



PUBLIC NOTICE DETAILS

PLANNING APPLICATION DETAILS

Application Number:	DA 2025/42
Application Type:	Discretionary Development Application
Property Location:	4 Brandum Bay Drive, Brandum
Proposal:	Addition to Dwelling & Earthworks
Applicant:	EJ Ferrara
Advertising Commencement Date:	Wednesday 6 th August 2025
Representation Period Closing Date:	Wednesday 20 th August 2025
Responsible Officer:	Louisa Brown, Senior Planning Officer

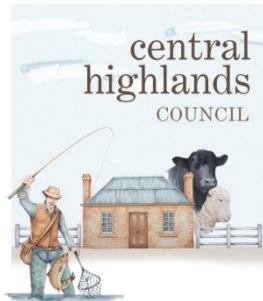
The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing development@centralhighlands.tas.gov.au. Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030
Email: development@centralhighlands.tas.gov.au

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.



Development & Environmental Services
19 Alexander Street
BOTHWELL TAS 7030

Phone: (03) 6259 5503
Email: development@centralhighlands.tas.gov.au
www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name	Elizabeth Juliet Ferrara		
Postal Address	1133 Port Sorell Road	Phone No:	+61 414 623 581
	Northdown TAS	7307	Fax No:
Email address	liz13@bigpond.com		
Owner/s Name (if not Applicant)			
Postal Address		Phone No:	
		Fax No:	
Email address:			

Description of proposed use and/or development:

Address of new use and development:	4 Brandum Bay Drive, Brandum Bay TAS 7307			
Certificate of Title No:	Volume No	138829/15	Lot No:	
Description of proposed use or development:	Addition to dwelling & earthworks.			
Current use of land and buildings:	Residential			
Proposed Material	What are the proposed external wall colours	Cream, as existing	What is the proposed roof colour	Blue, as existing
	What is the proposed new floor area m ² .	18m2	What is the estimated value of all the new work proposed:	\$35,000

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Eg. Are there any existing buildings on this title?
If yes, what is the main building used as?

Is proposed development to be staged:

Yes ☐

No ☐

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☐

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☒

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☐

Has a Certificate of Exemption been sought for these works?

Yes ☐

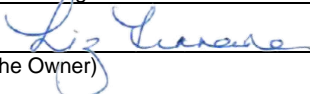
No ☐

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature


(if not the Owner)

Applicant Name (Please print)

Elizabeth Ferrara

Date

16/07/2025

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

✓

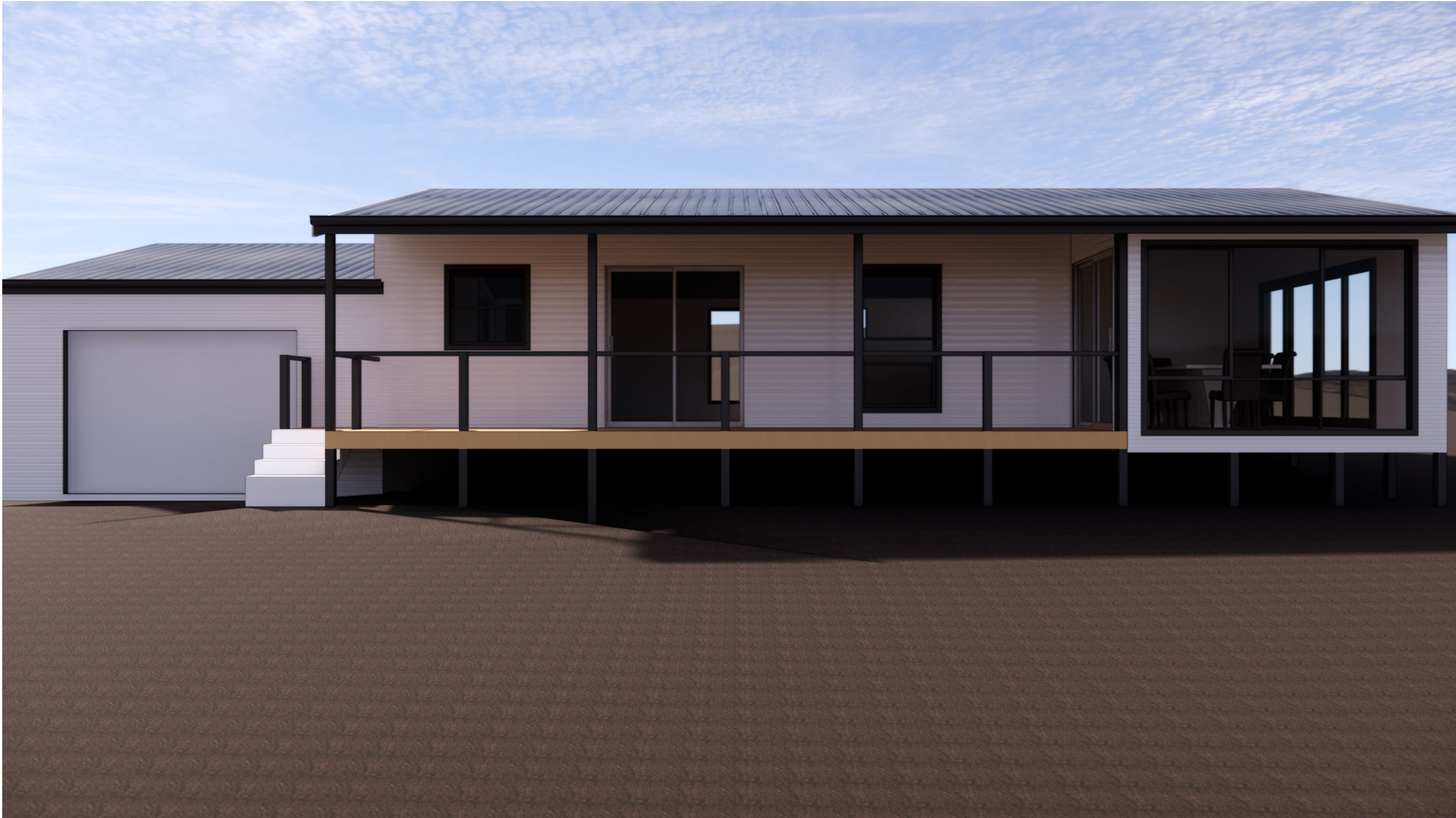
[illegible]

