Total: 72.00m<sup>2</sup> = 2.60%

Proposed Site Coverage  
Existing dwelling 72m<sup>2</sup> + Shed 110.00m<sup>2</sup>  
Total: 182.00m<sup>2</sup> = 6.78%

- PROPOSED
- EXISTING
- REMOVE TREES
- DRAINAGE EASEMENT



Site Plan  
scale: 1:500 @A3



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notes	revision
Shed design	0

stage	
sketch design	
design development	
contract documentation	
DA	
BA	
construction drawings	

PROJECT NAME:  
Proposed Boat Shed

CLIENT:  
INVESTABUG PTY LTD

SITE:  
8 Morrisons Way  
Morass Bay TAS 7030

DRAWING TITLE:  
Site Plan-Overall

REVISION NO. 0

DRAWING NO. 02

SCALE: As noted on A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-014

Plot Date: 18/08/2025





NEW PIPEWORK

SEWER DN100 uPVC

SUB SOIL DRAINAGE Ø90

STORMWATER DN100 uPVC

COLD WATER DN20

SYMBOLS

INSPECTION OPENING

FLOOR WASTE GULLY

OVERFLOW RELIEF GULLY

ISOLATION VALVE IN BOX

DROPPER/ RISER

GRATED PIT  
(DETAILS BY CIVIL)

WATER TAP

ABBREVIATIONS

V VENT PIPE

ID INSPECTION OPENING

FWG FLOOR WASTE GULLY

IOS INSPECTION OPENING SHAFT

ORG ORVERFLOW RELIEF GULLY

IV ISLOLUTION VALVE IN BOX

D/R DROPPER/ RISER

Bth BATH

Shr SHOWER

B BASIN

S SINK

Tr TROUGH

WC WATER CLOSET

FWG FLOOR WASTE GULLY

HWC HOT WATER CYLINDER

IV ISOLATION VALVE

PLV PRESSURE LIMITING VALVE

CWM COLD WATER METER

GD GRATED DRAIN

GP GRATED PIT

RP ROD POINT

IS INSPECTION SHAFT

----- EXISTING DRAINAGE EASEMENT

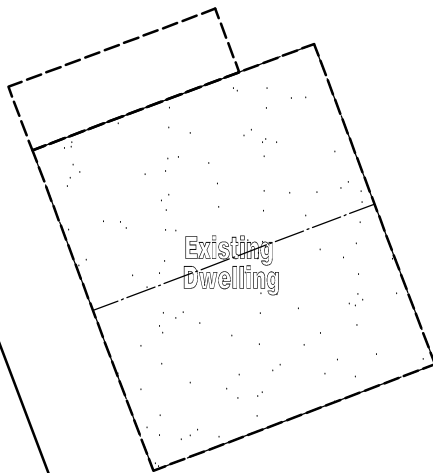
 PROPOSED

 EXISTING

NOTE:  
ALL WORKS MUST BE IN ACCORDANCE WITH THE CURRENT:  
- N.C.C. AS3500.2 & AS3500.3  
- WATER SERVICES ASSOCIATION OF AUSTALIA CODES(WSAA)  
- LOCAL COUNCIL REQUIREMENTS  
- TASWATER TECHNICAL STANDARDS  
- ANY RELEVANT STANDARDS / MANUFACTURERS SPECIFICATIONS  
REFER TO ROOF PLAN FOR ROOF CATCHMENT AREAS

 **Site Drainage Plan**  
scale: 1:200 @A3

boundary line



#8  
2,688m<sup>2</sup>

Connection to proposed  
rainwater tank

Rain water tank size  
20,000L

New dp  
Ø90mm

New dp  
Ø90mm

New dp  
Ø90mm

New dp  
Ø90mm

New dp  
Ø90mm

PROPOSED DRIVEWAY  
Gravel

EXISTING DRIVEWAY  
Gravel

boundary line

boundary line



boundary line



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BUILDING SERVICES PROVIDER  
LICENCE No. 456943670  
CONTACT: nick@islandlifedesigners.com

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All boundaries and contours subject to survey

notes	revision
Shed design	0

stage	
 sketch design	
 design development	
 contract documentation	
 DA	
 BA	
 construction drawings	

PROJECT NAME:  
Proposed Boat Shed

CLIENT:  
INVESTABUG PTY LTD

8 Morrisons Way  
Morass Bay TAS 7030

DRAWING TITLE:  
Site Drainage Plan

REVISION NO. 0

DRAWING NO 04

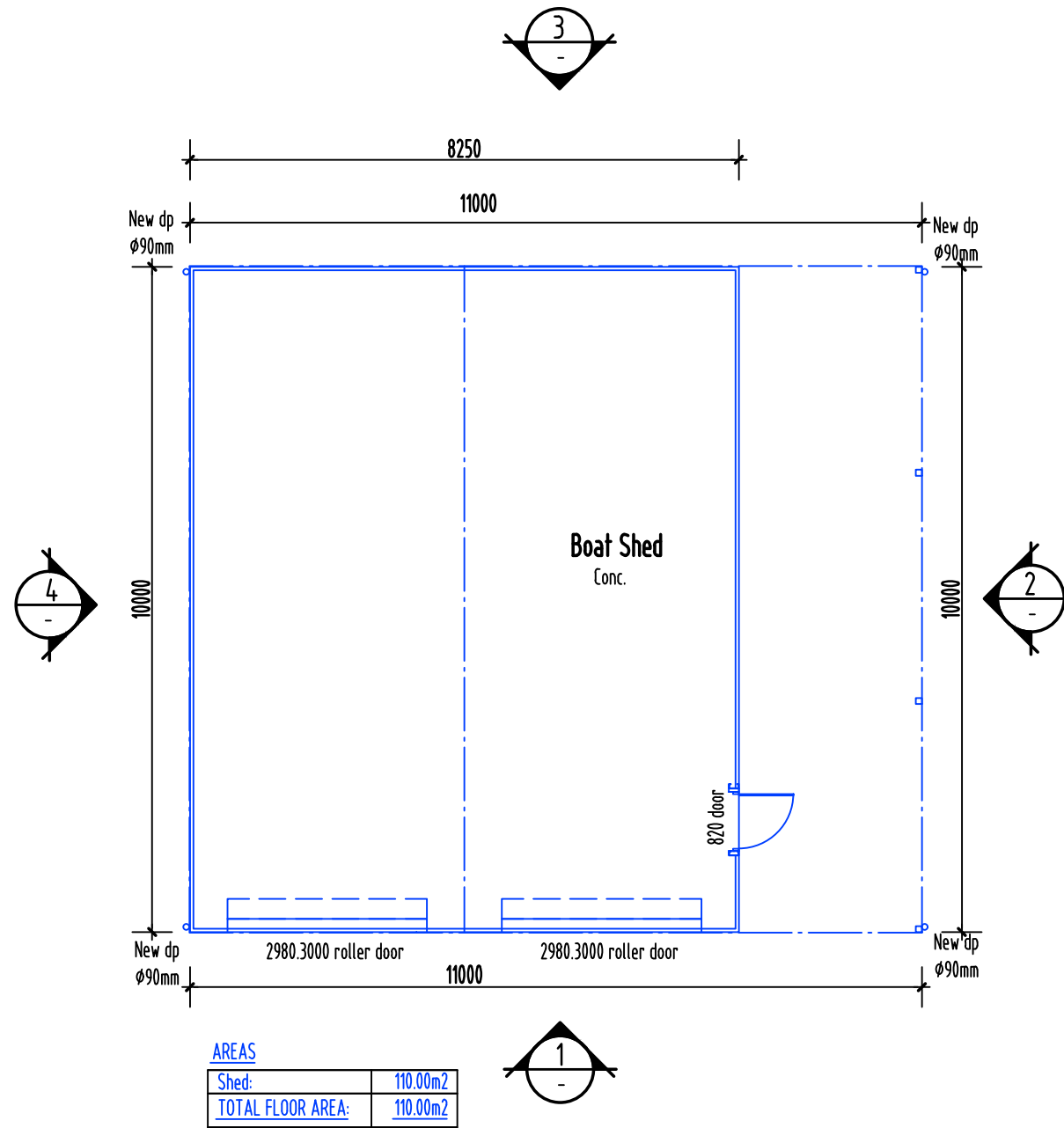
SCALE: As noted on  
A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-014

Plot Date: 18/08/2025



Shed Floor Plan  
scale 1:100@A3



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Shed design	0

stage	
sketch design	
design development	
contract documentation	
DA	
BA	
construction drawings	

PROJECT NAME :  
Proposed Boat Shed

CLIENT :  
INVESTABUG PTY LTD

8 Morrisons Way  
Morass Bay TAS 7030

DRAWING TITLE :  
Shed Floor Plan

REVISION NO. 0

DRAWING NO 05

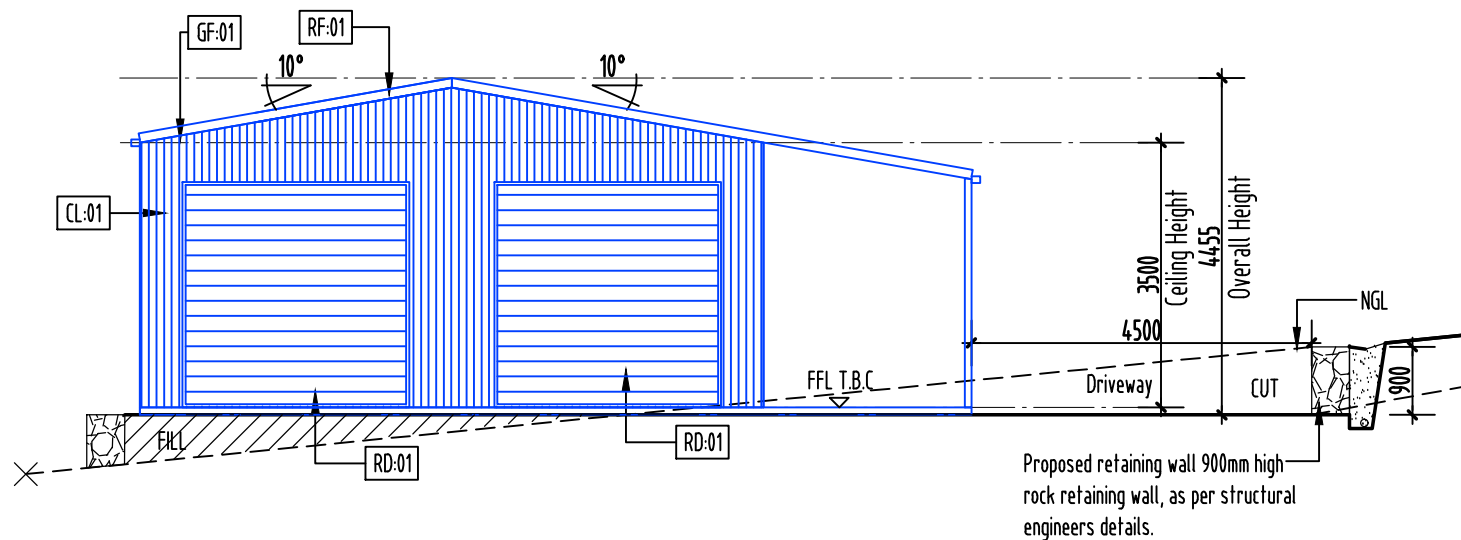
SCALE: As noted on  
A3 paper size

DRAWN BY : M.S.

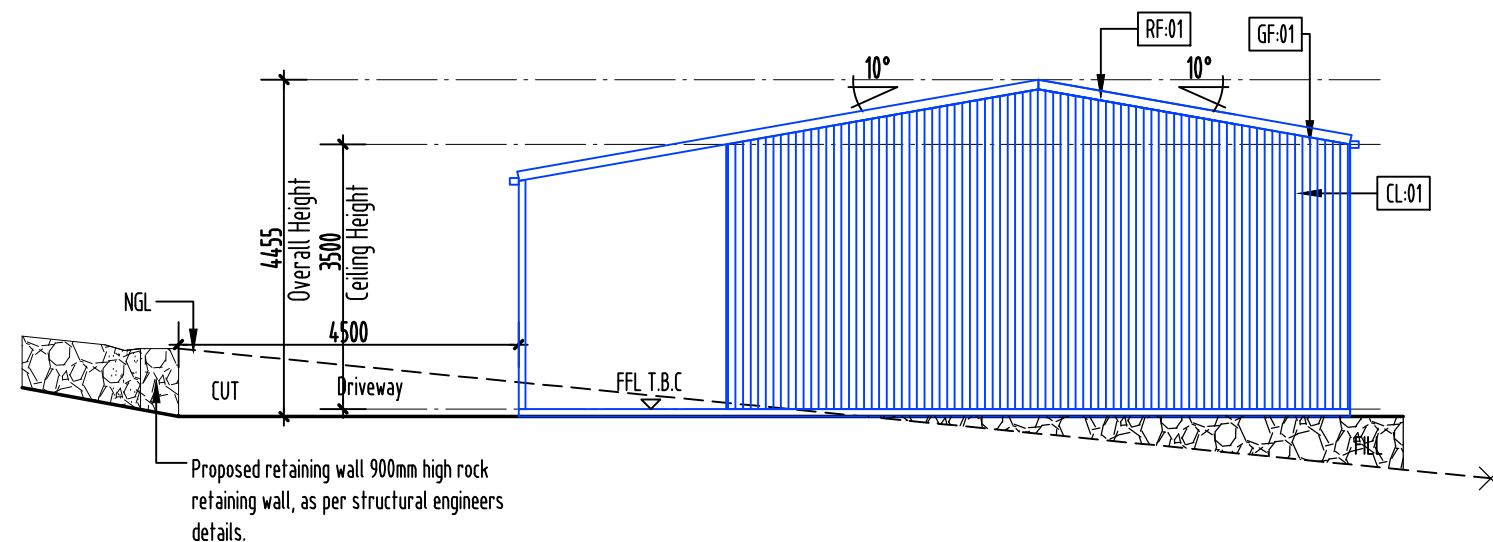
CHECKED BY : Nicholas Young

PROJECT NO. 25-014

Plot Date: 18/08/2025



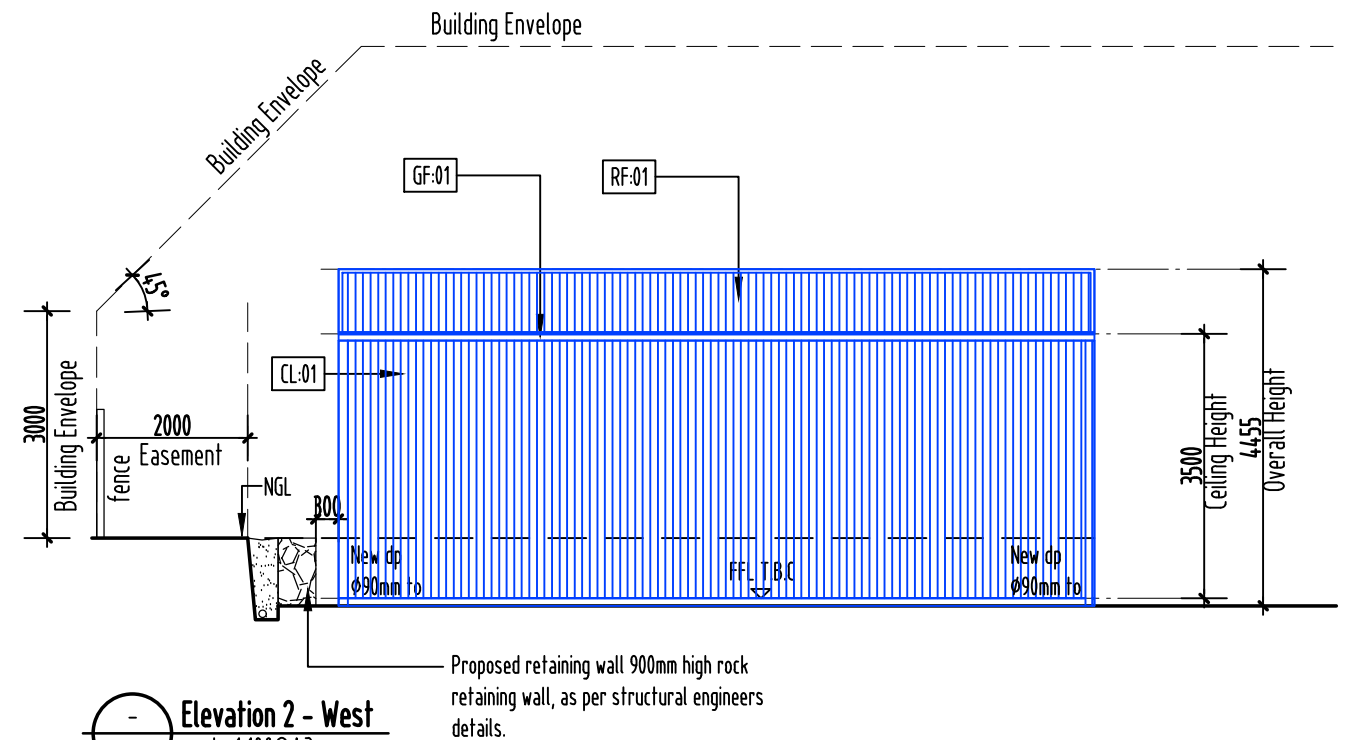
Elevation 1 - South  
scale 1:100@A3



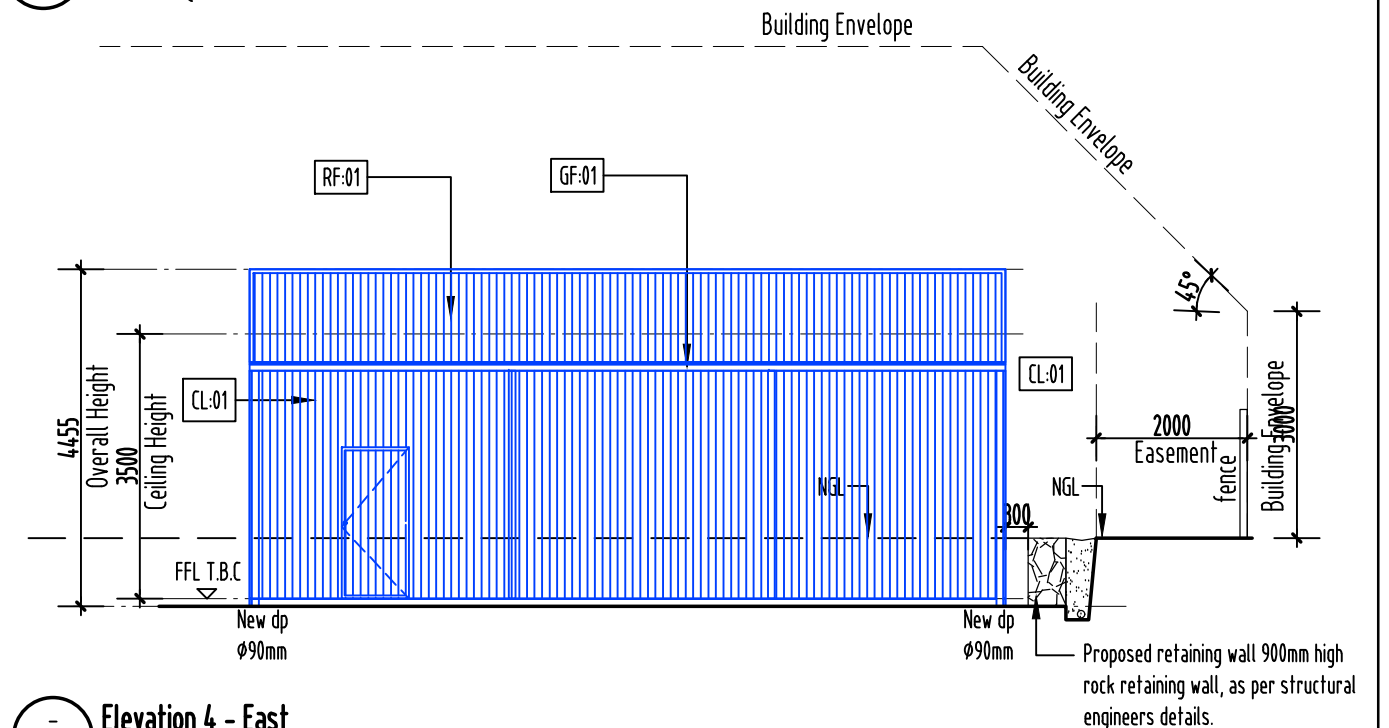
Elevation 3 - North  
scale 1:100@A3

### LEGEND & NOTES

DP: Downpipe Ø90 PVC Colour: Woodland Grey	GF-01 Colorbond metal Fascia and Gutter: Colour: Woodland Grey
CL-01 External wall: SteelClad .42bmt Colorbond Colour: Woodland Grey	RD-01 2x Roller Doors: H2600xW2750 ROW Roller Door Colour: Woodland Grey
RF-01 SteelClad .42bmt Colorbond metal roofing minimum 5°-10° roof slope, installed as per manufacturers specifications. Colour: Woodland Grey	SD-01 Personnel doors: 1x Larnec 2040 x 820 x 35mm - Pre Hung - Colorbond Single Skin P/C Tube Frame Outward Swing Monument Colour: Woodland Grey



Elevation 2 - West  
scale 1:100@A3



Elevation 4 - East  
scale 1:100@A3



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notes	revision
Shed design	0

stage	
sketch design	
design development	
contract documentation	
DA	
BA	
construction drawings	

PROJECT NAME:  
Proposed Boat Shed

CLIENT:  
INVESTABUG PTY LTD

8 Morrisons Way  
Morass Bay TAS 7030

DRAWING TITLE:  
Shed Elevations

REVISION NO. 0

DRAWING NO 06

SCALE: As noted on  
A3 paper size

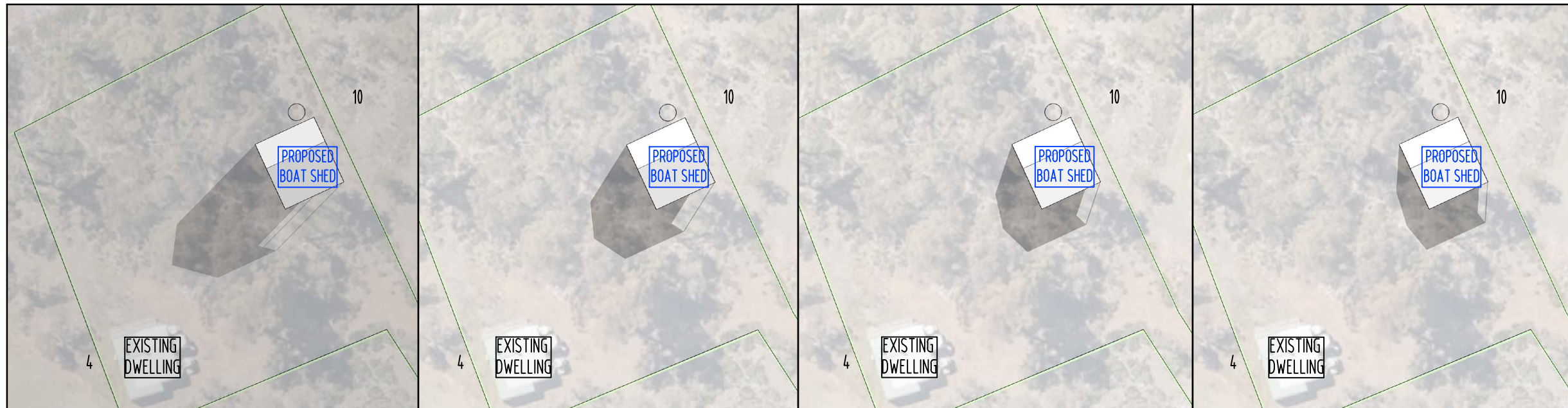
DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-014

Plot Date: 18/08/2025



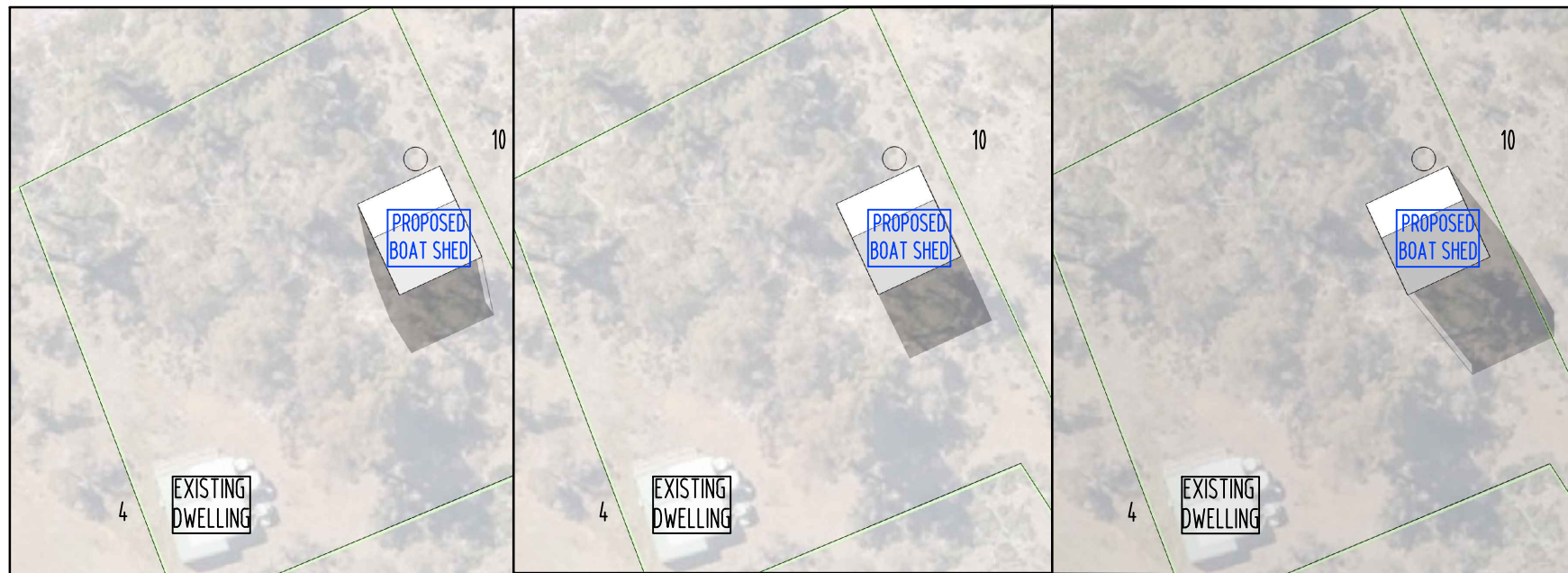


SUN SHADOW DIAGRAM 21st JUNE-9am  
SCALE NTS

SUN SHADOW DIAGRAM 21st JUNE-10am  
SCALE NTS

SUN SHADOW DIAGRAM 21st JUNE-11am  
SCALE NTS

SUN SHADOW DIAGRAM 21st JUNE-12am  
SCALE NTS



SUN SHADOW DIAGRAM 21st JUNE-1pm  
SCALE NTS

SUN SHADOW DIAGRAM 21st JUNE-2pm  
SCALE NTS

SUN SHADOW DIAGRAM 21st JUNE-3pm  
SCALE NTS



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stage	
sketch design	
design development	
contract documentation	
DA	
BA	
construction drawings	

PROJECT NAME:  
Proposed Boat Shed

CLIENT:  
INVESTABUG PTY LTD

8 Morrisons Way  
Morass Bay TAS 7030

DRAWING TITLE:  
Shadow Diagrams

REVISION NO. 0

DRAWING NO 08

SCALE: As noted on  
A3 paper size

DRAWN BY: M.S.

CHECKED BY: Nicholas Young

PROJECT NO. 25-014

Plot Date: 18/08/2025



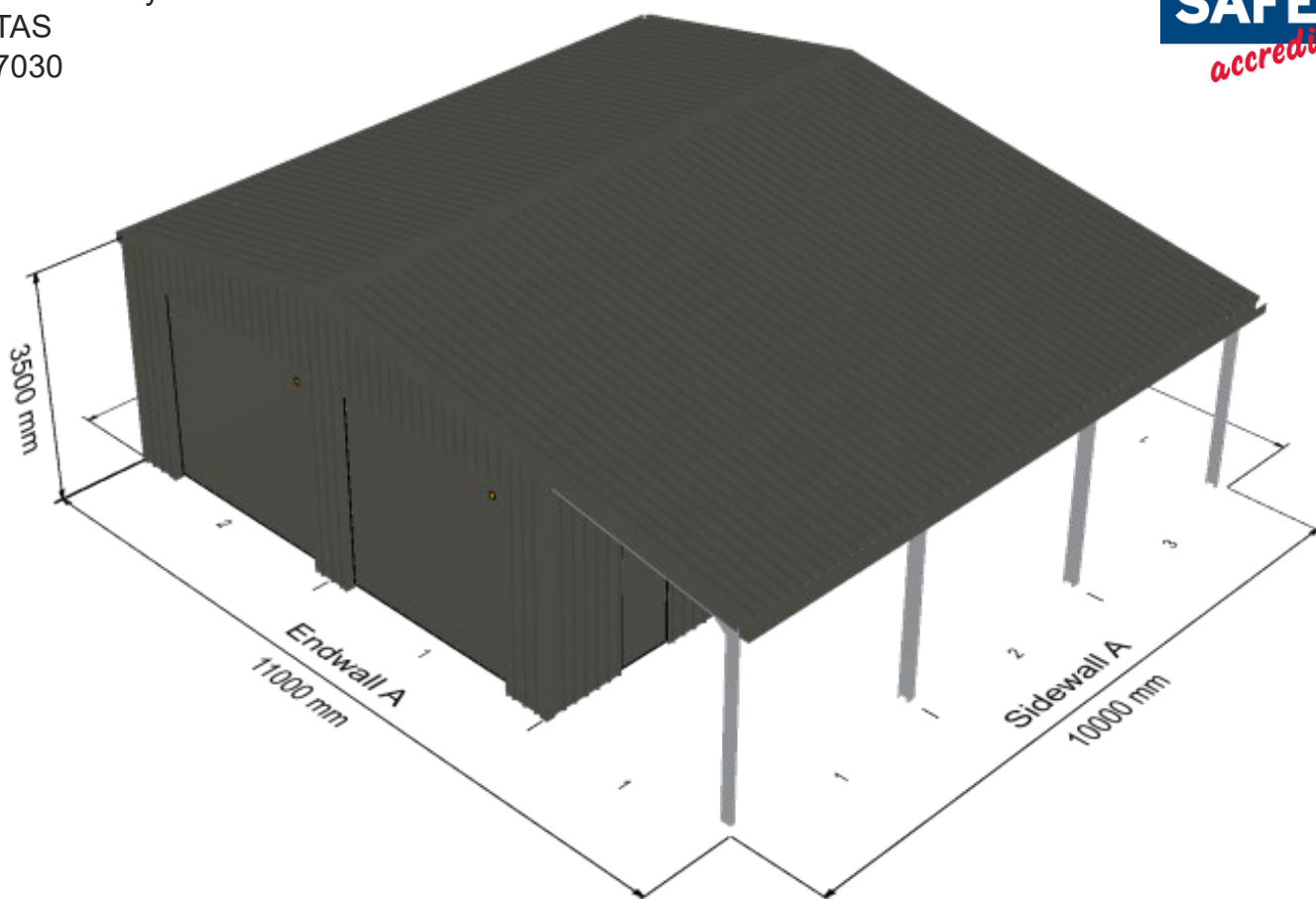


## Quotation

Brett Bugg  
8 Morrison Way  
Morass Bay  
TAS  
7030

## TASSIE SHEDS

(03) 6165 0204  
info@tassiesheds.com.au  
CAN: 644 258 560  
27-05-2025  
Quote #1006657162