<p>Information</p> <p>If you provide an email address in this form then the Central Highlands Council (“the Council”) will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 (“the Act”).</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box</p>	<input type="checkbox"/>
<p>Heritage Tasmania</p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	
<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	
<p>Submission of Application</p> <p>Applications can be submitted in a number of ways as follows:</p> <ul style="list-style-type: none"> • Electronically: Email to development@centralhighlands.tas.gov.au • Post: 19 Alexander Street, BOTHWELL 7030 • In Person: Development & Environmental Services Office, 19 Alexander Street, Bothwell 7030 	


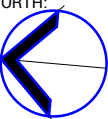
4 BRANDUM BAY DRIVE

BRANDUM



DRAWING SCHEDULE	
1.1	COVER SHEET & INDEX
1.1b	PERSPECTIVE
1.2	GENERAL NOTES
2.1	PROPOSED SITE PLAN
3.1	EXISTING & DEMOLITION PLAN
3.2	FLOOR PLAN & ROOF PLAN
4.1	ELEVATIONS & SECTION VIEWS
5.1	PLAN - D & W SCHEDULE
6.1	CONSTRUCTION DETAILS - SLAB & FRAMING
6.2	CONSTRUCTION DETAILS - WALL & ROOF DETAILS



GRAPHICAL PRESENTATION ONLY

P R O J E C T I O N	SHEET CONTENT: COVER SHEET & INDEX	SIGN OFF	CLIENT		GENERAL NOTES: ★ THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS. ★ FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE ★ UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK. ★ DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC. ★ REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.	 <small>Level 2, 420 Collins Street, Melbourne, VIC 3000 Phone: 61 3 8687 2118 Email: info@draftee.com.au DP-AD 45334 TAS 400648168 QLD 15127260</small>	NORTH: 		SCALE: 1 : 1	SHEET NUMBER:	JOB NUMBER:
	HOUSE TYPE: PROPOSED RENOVATION AND EXTENSION		I / WE: _____				DATE: 2023	1.1	23-0046		
	PROPERTY ADDRESS: 4 BRANDUM BAY DRIVE BRANDUM		CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.				DRAWN: ML			JOB ISSUE:	
	CLIENT: LIZ FERRARA		SIGNED: _____ DATE: _____				CHECKED: MS			C	
	SIGNED: _____ DATE: _____						REVISIONS		INITIALS		
				A 18.04.23 CONSTRUCTION PLANS ML							
				B 02.05.23 MARK UPS ML							
				C 03.05.23 FINAL AFC SET ML							



P R O J E C T	SHEET CONTENT: PERSPECTIVE		S I G N O F F	CLIENT		GENERAL NOTES:		<div><p>Level 2, 420 Collins Street, Melbourne, VIC 3000 Phone: 61 3 8687 2118 Email: info@draftee.com.au DP-AD 45334 TAS 400648168 QLD 15127260</p></div>	NORTH: 		SCALE: 1 : 1		SHEET NUMBER:		JOB NUMBER:	
				I / WE..... 		* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.			DATE: 2023						23-0046	
	HOUSE TYPE: PROPOSED RENOVATION AND EXTENSION			CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.		* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE			DRAWN: ML				1.1b		JOB ISSUE: C	
	PROPERTY ADDRESS: 4 BRANDUM BAY DRIVE BRANDUM					* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.			CHECKED: MS							
	CLIENT: LIZ FERRARA			SIGNED..... DATE		* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.										
				SIGNED..... DATE		* REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.										
R E V I S I O N S	ISSUE		DATE		REVISION DESCRIPTION				INITIALS							
	A		18.04.23		CONSTRUCTION PLANS				ML							
	B		02.05.23		MARK UPS				ML							
	C		03.05.23		FINAL AFC SET				ML							

GENERAL NOTES.
DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.

THE OWNER, BUILDER AND/OR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND ANY SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND RESCODE REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

ALL CONSTRUCTION DETAILS MUST COMPLY WITH THE NCC2019 - SECT 3 - ACCEPTED CONSTRUCTION AND ALL AUSTRALIAN STANDARDS WITHIN.

1. THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS ARE TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED I THE SOIL REPORT.

WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.

2. STORMWATER SHALL BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

3. SEWER OR SEPTIC SYSTEMS SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.

4. FOOTINGS ARE NOT TO ENCROACH OVER ANY TITLE BOUNDARIES AND/OR EASEMENT LINES.

5. FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEELWORK, BRICK CAVITY TIES, STEEL LINTELS ETC. THAT ARE IMBEDDED OR FIXED TO MASONARY BE PROTECTED IN ACCORDANCE WITH A.S. 3700-2011 (TABLE 2.2), HOT DIP GALVANIZED, STAINLESS STEEL OR CADMIUM COATED.

6. BUILDING SETBACKS ARE FROM TITLE LINE (NOT FENCELINE) REFER TITLE RE-ESTABLISHMENT PLAN FOR CORRECT OFF SETS IN RELATION TO FENCELINES

7. ALL WET AREAS ARE TO COMPLY WITH B.C.A. 3.8.1 OR A.S. 3740-2010. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO ANY SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.

8. RISERS -(where applicable) 190MM MAXIMUM, 115MM MINIMUM. GOING -355MM MAXIMUM, 240MM MINIMUM. RISERS AND TREADS ARE TO BE CONSTANT IN SIZE THRU-OUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSINGS.
ENSURE A MAXIMUM GAP BETWEEN RISERS IS NOT TO EXCEED 125MM OR USE CLOSED RISERS.PROVIDE CONTINUOUS HANDRAILING 1000MM MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR GREATER ABOVE GROUND LEVEL.
HANDRAILS ARE TO BE A MINIMUM OF 865MM ABOVE STAIR NOSINGS AND LANDINGS. MAXIMUM GAP BETWEEN BALUSTERS SHALL BE 125MM.

SPECIFICATION NOTES:

BRICKWORK: PART 3.3

PROVIDE WALL-TIES TO BRICKWORK AT A MAXIMUM OF 600MM IN EACH DIRECTION AND WITHIN 300MM OF ANY ARTICULATION JOINTS. FOR PERPS AND BEDS JOINTS SPACINGS (REFER TO BCA PART 3.3.1)

ALL BRICKWORK SHOULD BE INSTALLED IN ACCORDANCE WITH AS3700-2011

ALL BRICKWORK AND ARTICULATION JOINTS MUST BE CONSTRUCTED AND COMPLY WITH AS3700 & AS4773.1. MASONRY CODES IN BUILDINGS.

TIMBER FRAMING:

ALL TIMBER FRAMING THRU-OUT IS TO BE IN ACCORDANCE WITH AS1684.2-2010 AND ALSO READ IN CONJUNCTION WITH THE ENGINEERS DETAILS AND DRAWINGS.

FLOORING & FOOTINGS: PART 3.2

FINISHED FLOOR LEVELS ARE NOMINAL ONLY AND SHOULD BE CONFIRMED PRIOR TO START OF WORK.

READ IN ACCORDANCE WITH THE SOIL REPORT REQUIREMENTS. READ IN CONJUNCTION WITH THE ENGINEERS DETAILS FOR ALL FOOTING SIZE & DETAILS.

PLEASE NOTE MINIMUM FOUNDING DEPTH TO BE DETERMINED AS "NOTED" IN THE SOIL REPORT

WALL LINTELS &
SUPPORT STUDS THRU-OUT:

FOR ALL EXTERNAL PERIMETER LOAD-BEARING LINTELS AND THEIR SUPPORTING STUDS REFER TO THE ENGINEERS DETAILS AND DRAWINGS AND TO GENERAL SPECIFICATIONS

INTERNAL DOORS:

ALL INTERNAL DOORS ARE TO BE 2040mm HIGH UNLESS NOTED OTHERWISE ON THE PLAN.

WC DOORS:

HINGED DOORS THAT OPEN INWARDS TOWARDS THE PAN BUT THE EDGE OF THE DOOR IS A MINIMUM OF 1200MM AWAY FROM THE PAN AT ITS NEAREST POINT, MUST HAVE DEMOUNTABLE HINGES TO ALLOW EASY REMOVAL OF THE DOOR FROM THE OUTSIDE THE WC COMPARTMENT.

CLADDING:

ALL EXTERNAL CLADDING BOARD OR SHEET TO BE IN ACCORDANCE WITH PART 3.5.4

ROOFING: PART 3.5

METAL ROOF OVER ROOF BATTENS AT 330 CTRS. TYPICAL THRU-OUT UNLESS NOTED OTHERWISE.

METAL ROOF ON EITHER TIMBER OR METAL BATTENS TO BE USED & FIXED IN ACCORDANCE WITH THE MANUFACTURERS DETAILS & SPECIFICATIONS & PROVIDE APPROVED CAPPING & FLASHING THRU-OUT.

SELECTED TIMBER FRAMED ROOF TRUSS AT 600mm MAX CTRS. TO MANUFACTURERS SPECIFICAIONS UNESS NOTED OTHERWISE.

PLASTERBOARD LINED CEILINGS THRU-OUT.

SELECTED PROFILE METAL EAVES GUTTER & FASCIA TO THE PERIMETER OF THE ROOF AREA.

ALSO READ IN CONJUNCTION WITH ANY ENGINEERS DETAILS & DRAWINGS FOR ANY ROOF BEAMS, LINTELS, ETC.

LINTEL NOTES:

BUILDER IS TO NOTE THAT LINTELS SELECTED BY THE ENGINEER ARE DESIGNED TO CARRY ONLY STANDARD TILE ROOFING & TRUSS LOADS WHERE ARE AT 600mm MAXIMUM CTRS. IF ANY GIRDER TRUSSES ARE LOCATED DIRECTLY ON ANY LINTELS.

TRUSS MANUFACTURER AND / OR BUILDER IS TO REFER TO THE ENGINEER TO CONFIRM IF LINTEL & SUPPORTING STUDS ARE ADEQATE.

ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER NOMINAL SIZES INDICATED ON THESE PLANS.

WINDOWS:

ALL GLAZING SHALL CONFORM TO AS1288-2006.
WINDOW SIZES SHOWN ARE NOMINAL DEPENDING ON THE WINDOW MANUFACTURERS CLOSEST STANDARD SPECIFICAIONS.

1. ALL GLAZING IS TO BE IN ACCORDANCE WITH AS1228-2006.
2. READ IN CONJUNCTION WITH THE WINDOW SCHEDULE & ELEVATIONS.
3. ALL EXTERNAL DOORS ARE TO FITTED WITH WEATHER STRIPS.
4. REFER TO WINDOW SCHEDULE FOR OPENING STYLES

NOTE: THESE HEIGHTS MAY VARY SLIGHTLY ACCORDING TO DIFFERENCES IN BRICK SIZES.

WALLING: TO AS1684.2 2010

90 X 35 MGP10 COMMON STUDS
70 X 35 F5 NOGGINGS
2 (90 X 35) MGP10 TOP PLATES EXTERNAL WALL
2 (90 X 45) MGP12 TOP PLATES - INTERNAL LOAD BEARING WALLS
2 (90 X 45) MGP10 JAMB STUDS
3 (90 X 45) MGP10 JAMB STUDS TO GIRDER TRUSS

LININGS:

10mm PLASTERBOARD TO ALL INTERNAL WALLS.
10mm PLASTERBOARD TO CEILINGS.
SELECTED WATER RESISTANT SUB-STRATE & TILING TO WET AREAS.

ALL PLASTERBOARD SHOULD BE INSTALLED IN ACCORDANCE WITH AS2589-2007

HEATING & COOLING: PART 3.12

ALL HEATING & COOLING UNITS, SIZES, TYPES & LOCATIONS ARE TO BE CONFIRMED BETWEEN THE BUILDER & THE SUPPLIER.

ALL HEATING & COOLING DUCTS & VENT LOCATIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF BUILDING TO DETERMINE IF ANY ADDITIONAL RISER DUCTS ARE REQUIRED.

ALL HEATING & COOLING POINTS LOCATIONS, MAY VARY FROM PLAN TO PLAN.

GEOTECHNICAL:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH A GEOTECHNICAL REPORT. IT IS THE BUILDERS'S RESPONSIBILITY TO OBTAIN SUCH REPORTS PRIOR TO COMMENCEMENT OF WORKS.

FULL HEIGHT CONTROL JOINTS (FOOTING TO EAVES) AT 5m MAX CTRS UNLESS NOTED OTHERWISE - REFER TO ARTICULATION JOINT PLAN.

REFER TO SOIL REPORT.

SAFETY:

ELECTRICAL REQUIREMENTS
THE PRESCRIBED STANDARDS IN RELATION TO THE ELECTRICAL REQUIREMENTS OF A ROOMING HOUSE ARE THAT ALL POWER OUTLETS AND LIGHTING CIRCUITS OF OR IN A ROOMING HOUSE ARE CONNECTED TO

(A) A SWITCHBOARD TYPE CIRCUIT BREAKER THAT COMPLIES WITH AS/NZS 3000 ELECTRICAL INSTALLATIONS, AS PUBLISHED FROM TIME TO TTIME; AND

(B) A SWITCHBOARD TYPE RESIDUAL CURRENT DEVICE THAT COMPLIES WITH - (i) AS/NZS 3190 APPROVAL AND TEST SPECIFICATION - RESIDUAL CURRENT DEVICES (CURRENT-OPERATED EARTH-LEAKAGE DEVICES), AS PUBLISHED FROM TIME TO TIME; OR

(ii) AS/NZS 61008.1 RESIDUAL CURRENT OPERATED CIRCUITBREAKERS WITHOUT INTEGRAL OVERCURRENT PROTECTION FOR HOUSEHOLD AND SIMILAR USES (RCCBs);
PART 1: GENERAL RULES, AS PUBLISHED FROM TIME TO TIME; OR R.15
PART 2: STANDARDS