Colorbond® Zincalume®



Quote #1006657162, 27-05-2025

## Building Specifications

### Building Site Address:

8 Morrison Way, Morass Bay, TAS, 7030

### Design Criteria:

Snow Load: 2.95 kPa  
Wind Load/Exposure: 53.0 m/s  
Building Class: 10a  
Wind Region: A4  
Importance Level: 2  
Terrain Category: 1  
Shielding: 1  
Topography: 1.16

### Sheeting and Trim Details:

Roof Type: Trimdek 0.42 BMT 0.47 TCT  
Roof Colour: Woodland Grey  
Wall Type: Trimdek 0.42 BMT 0.47 TCT  
Wall Colour: Woodland Grey  
Gutter Type: Quad Gutter 150 Hi-Front  
Trim Colour: Woodland Grey (WG)  
Base Trim: None  
Solar Load: N/A

### Building Dimensions:

Width: 8.000 m  
Length: 10.000 m  
Eave Height: 3.500 m  
Apex Height: 4.205 m  
Roof Pitch: 10 deg  
# Sidewall Bays: 3 3.333 m  
# Endwall Bays: 2 and 3 Varies

### Building Specs:

Columns: 2C20019  
Rafters: 2C20019  
Floor Area: 110.000 sqm  
Endwall Column: C20024  
Roof Purlins: Z10019  
Side Wall Girts: Z10019  
End Wall Girts: Z10012

### Leanto A Details:

Span: 3.000 m  
Bays: 3  
Drop: 0.000 m  
Roof Pitch: 10 deg  
Eave Height: 2.971 m

### Leanto B Details:

Span: N/A  
Bays: N/A  
Drop: N/A  
Roof Pitch: N/A  
Eave Height: N/A

### Slab and Footing Details: (Slab Details For Quoting – Not Included)

Bored Engineering plans included  
Bolt Down Anchor Brackets  
100mm Slab (100mm, 125mm & 150mm Available)  
Main Column Footings: 1450 mm - 450 mm (Depth x Diameter)  
End Mullion Footings: 650 mm - 450 mm (Depth x Diameter)

## Opening Details:

- Personnel doors: 1x Larnec 2040 x 820 x 35mm - CB Pre Hung - Colorbond Single Skin - P/C Tube Frame - Wind Class N4 & C1 Knob/Knob Outward Swing Woodland Grey
- Roller Doors: 2980h x 3000w Roller Door (opening) Woodland Grey Endwall A  
2980h x 3000w Roller Door (opening) Woodland Grey Endwall A
- Included Windows: None
- Framed Openings: None
- Open Bays: None
- Translucent Panels: None
- Door Extras: 2x Box A Door

## Insulation Details:

None

## Mezzanine:

Floor Height: N/A Bays: N/A

Live Load: N/A Joist Spacing: N/A

## Extra Options:

N/A

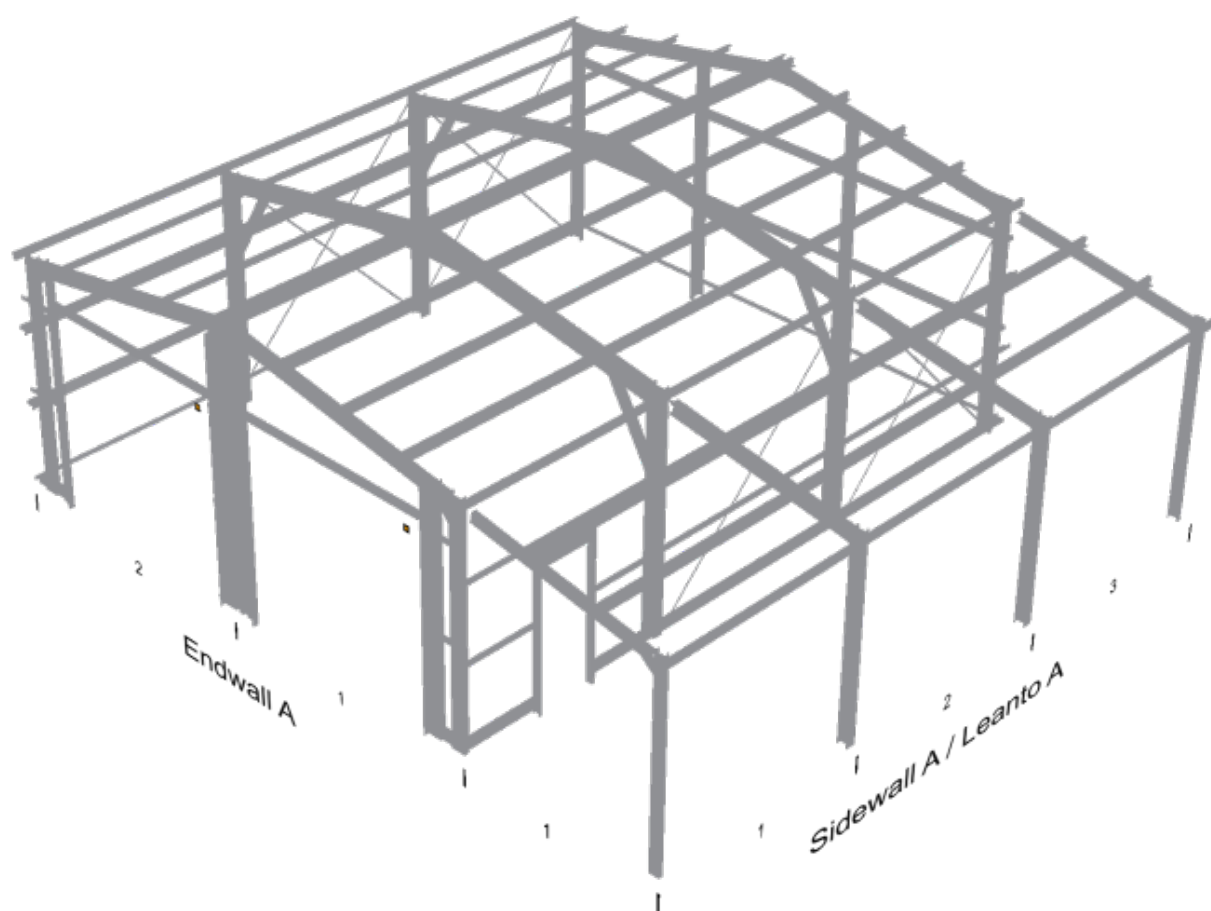
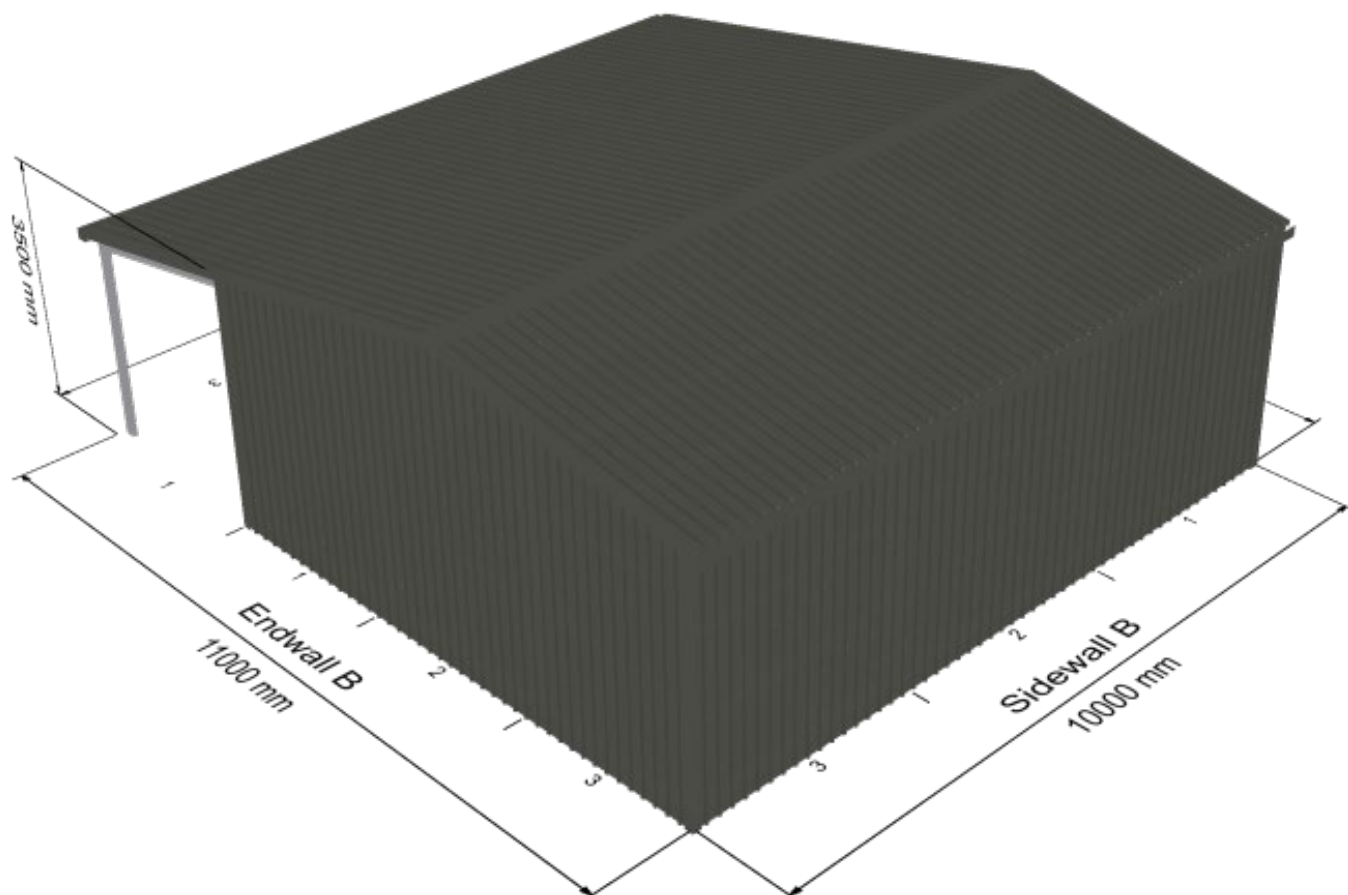
Knee Brace: 2C10015

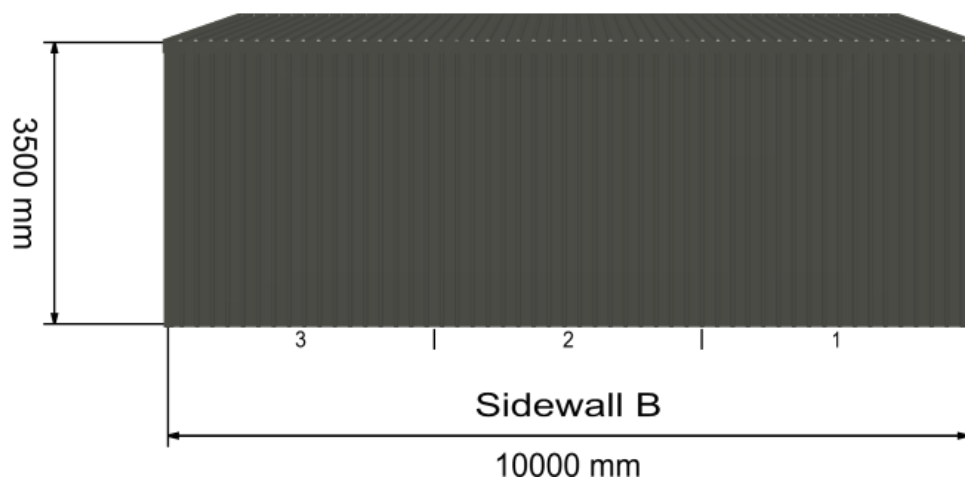
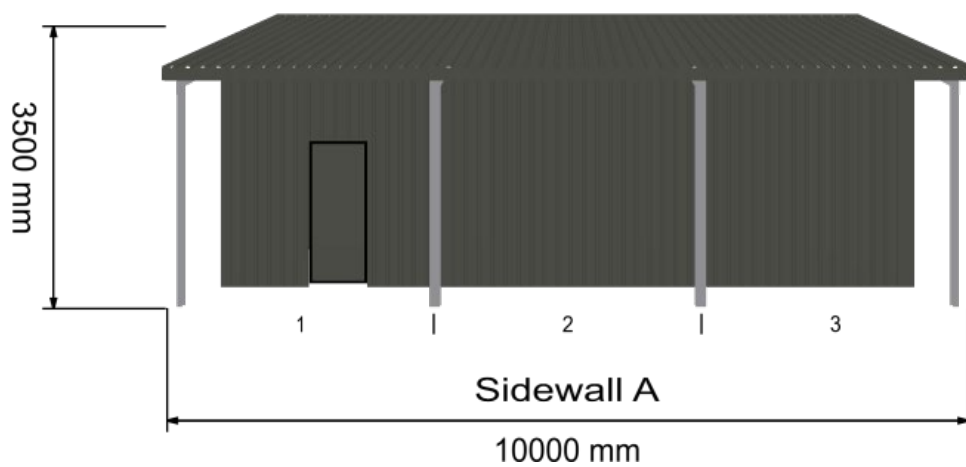
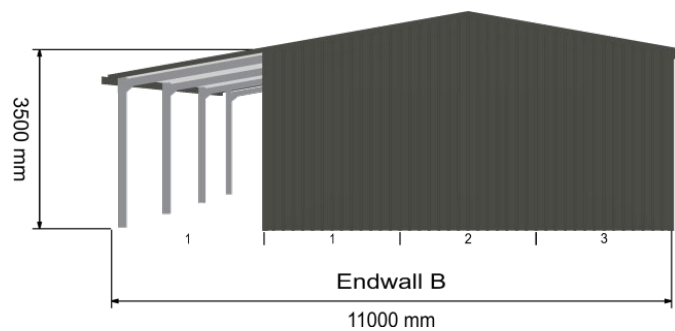
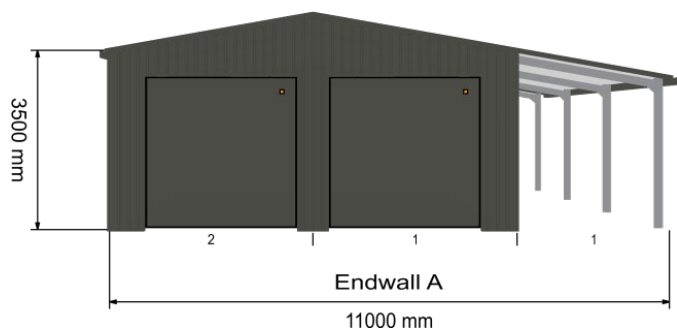
Apex Brace: 2C10015