RESIDENTIAL TENANCIES (ROOMING HOUSE STANDARDS)
REGULATIONS 2012 S.R. NO. 17/2012 8

(iii) AS/NZS 61009.1 RESIDUAL CURRENT OPERATED CIRCUITBREAKERS WITH INTEGRAL

6 STAR ENERGY UPGRADE:

1. ALL EXTERNAL GAPS & CRACKS TO WINDOW/DOOR FRAMES SEALED ON CONSTRUCTION.
2. SISALATION APPLIED TO ALL WALLS, & GAPS/JOINS SEALED.
3. SELF CLOSING EXHAUST FANS THROUGHOUT OR 'DRAFT STOPPER' SHROUDS OVER EXHAUST FANS.
4. WEATHER STRIPS/SEALS TO ALL EXTERNAL HINGED DOORS AND INTERNAL GARAGE ACCESS DOOR.
5. ALL CHIMNEYS FITTED WITH DAMPERS.
6. ALL DOWNLIGHTS OF "CLOSED-RING" TYPE.
7. INSULATION LEVELS AS DETAILED IN ATTACHED ENERGY

LINTEL SCHEDULE

MEMBER SIZE	UPPER FLOOR SINGLE STORY	LOWER FLOOR
	MAX SIZE OF OPENING (mm)	MAX SIZE OF OPENING (mm)
90x45 F17 KDHW	1000	800
140x45 F17 KDHW	1400	1200
190x45 F17 KDHW	1900	1600
240x45 F17 KDHW	2400	2000
290x45 F17 KDHW	2900	2400
2/290x35 F17 KDHW	3600	3000
90x45 F17 KDHW	1000 FRONT DOOR	800
90x45 F17 KDHW	900 GARAGE REAR DOOR	800

SOIL CLASSIFICATION:

refer to soil report attached	
REPORT NO:	-
BY:	-
DATE:	
B.A.L.:	
WIND SPEED:	

WALLING FRAME CENTRES

EXTERNAL STUDS	450mm
INTERNAL STUDS	450mm

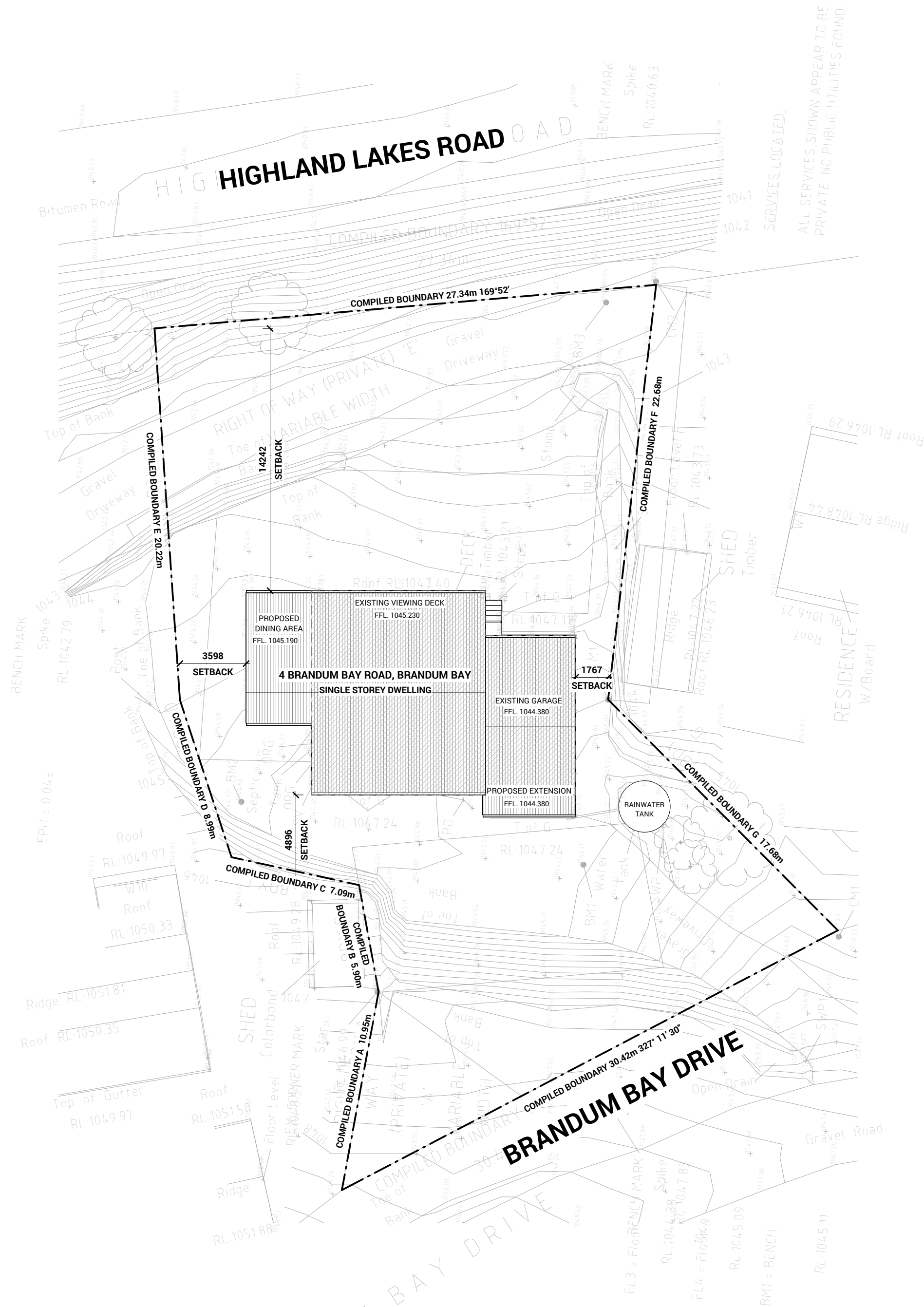
ENERGY REPORT - TBA (noted)







