## Total Building Weight:

3478.56kg







## Classic finish



**Dover White™**  
Classic finish  
SA = 0.28



**Surfmist®**  
Classic finish  
SA = 0.33  




**Evening Haze®**  
Classic finish  
SA = 0.43



**Southerly®**  
Classic finish  
SA = 0.40



**Dune®**  
Classic finish  
SA = 0.48  




**Paperbark®**  
Classic finish  
SA = 0.43



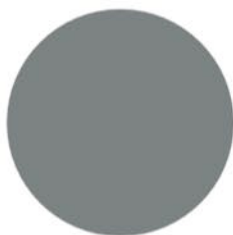
**Classic Cream™**  
Classic finish  
SA = 0.33



**Shale Grey™**  
Classic finish  
SA = 0.44  




**Bluegum®**  
Classic finish  
SA = 0.57



**Windspray®**  
Classic finish  
SA = 0.60  




**Gully®**  
Classic finish  
SA = 0.64



**Jasper®**  
Classic finish  
SA = 0.67




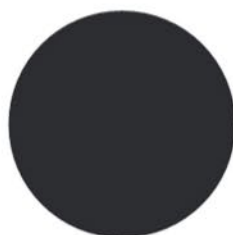
**Wallaby®**  
Classic finish  
SA = 0.64  





**Basalt®**  
Classic finish  
SA = 0.67



**Woodland Grey®**  
Classic finish  
SA = 0.70  




**Monument®**  
Classic finish  
SA = 0.73  




**Night Sky®**  
Classic finish  
SA = 0.95



**Ironstone®**  
Classic finish  
SA = 0.73



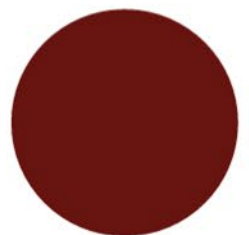
**Deep Ocean®**  
Classic finish  
SA = 0.74



**Cottage Green®**  
Classic finish  
SA = 0.73



**Pale Eucalypt®**  
Classic finish  
SA = 0.60



**Manor Red®**  
Classic finish  
SA = 0.70



## Full Sheetting And Flashing Colour Breakdown:

Roof Colour: Woodland Grey

Wall Colour: Woodland Grey

Gutter Colour: Woodland Grey

Ridge Colour: Woodland Grey

Downpipe Colour: N/A

Corner Flashings Colour: Woodland Grey

Vermin Flashing Colour: N/A

Opening Flashings: Woodland Grey

Barge Flashing: Woodland Grey

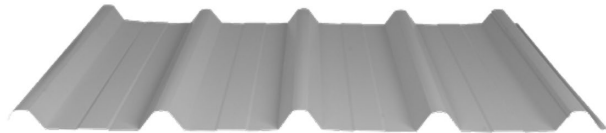
## Sheetting Profiles:

Corro



Cover: 762mm Height: 16mm

Trimclad



Pan Width: ≈ 130mm Rib Width: ≈ 60mm  
Cover: 762mm Height: 29mm

## SEARCH OF TORRENS TITLE

VOLUME 102963	FOLIO 34
EDITION 12	DATE OF ISSUE 07-Jul-2025

SEARCH DATE : 21-Jul-2025

SEARCH TIME : 11.25 AM

DESCRIPTION OF LAND

Parish of OOLUMPTA, Land District of WESTMORLAND

Parish of YANGENA, Land District of WESTMORLAND

Lot 34 on Sealed Plan 102963 (Section 27A of the Land Titles Act.)

Derivation : Whole of Lot 1 on Sealed Plan 102963 Gtd. to The Crown

SCHEDULE 1N258531 TRANSFER to INVESTABUG PTY LTD Registered  
07-Jul-2025 at noonSCHEDULE 2B607878 Land is limited in depth to 15 metres, excludes  
minerals and is subject to reservations relating to  
drains sewers and waterways in favour of the Crown  
(MF:2034/1)

SP102963 EASEMENTS in Schedule of Easements

SP102963 COVENANTS in Schedule of Easements

SP102963 FENCING COVENANT in Schedule of Easements

B621414 FENCING PROVISION in Transfer

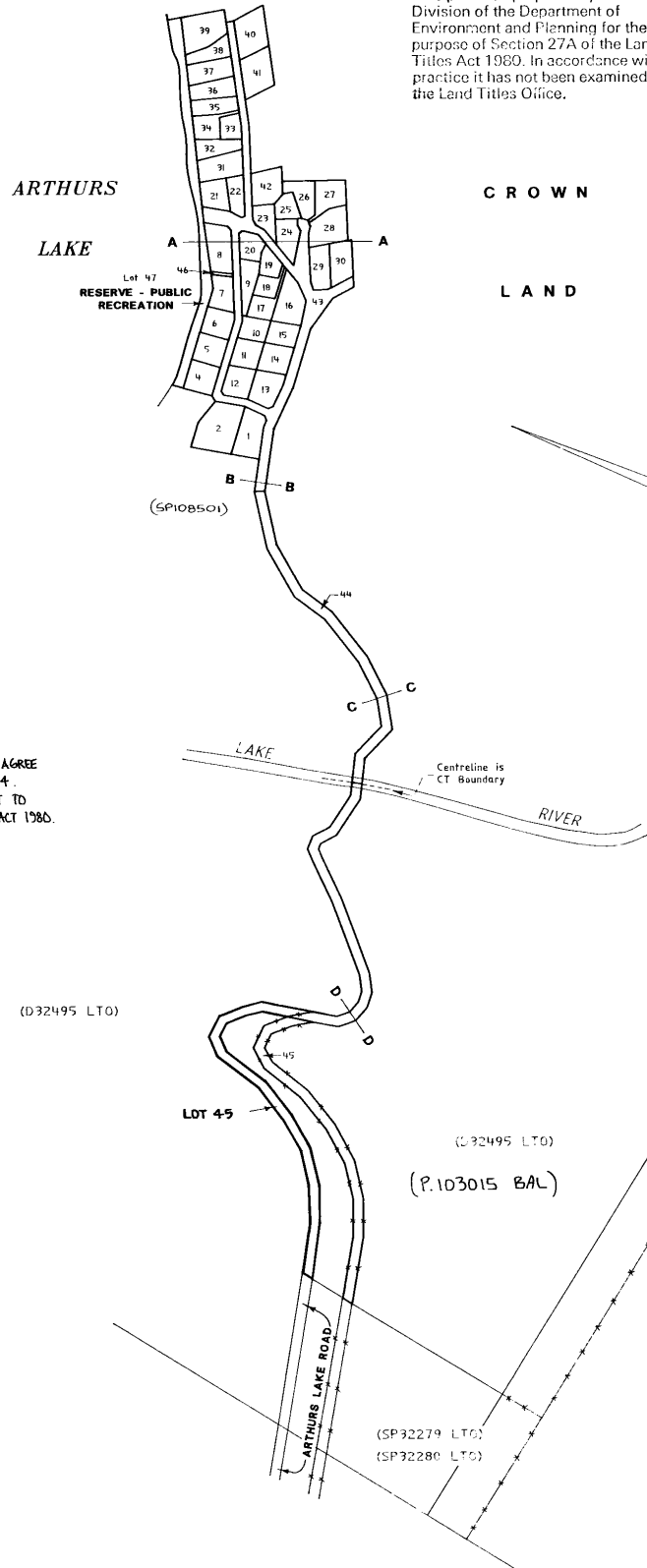
UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<b>Owner:</b> THE CROWN HYDRO ELECTRIC COMMISSION (LOT 45)	<b>PLAN OF SURVEY</b> by Surveyor Henk Broisma DEPARTMENT OF ENVIRONMENT AND PLANNING of land situated in the <b>LAND DISTRICT OF WESTMORLAND</b> <b>PARISH OF OOLUMPTA &amp; YANGENA</b>	<b>REGISTERED NUMBER</b> <b>SP 102963</b> Approved Effective from: 16 NOV 1992 <i>Michael Slinn</i> Recorder of Titles
<b>Title Reference:</b> CT 4491/54	SCALE 1:7500      MEASUREMENTS IN METRES	
<b>Grantee:</b> Part of Lot 1289, 600-0-0, Granted to John Jones		

### INDEX PLAN

This plan was prepared by the Survey Division of the Department of Environment and Planning for the purpose of Section 27A of the Land Titles Act 1980. In accordance with practice it has not been examined at the Land Titles Office.



PLOT OF LOT 45 AMENDED TO AGREE WITH PLOT PER ANNEXURE N° 4. AMENDMENT WAS MADE PURSUANT TO SECTION 139 OF THE LAND TITLES ACT 1980.

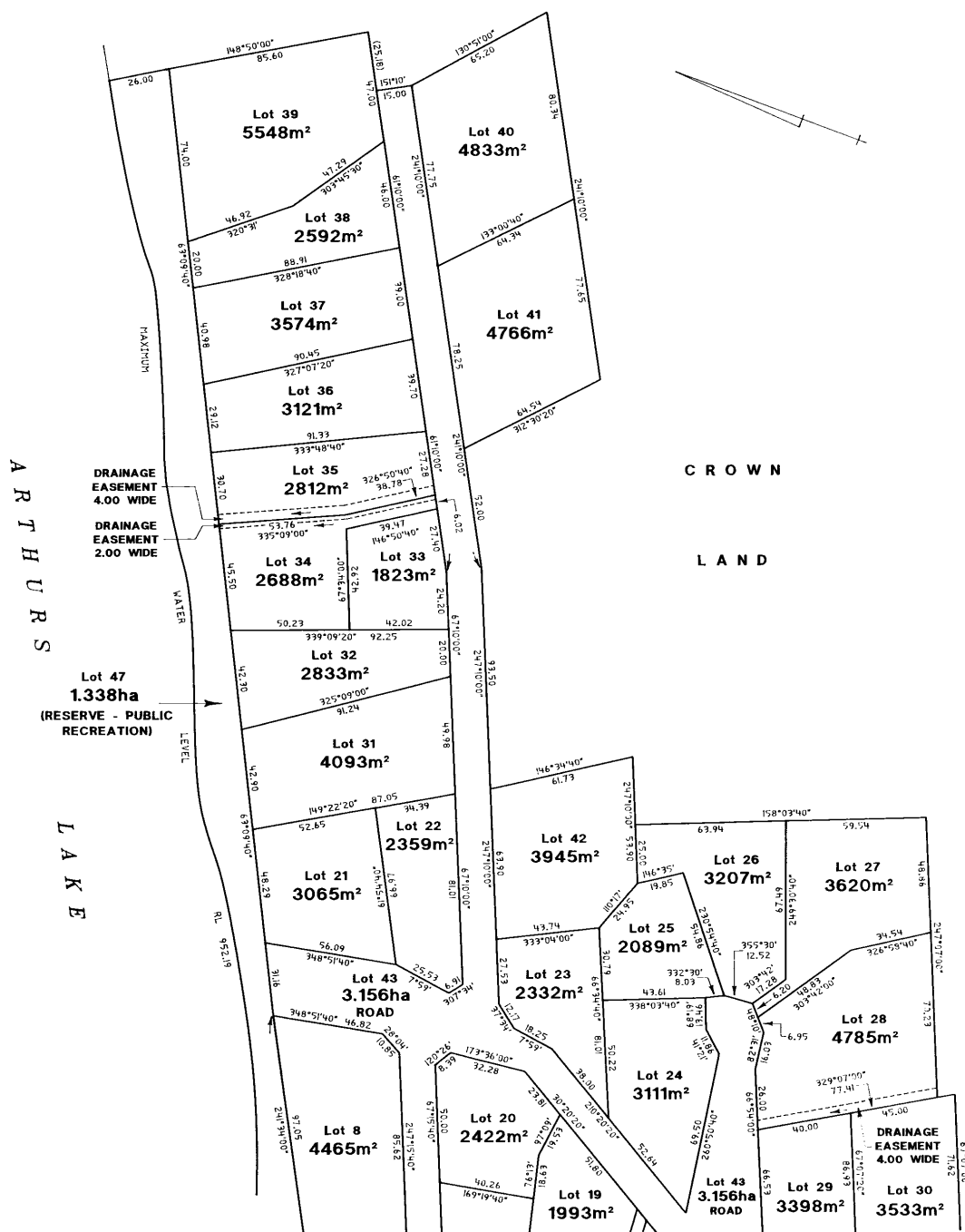
*Michael Slinn*  
 Recorder of Titles.  
 Date: 12th August 1993

THIS PLAN WAS PREPARED BY THE SURVEY DIVISION OF THE DEPARTMENT OF ENVIRONMENT AND PLANNING FOR THE PURPOSE OF SECTION 27A OF THE LAND TITLES ACT 1980. IT HAS NOT BEEN EXAMINED AT THE LAND TITLES OFFICE.



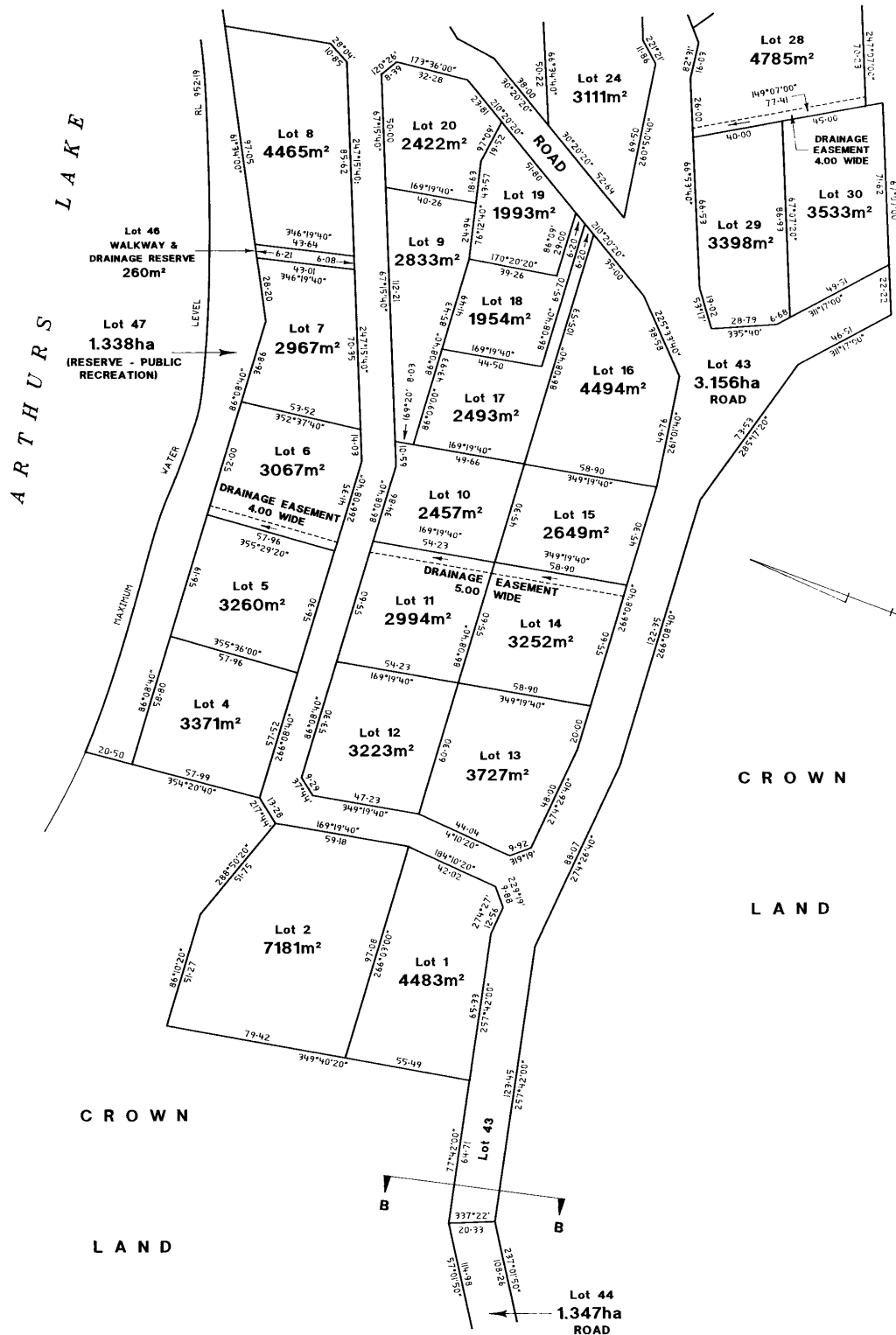
<p>ANNEXURE SHEET No 1</p> <p>(of 4 annexures to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated _____ and that certificate extends to the detail shown on this sheet&gt;</p>	<p>Registered Number:</p> <p><b>SP102963</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor Henk Broelma.....</p>	<p>Scale 1:1500</p>
<p>Council Clerk.....</p>	<p>Owner: THE CROWN</p> <p>Title Reference:</p>	<p>Measurements in Metres</p>