INSULATION TO BE INSTALLED TO THE FOLLOWING AREAS:	
CEILINGS	R 2.5
WALLS	R 1.5 + SISALATION
REQUIREMENTS ARE AS PER STANDARD INCLUSION PENDING ENERGY REPORT - REF NO#	




C O N T E N T S	SHEET CONTENT: GENERAL NOTES	S I G N O F F	CLIENT	GENERAL NOTES:	 Level 2, 420 Collins Street, Melbourne, VIC 3000 Phone: 61 3 6687 2118 Email: info@draftee.com.au DP-AD 45334 TAS 400648168 QLD 15127260	NORTH: 	SCALE: 1 : 1 DATE: 2023	SHEET NUMBER: 1.2	JOB NUMBER: 23-0046
	HOUSE TYPE: PROPOSED RENOVATION AND EXTENSION		I / WE: _____	* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.		DRAWN: ML CHECKED: MS	JOB ISSUE: C		
	PROPERTY ADDRESS: 4 BRANDUM BAY DRIVE BRANDUM		CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.	* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE					
	CLIENT: LIZ FERRARA		SIGNED: _____ DATE: _____ SIGNED: _____ DATE: _____	* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK. * DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC. * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.		REVISIONS A 18.04.23 CONSTRUCTION PLANS ML B 02.05.23 MARK UPS ML C 03.05.23 FINAL AFC SET ML			

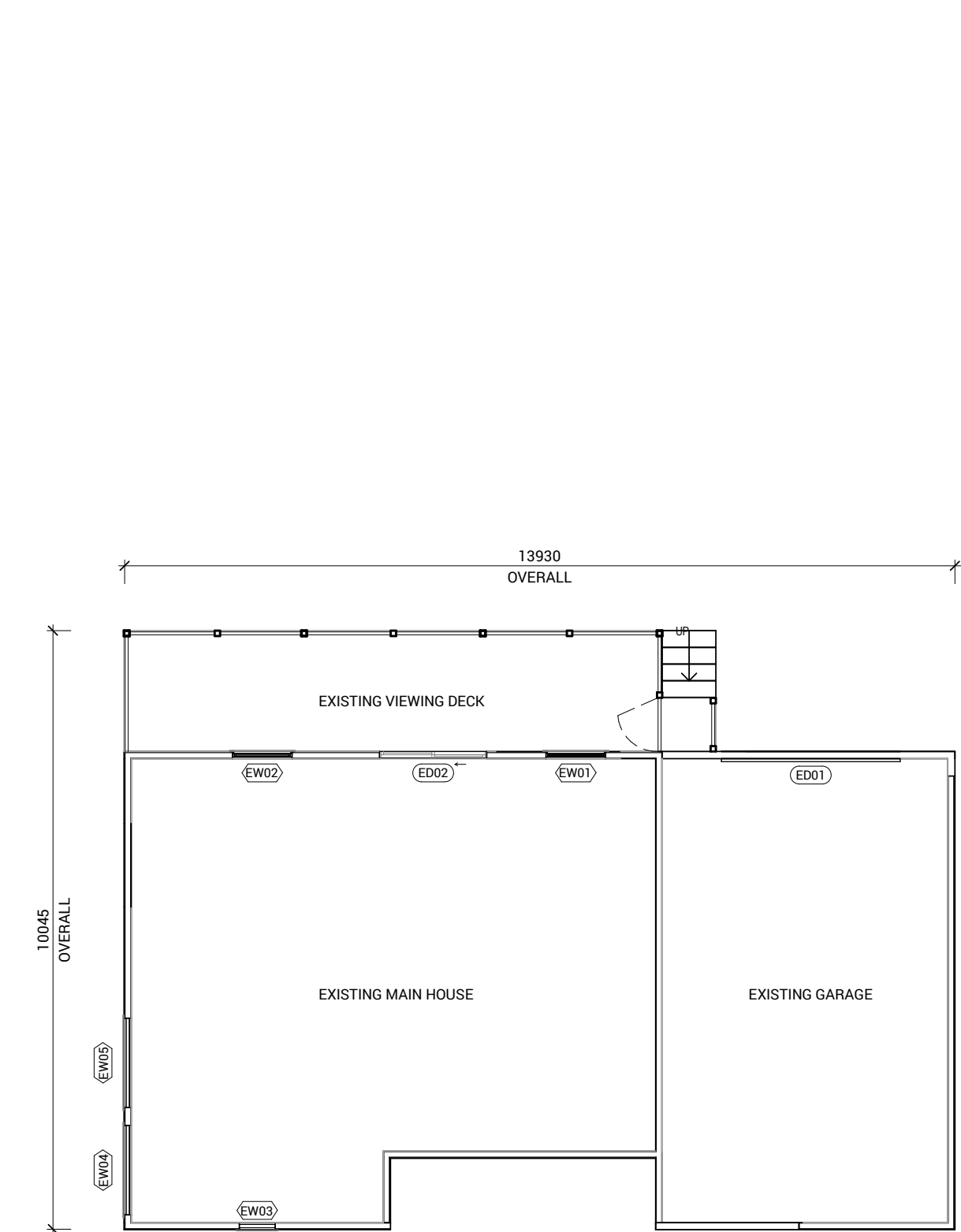
<p>NOTE: SITE SCRAPE</p> <p>SCRAPE SITE TO REMOVE SURFACE VEGETATION AND PROVIDE LEVEL BUILDING PLATFORM. PROVIDE ADDITIONAL CUT TO GARAGE AREA TO ACCOMMODATE 86mm SLAB STEP DOWN.</p>
<p>NOTE: AUTHORITY APPROVAL</p> <p>SITING OF PROPOSED RESIDENCE IS SUBJECT TO APPROVAL BY DEVELOPER AND RELEVANT LOCAL AUTHORITY.</p>
<p>NOTE: BACK FILL</p> <p>SITE TO BE BACK FILLED TO REBATE HEIGHT & FALL AWAY FROM DWELLING.</p>
<p>NOTE: DRIVEWAY GRADIENT</p> <p>DRIVEWAY TO BE GRADED TO ENSURE MAXIMUM 1:6 GRADIENT FROM Crossover TO GARAGE FLOOR.</p>
<p>NOTE: TERMITE PROTECTION</p> <p>PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1</p>
<p>NOTE: DRAINAGE REQUIREMENTS</p> <ol style="list-style-type: none">1. SITE PLUMBING & DRAINAGE SHALL COMPLY WITH AS 2870-2011 RESIDENTIAL SLABS & FOOTINGS, NCC312 DRAINAGE AND AS3500 NATIONAL PLUMBING AND DRAINAGE CODE.2. SURFACE WILL BE GRADED AWAY FROM FOOTING (MINIMUM FALL 1:20).3. TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED UPON COMPLETION OF THE ROOF COVER.4. BASE OF CUT GRADED TO SILT TRAP(S) PROTECTED BY GRAVEL FILTERS &/OR SPOON DRAINS AS REQUIRED TO REMOVE SURFACE WATER AWAY FROM FOOTINGS AND TO PREVENT ON SITE PONDING.5. DESIGN OF SITE & STORMWATER DRAINAGE IS AT THE DISCRETION OF THE DRAINAGE CONTRACTOR.6. SEWER PIPE AND DRAINAGE PIPE DIMENSIONS AND OFFSETS HAVE BEEN COPIED FROM RELEVANT AUTHORITIES OF THESE ASSESTS. ALL MEASUREMENT SHOWN ARE APPROXIMATE.
<p>NOTE: BOUNDARY PEGS</p> <p>TO BE LOCATED PRIOR TO COMMENCEMENT OF WORKS.</p>
<p>NOTE: DOWNPIPES</p> <ol style="list-style-type: none">1. 100x75mm RECTANGULAR DOWNPIPES THROUGHOUT.2. FLOW: L/S 10.79833. CATCHMENT IS 47m² (AS 3500.3)4. TO BE CONNECTED TO THE STORMWATER LINE AND LEGAL POINT OF DISCHARGE (LPD)
<p>NOTE: BOUNDARY WALLS</p> <ol style="list-style-type: none">1. WALL ON BOUNDARY CAIULATION : MAX ALLOWABLE TO BE BUILT IS 10m + 25% OF REMAINING LENGTH OF BOUNDARY.



LEGEND	
	- GAS METER
	- HOT WATER SYSTEM
	- METER BOX
	- TITLE PEG
	- SEWER VENT / I.S.
	- TELSTRA PIT
	- TREE
	- STREET SIGN
	- SEWER MANHOLE
	- ELECT. PIT
	- POWER AND/OR STREET LIGHT POLE
	- SIDE ENTRY PIT
	- WATER VALVE
	- S/W PROPERTY INLET
	- WATER METER (APPROXIMATE)
	- GAS BOTTLES LOCATION (APPROXIMATE)
	- SEWER POINT CONNECTION
	- LEGAL POINT OF DISCHARGE CONNECTION
	- SECLUDED PRIVATE OPEN SPACE
	- RECREATIONAL PRIVATE OPEN SPACE
	- TELECOMMUNICATION SERVICE
	- OVERHEAD/UNDERGROUND POWER
	- WATER VALVE/FIRE HYDRANT
	- STORM WATER PIT
	- TBM
	- HABITABLE ROOM WINDOW
	- SIGN STAMPED ON CONCRETE KERB
	- NON-HABITABLE ROOM WINDOW
	- POWERLINES
	- PROPOSED FENCE
	- EXISTING FENCE
	- GAS PIPE (100kPa - 515kPa)
	- SEWER PIPE
	- STORM WATER PIPE
	- EASEMENT
	- SILT PIT
	- AG DRAIN
	- RETAINING WALL