CROWN LAND



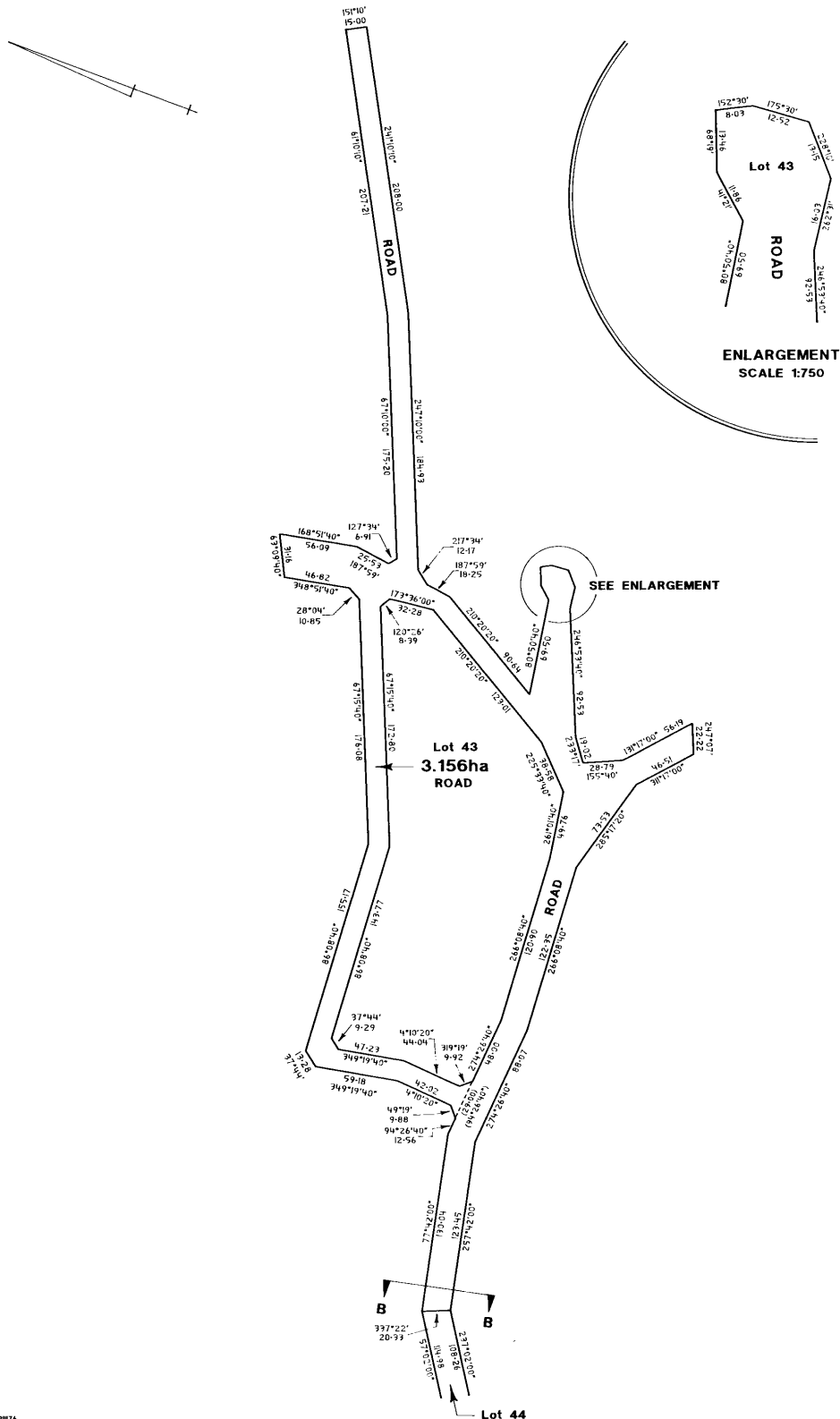
921874

<p>ANNEXURE SHEET No. 2 (of 4 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated _____ and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: <b>SP102963</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor Henk Bralsma</p>	<p>Scale 1:1500</p>
<p>Council Clerk</p>	<p>Owner: THE CROWN</p>	<p>Measurements in metres</p>
	<p>Title Reference:</p>	



92875

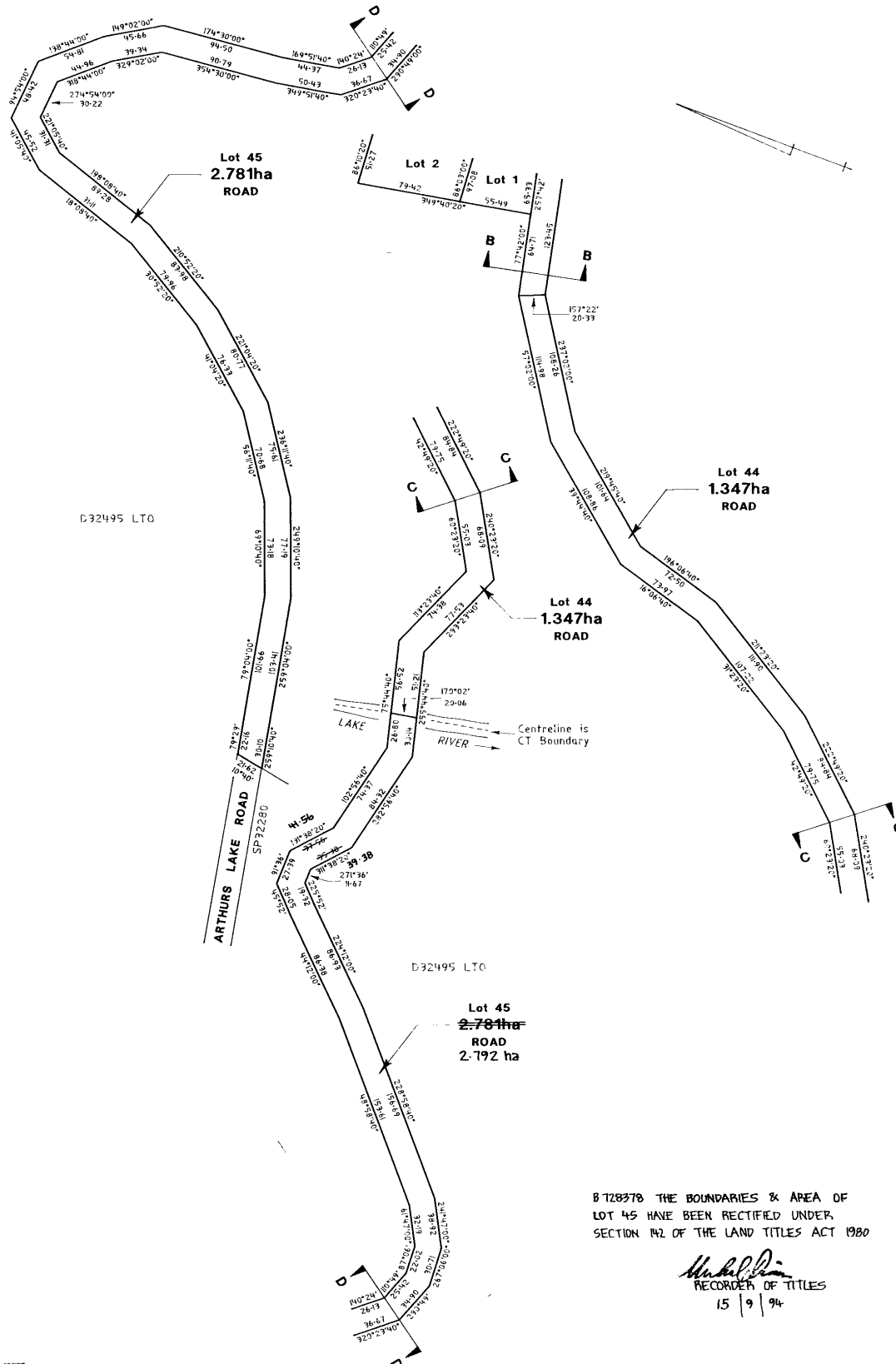
<p>ANNEXURE SHEET No. 3 (of 4 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated ..... and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: <b>SP102963</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor Henk Beelma .....</p>	<p>Scale 1:2500</p>
<p>Council Clerk .....</p>	<p>Owner: THE CROWN</p>	<p>Measurements in Metres</p>
	<p>Title Reference:</p>	



92876



<p>ANNEXURE SHEET No. 4 (of 4 annexures) to plan by Surveyor</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated ..... and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: <b>SP 102963</b></p>
<p>Signed for the purposes of identification</p>	<p>Surveyor Henk Brotsma</p>	<p>Scale 1:2500</p>
<p>Council Clerk</p>	<p>Owner: THE CRCWN HYDRO ELECTRIC COMMISSION (LOT 45)</p>	<p>Measurements in metres</p>
	<p>Title Reference: CT 4431/54</p>	



92877

SCHEDULE OF EASEMENTS

**SP 102963**



NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

No profits à prendre

LOT 28 on the plan is subject to a right of drainage (appurtenant to the Crown Land) over the drainage easement shown passing through the said Lot 28.

COVENANTS

The Owner of each lot shown on the plan covenants with the Vendor (the Crown) and its successors in title and the owners for the time being of every other lot shown on the plan to the intent that the burden of these covenants may run with and bind the Covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the said plan to observe the following stipulations:


1. that no building other than a building used for residential purposes being a Class 1 or Class 10 building as defined under the Building Regulations of the Local Government Act 1962 shall be built on any lot on the plan.
2. that no boundary fences shall be erected on any lot on the plan.
3. that no building on any lot on the plan shall be more than a single storey (mezzanine floor excepted) excepting Lot 11 shown on the plan.

4. that no trees or vegetation on any lot on the plan are to be removed and no non-native flora introduced without prior written approval of the local council.
5. that on any lot on the plan water for domestic purposes shall not be obtained from ground bores, springs, dams, watercourses or Arthurs Lake.
6. that on any lot on the plan the pitch of any part of a roof of any building shall not exceed 45 degrees.
7. that no lot shown on the plan shall have an approved, exclusive, effluent dispersal drainage area less than one thousand square metres (1000m<sup>2</sup>) nor shall that drainage area be within forty (40) metres of the maximum water level (RL 952.19 on AHD) of Arthurs Lake nor shall that drainage area be used for vehicular access, buildings, or storage of equipment, fuels or materials.
8. that no lot shown on the plan excepting Lot 43 shall have a driveway or other open area on the lot which concentrates surface water onto the approved, exclusive, effluent dispersal drainage area.
9. that no buildings on Lot 11 shown on the plan shall be more than two storeys.
10. that no new buildings shall be constructed on any lot on the plan unless they are designed to blend with the surroundings and all external surfaces of walls and roofs are of materials such as timber, field stone, rammed earth, mud brick, corrugated metal, etc which are non-reflective and coloured or painted in earthy tones.

**FENCING COVENANT**

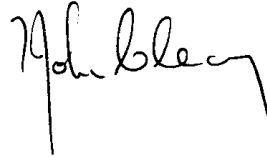
The owners of each lot on the plan covenant with the Vendor (the Crown) that the Crown shall not be required to fence.

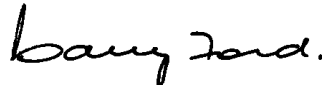
THE COMMON SEAL of the HYDRO- )  
ELECTRIC COMMISSION (as Owner )  
of Lot 45 on the plan) was )  
hereunto affixed by order of )  
the Commission in the )  
presence of: )

  
GENERAL MANAGER

  
~~SECRETARY~~ SOLICITOR

SIGNED by THE HONOURABLE )  
THOMAS JOHN CLEARY the )  
Minister for the time being )  
administering the Crown Lands Act 1976 )  
for and on behalf of the Crown in the )  
presence of: )







This is the schedule of easements attached to the plan of .....  
*(Insert Subdivider's Full Name)*

..... affecting land in

.....  
*(Insert Title Reference)*

Sealed by ..... on .....19.....

Solicitor's Reference .....  
*Council Clerk/Town Clerk*

OS-K 3134

102963

SINST 5361

SURVEY OF <sup>2781</sup>~~2872~~ HA OF LAND FORMING PART OF  
CONV <sup>18.27</sup>~~18.678~~ HA  
CT 37/9626 (D32495) - HEC OWNER AND <sup>18.27</sup>~~18.678~~ HA  
OF CROWN LAND FOR SUB-DIVISION PURPOSES IN THE  
LAND DISTRICT OF : WESTMORLAND  
PARISHES OF : YALGENA AND OOLUMPTA  
LOT 45: PART OF LOT 1289 (600 Acs) GTO to JOHN JONES.  
TITLE REFERENCE: CT 4431/54.

SURVEY COMMENCED: 31.3.92

SURVEY COMPLETED: <sup>4.8.92</sup>~~18.2.92~~

ERROR OF CLOSE : SEE NOTES.

NOTE: THE LOCATION OF THE WATER LEVEL OF  
952.19m IN ARTHURS LAKES IS BASED ON HEC BM  
PM/IND WHICH HAS AN R.L. OF 957.16m  
THE WATER LEVEL OF 952.19 IS RECOGNIZED AS  
THE EXTENT OF THE HEC ENTITLEMENT.

ALL CORNERS ARE WOODEN PEGS UNLESS SHOWN OTHERWISE  
ALL TRAVERSE MARKS ARE SPIKES UNLESS SHOWN OTHERWISE.

NOTE: (1) AN UNREGISTERED SURVEY EXISTS FROM D32495  
(WILBERVILLE) TO THE LAKE RIVER. STAR BARS WERE  
USED TO MARK THE NORTHERN BOUNDARY OF THE  
ROAD IN THAT SURVEY AND SHOULD NOT BE CONFUSED  
WITH THE MARKS PLACED BY ME.  
(2) EASEMENTS ENDORSED ON PLAN AS INSTRUCTED. NO  
FIELD CHECK WAS MADE TO LOCATE SHACKS IN RELATION  
TO EASEMENT BOUNDARIES.

SURVEY CERTIFICATE

I HENK ADRIAAN BROLSMA of B'NANS BAY

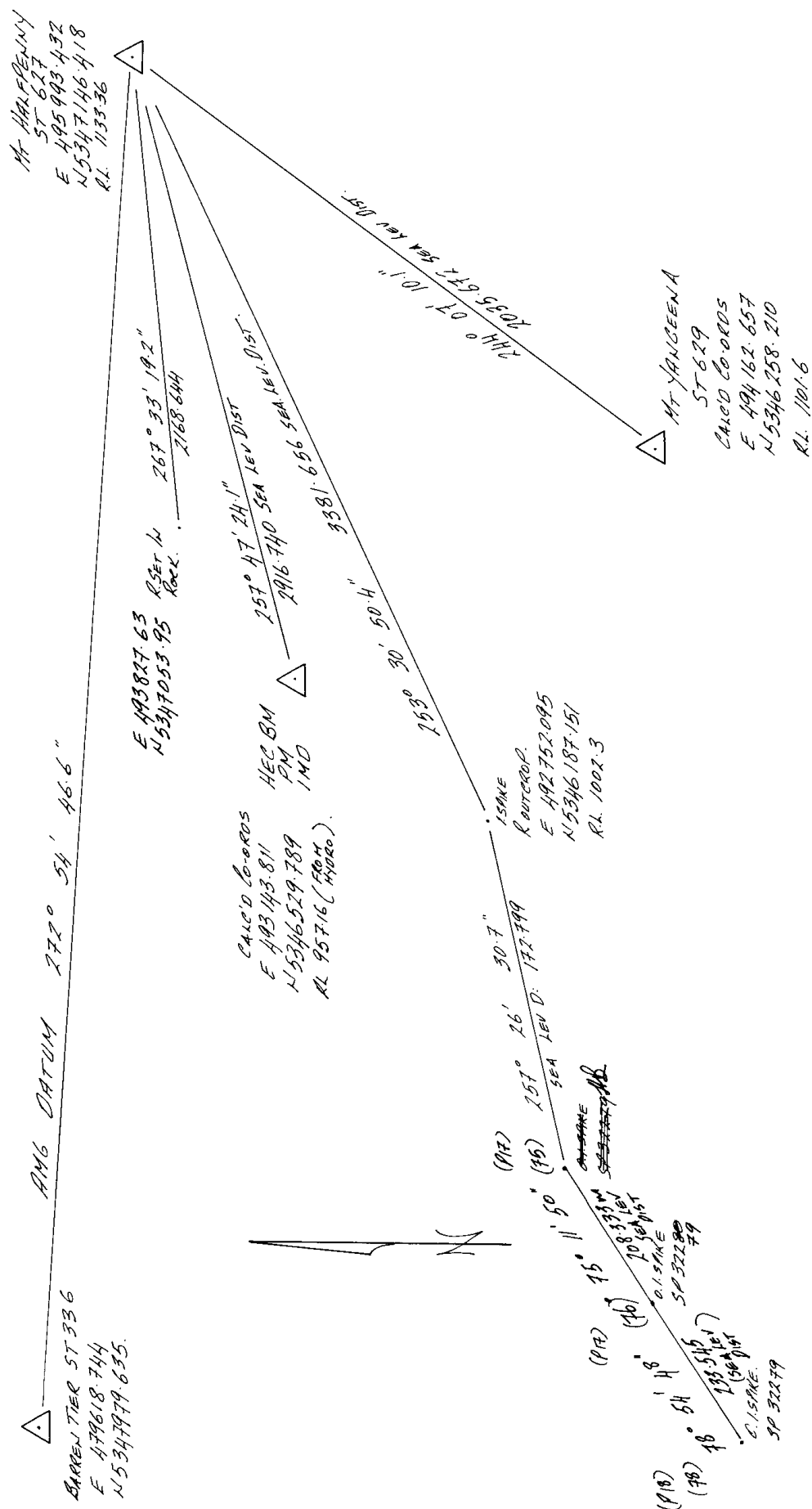
In Tasmania a registered surveyor HEREBY CERTIFY that:

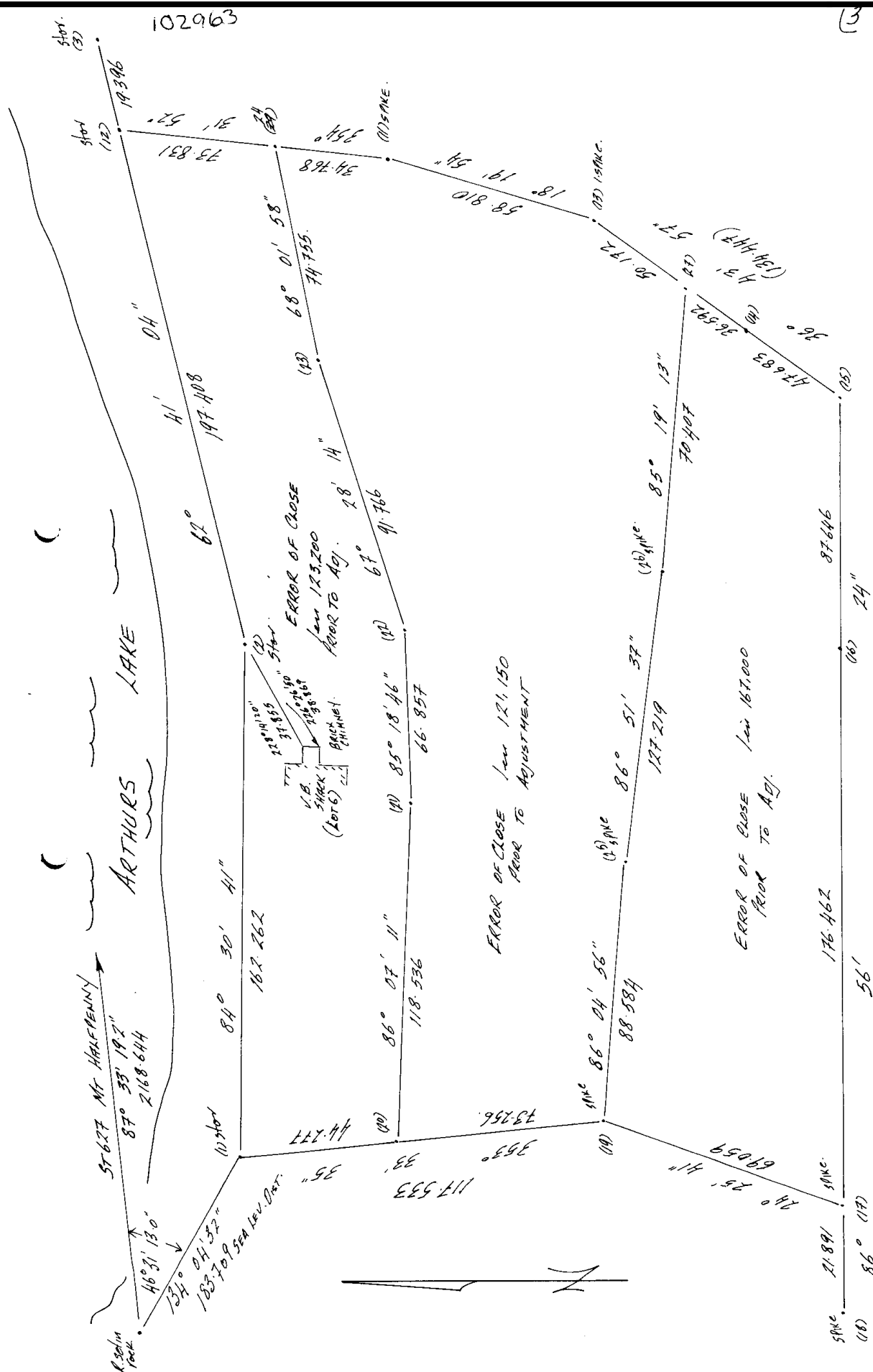
- (a) this survey is based upon the best evidence that the nature of the case admits;
- (b) the survey notes have been truly compiled from surveys made by me or made under my supervision; and
- (c) this survey and accompanying survey notes comply with the relevant legislation affecting surveys and are correct for the purposes required.

Signature H.A. Brolsma Date 10.6.1992

102963

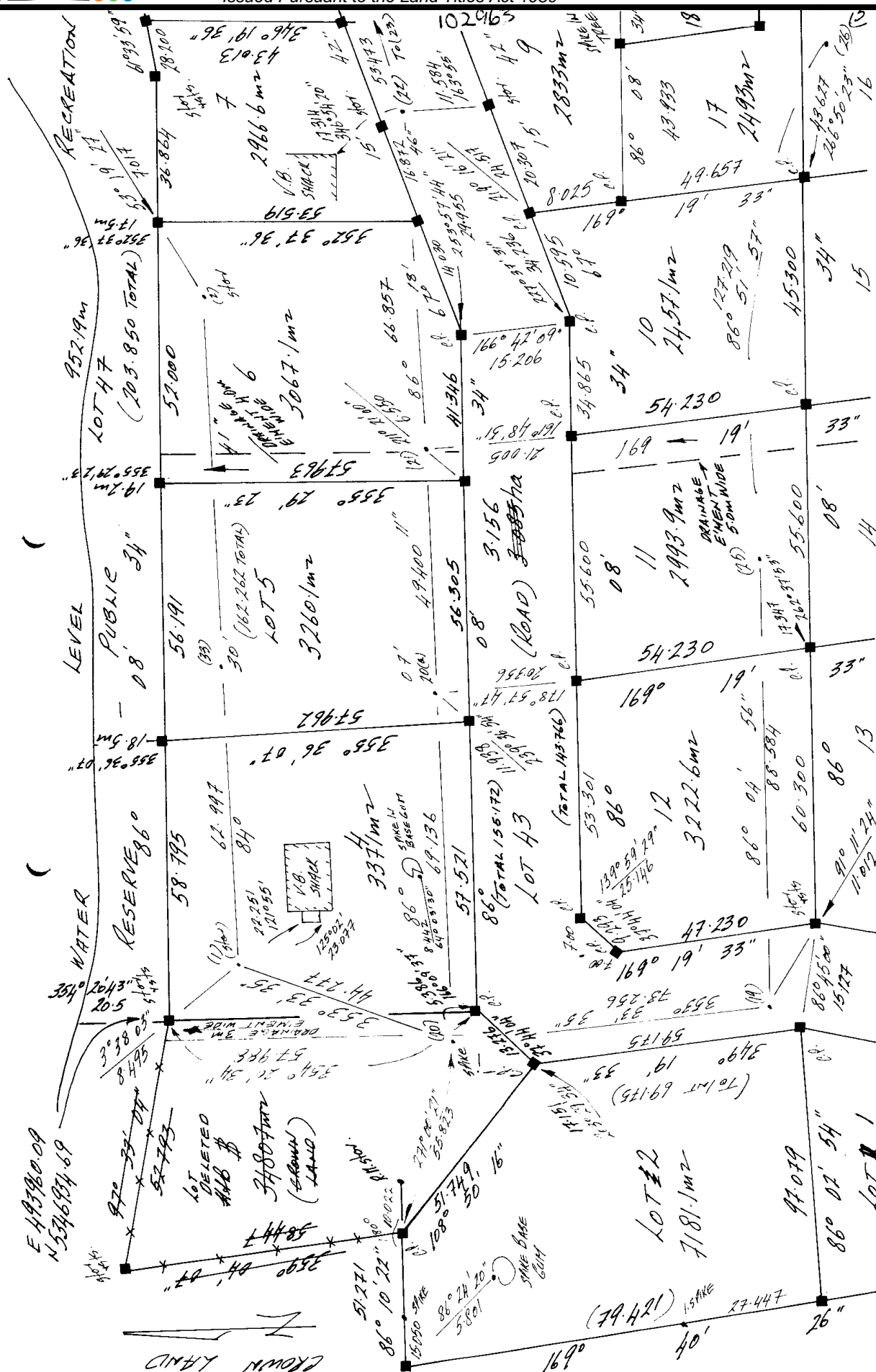
(2)

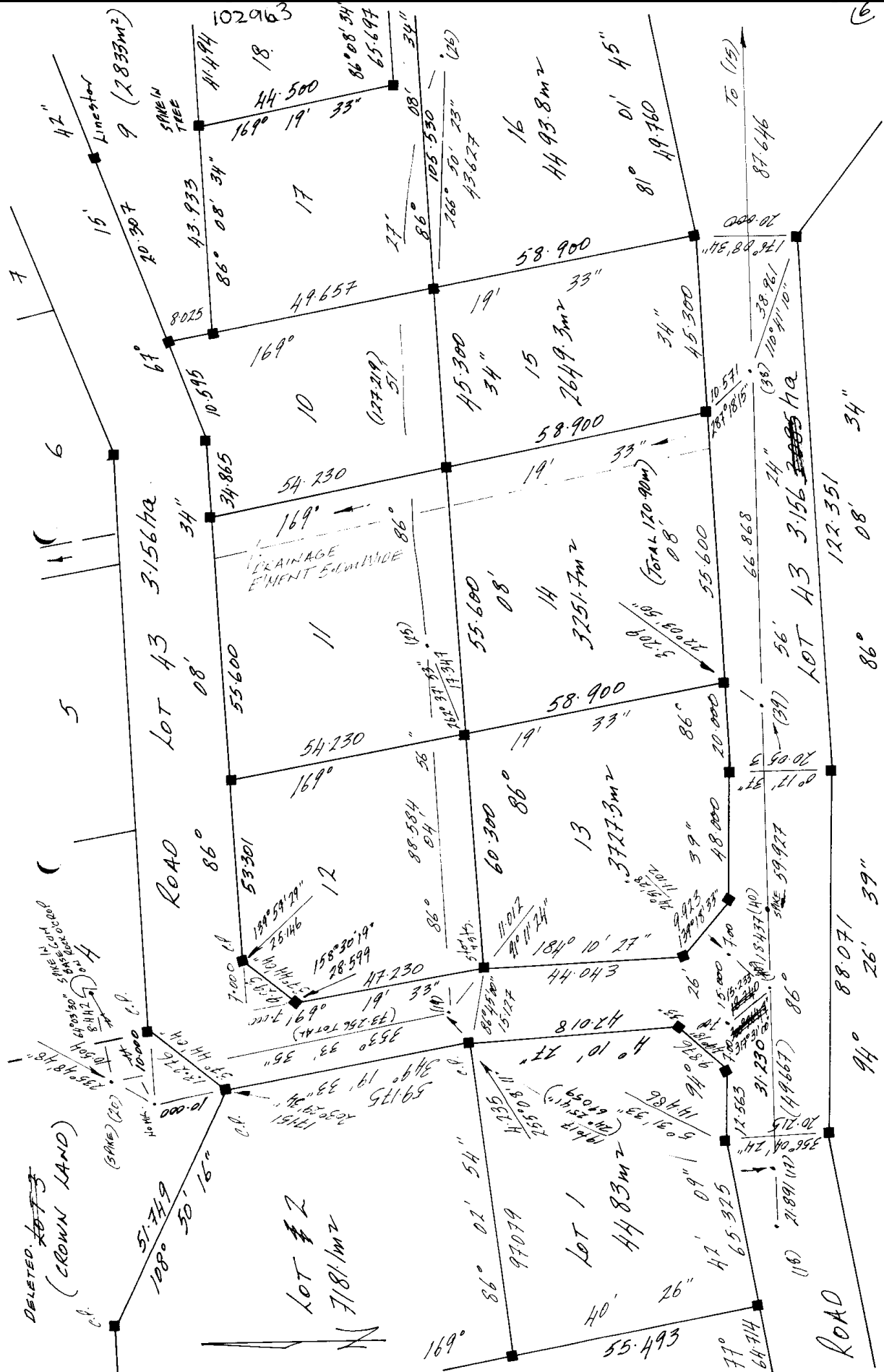


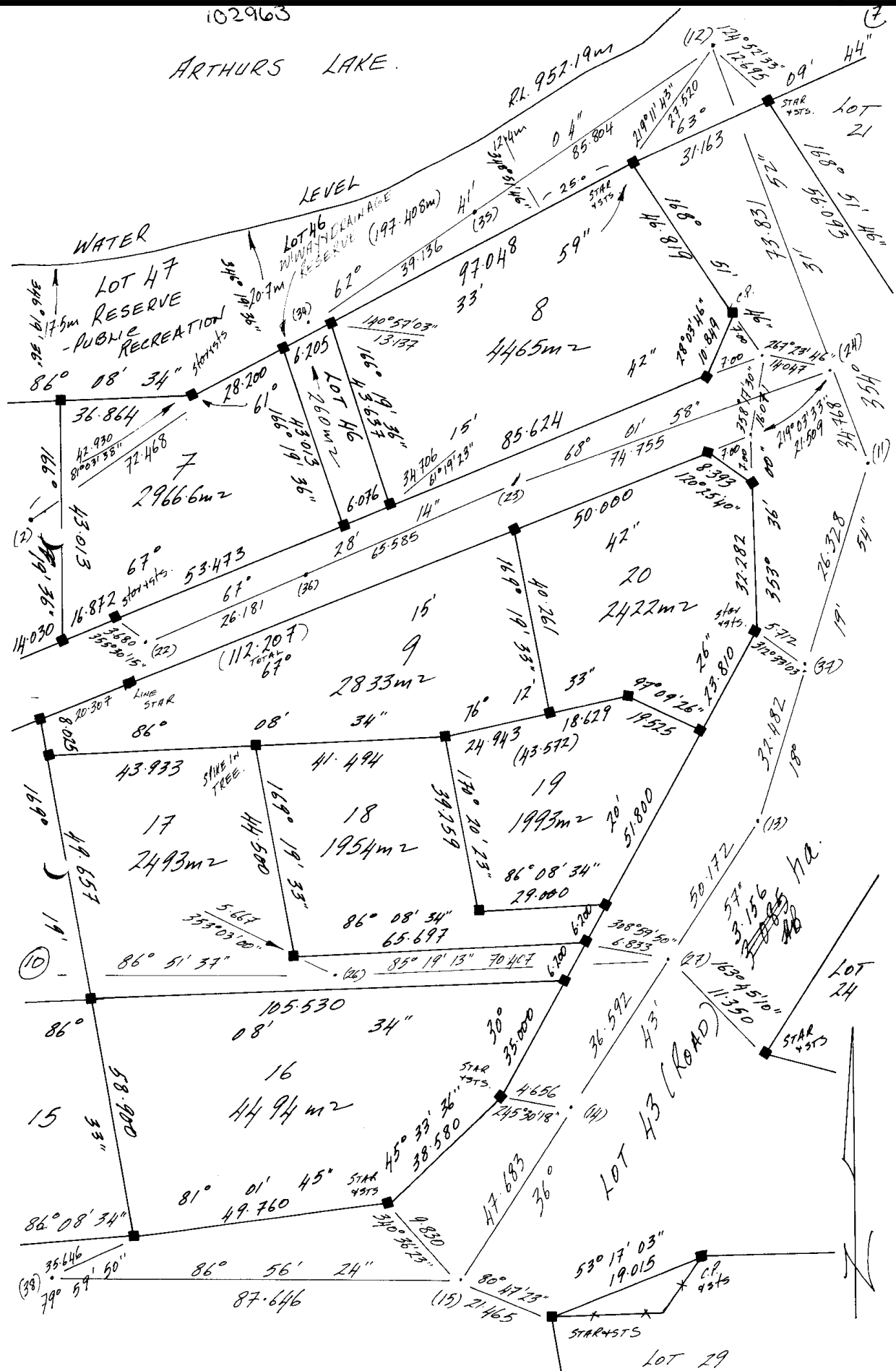


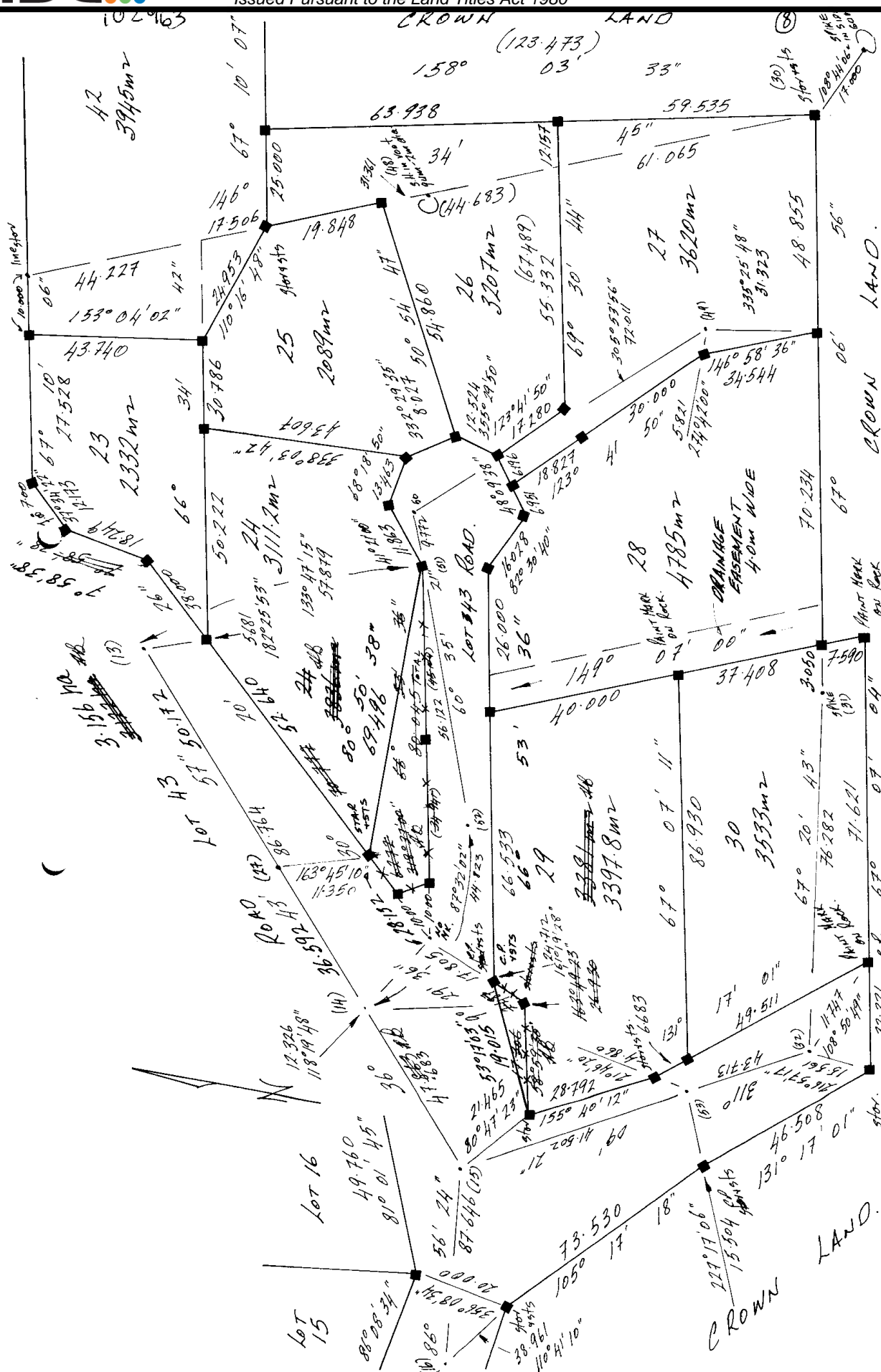


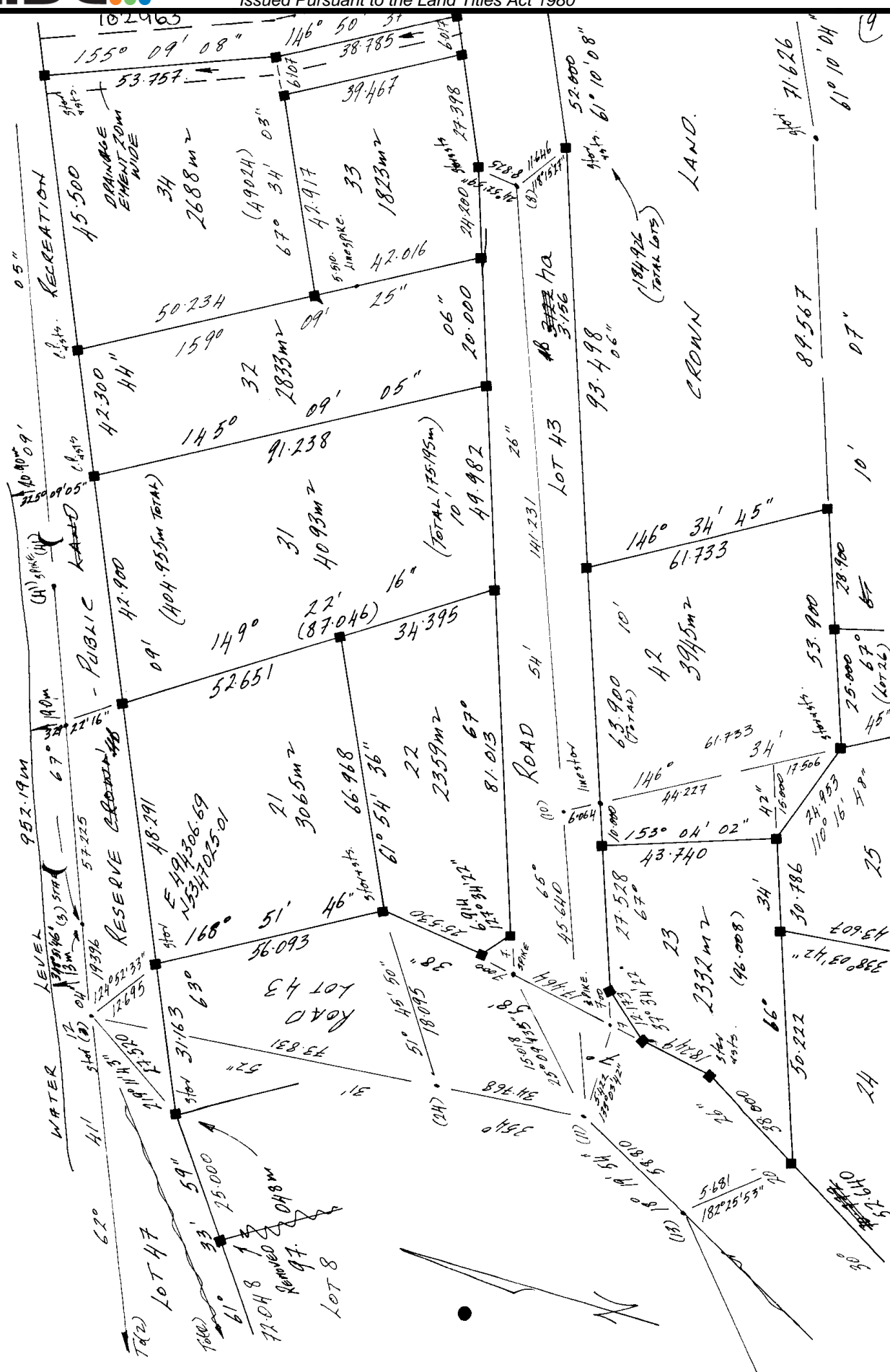




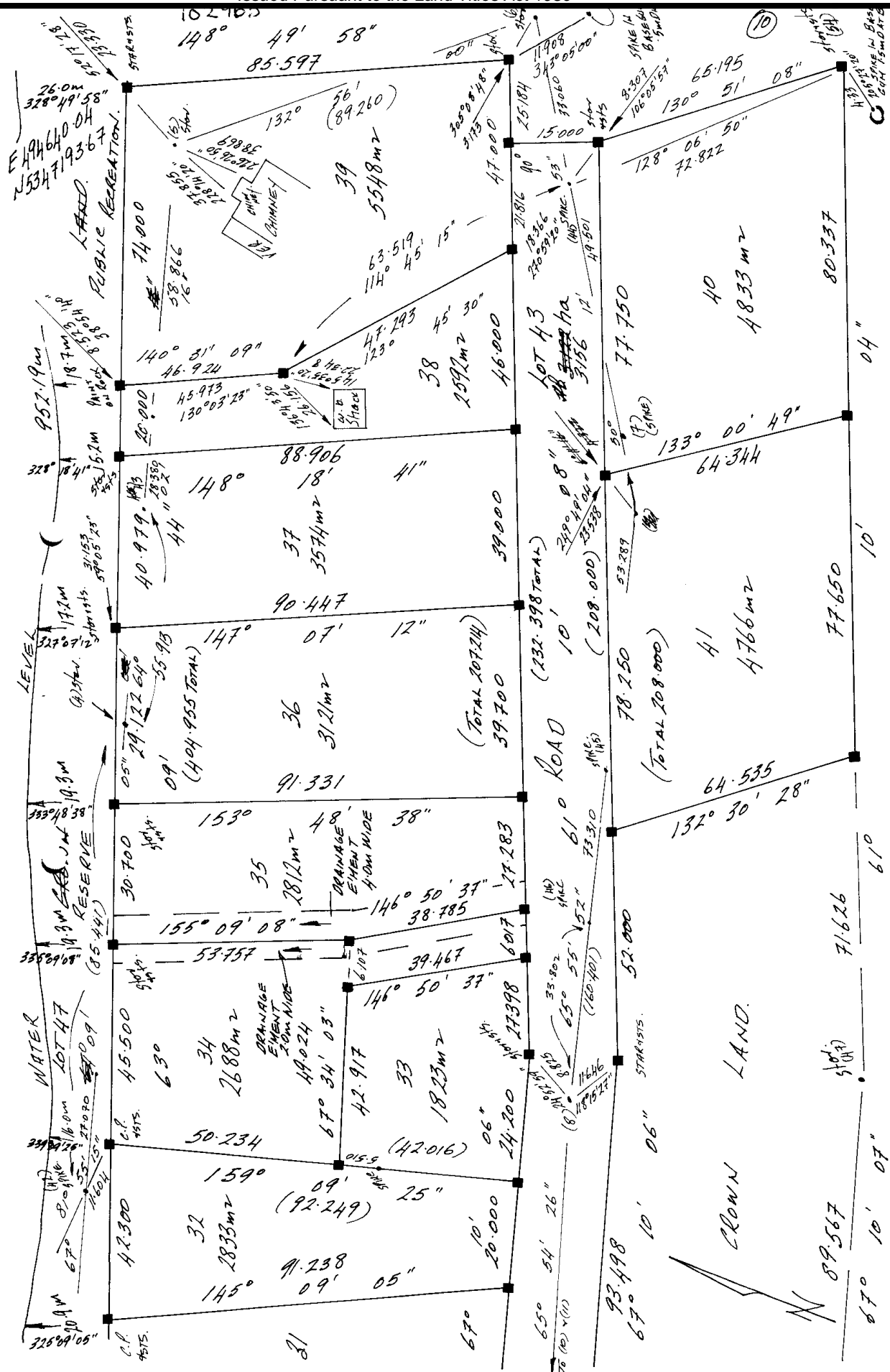


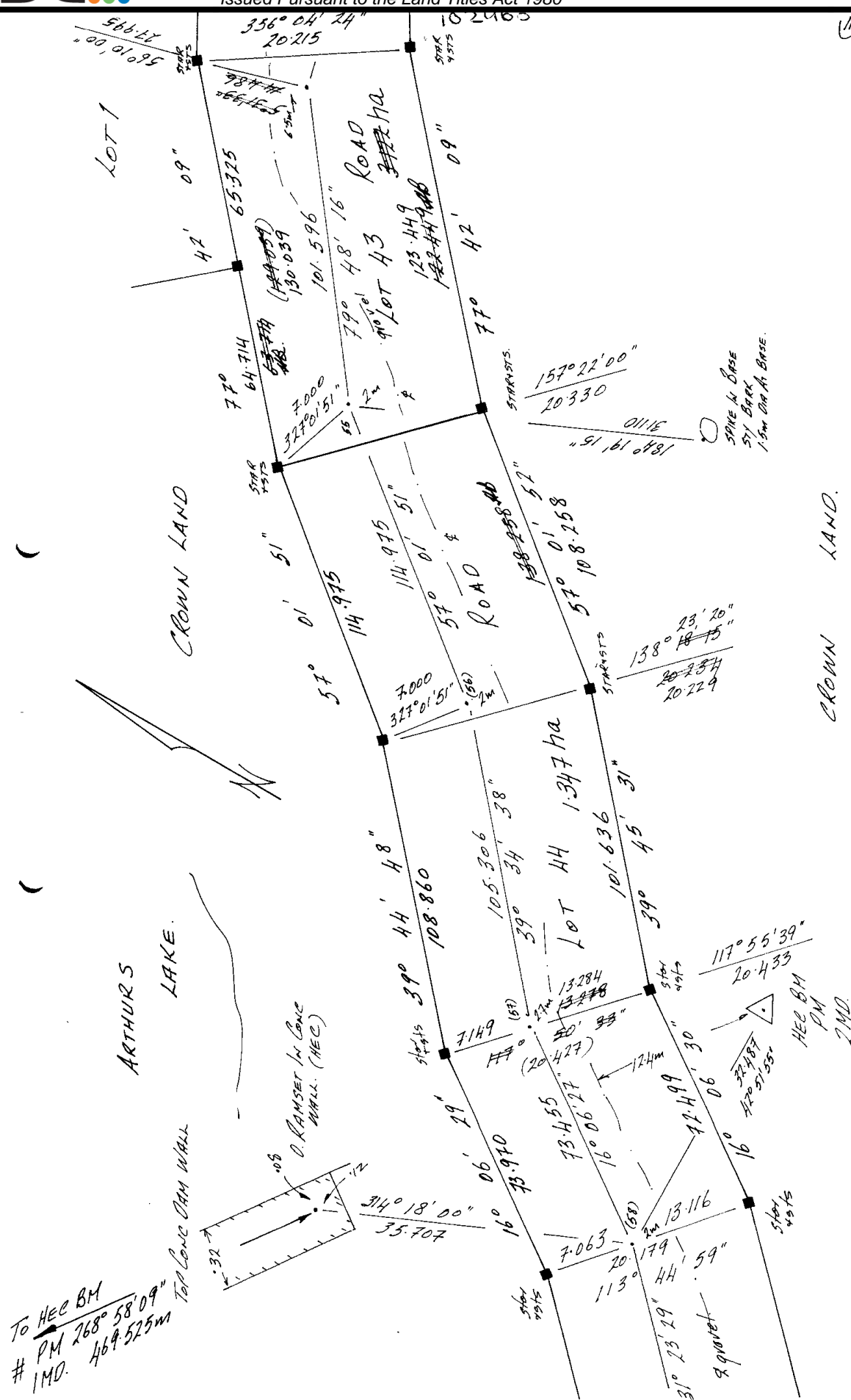


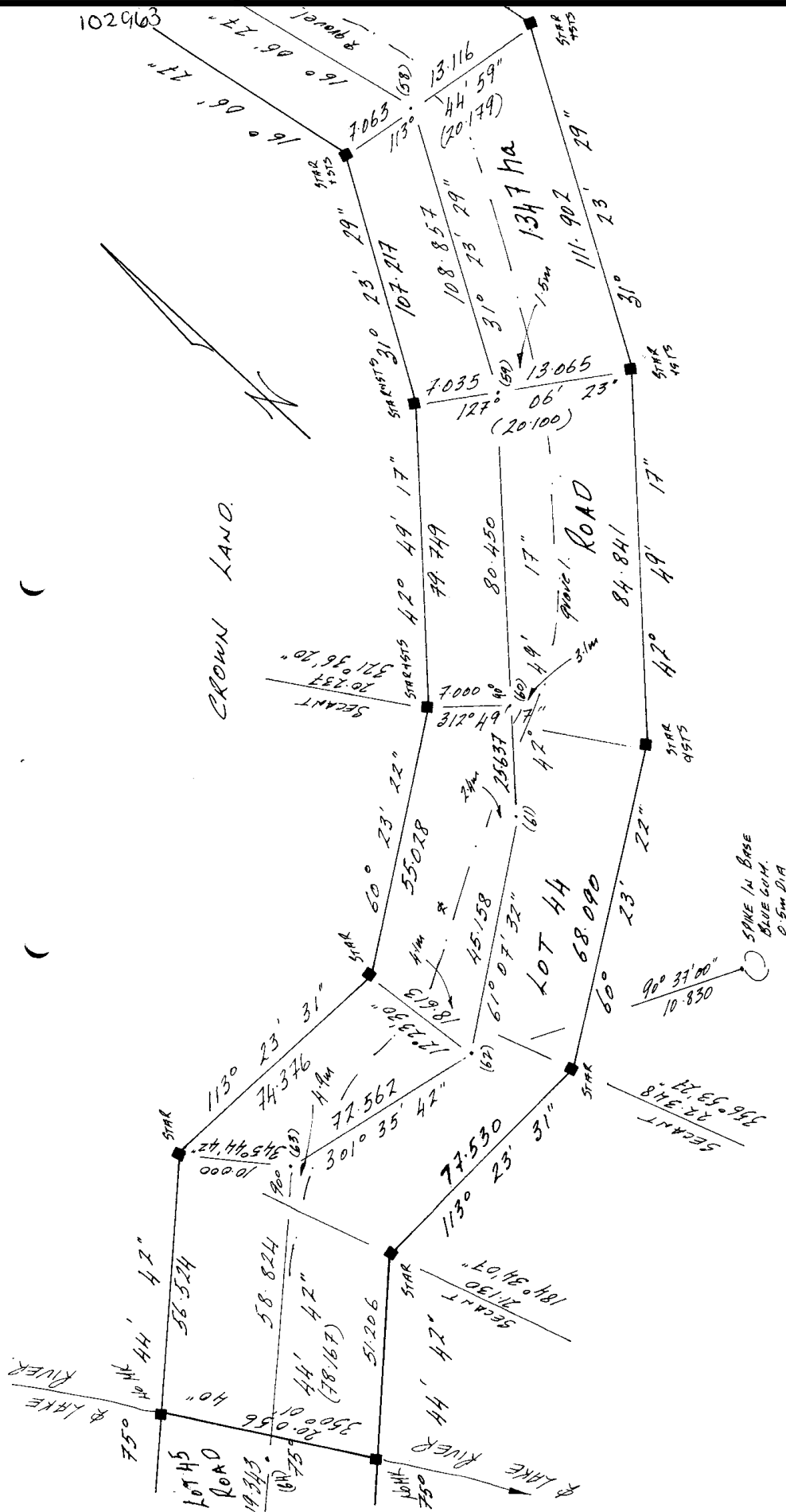


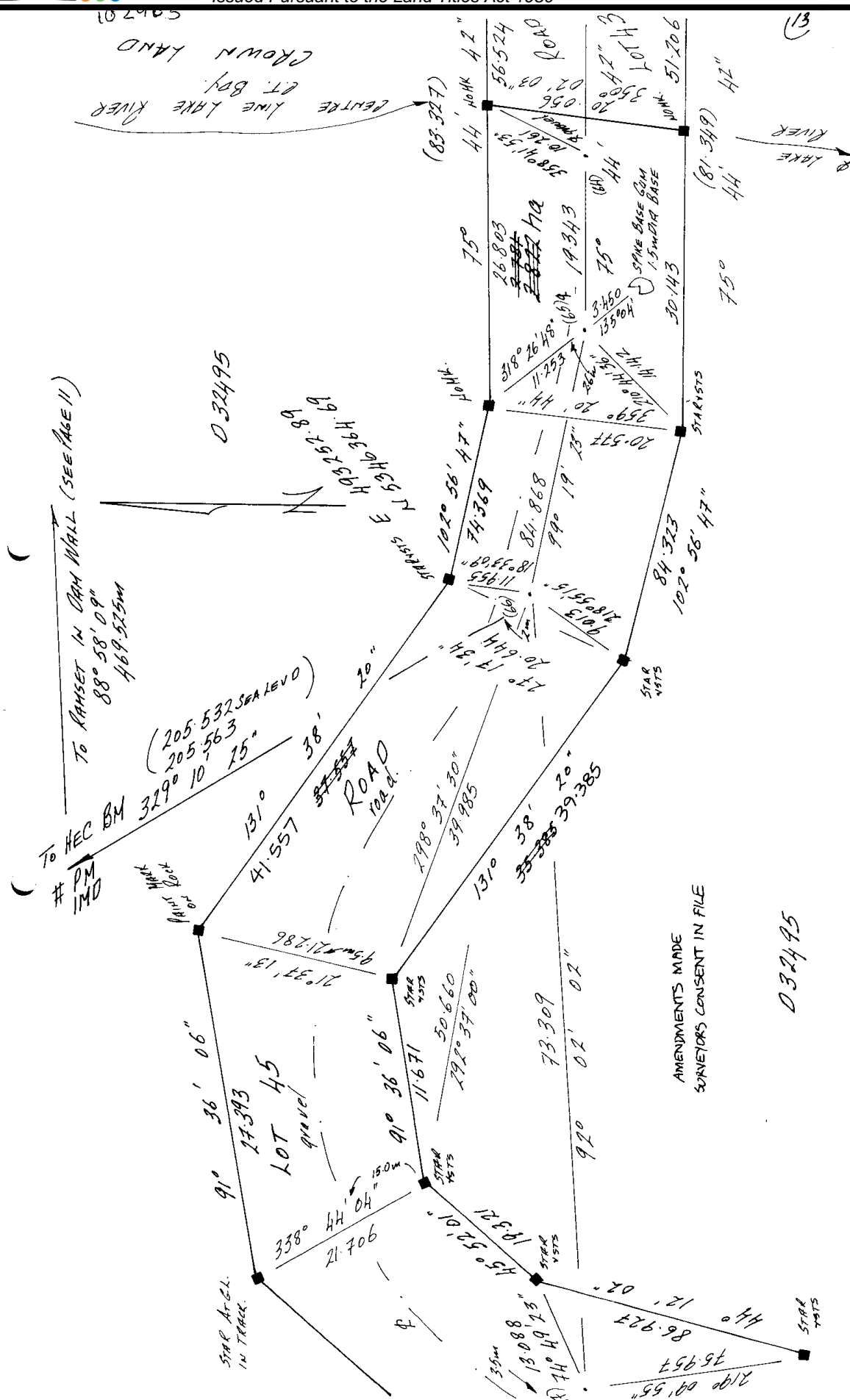


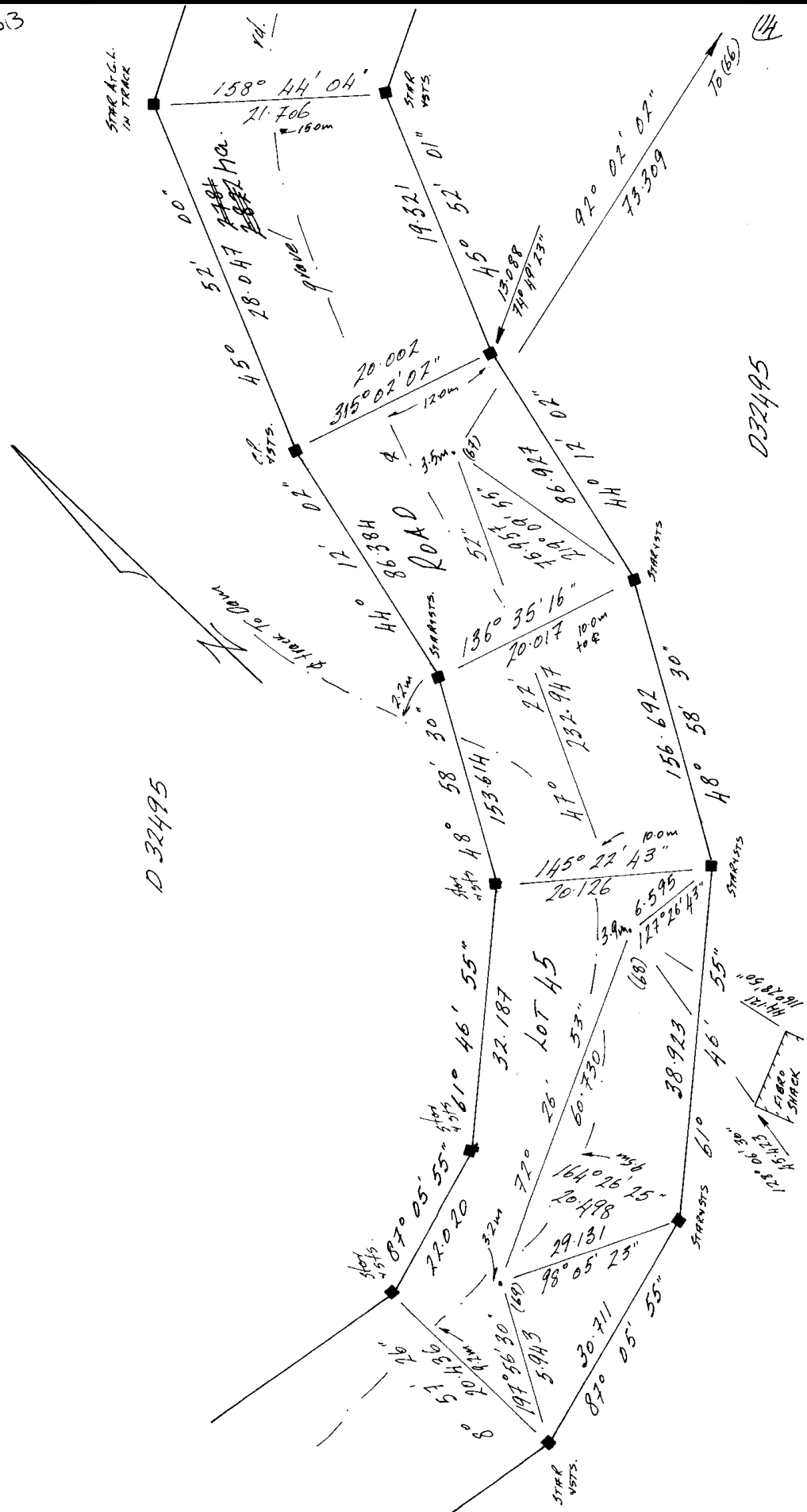














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