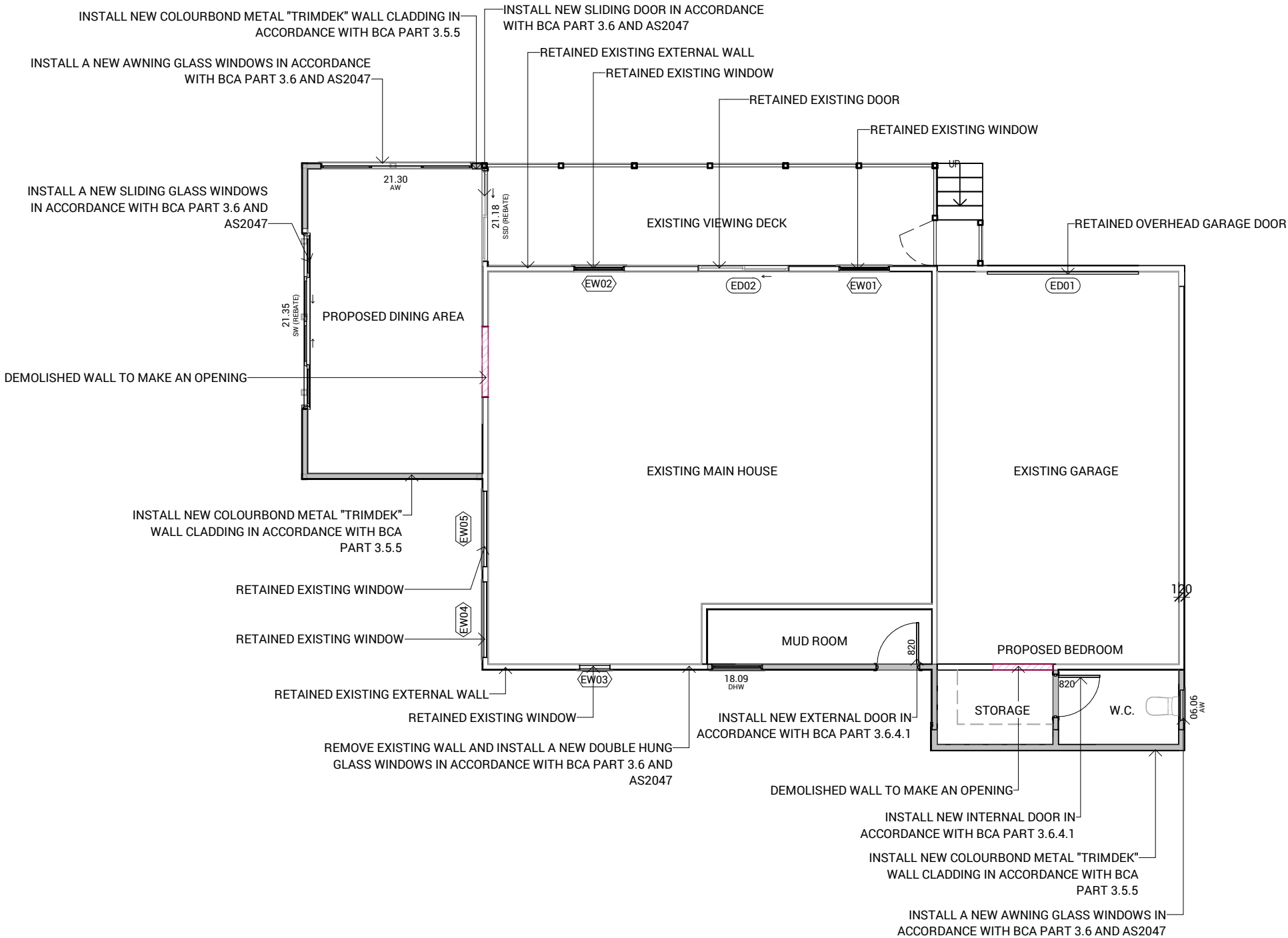
PROPOSED SITE PLAN
SCALE 1 : 200

PROJECT	SHEET CONTENT: PROPOSED SITE PLAN		SIGN OFF	CLIENT		GENERAL NOTES:		<div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div>drafee</div> <div>Level 2, 420 Collins Street, Melbourne, VIC 3000</div> <div>Phone: 01 3 8687 2118</div> <div>Email: info@drafee.com.au</div> <div>DP-AD 45334</div> <div>TAS 400648168</div> <div>QLD 15127260</div>	NORTH: 		SCALE: As indicated		SHEET NUMBER:		JOB NUMBER:	
	HOUSE TYPE: PROPOSED RENOVATION AND EXTENSION			I / WE..... 		* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.			DATE: 2023		2.1		23-0046			
	PROPERTY ADDRESS: 4 BRANDUM BAY DRIVE BRANDUM			CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.		* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE			DRAWN: ML				JOB ISSUE: C			
	CLIENT: LIZ FERRARA			SIGNED..... DATE.....		* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.			CHECKED: MS							
				SIGNED..... DATE.....		* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.			REVISIONS		ISSUE		DATE		REVISION DESCRIPTION	
				* REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.		A		18.04.23		CONSTRUCTION PLANS		ML				
						B		02.05.23		MARK UPS		ML				
						C		03.05.23		FINAL AFC SET		ML				



EXISTING FLOOR PLAN
SCALE 1 : 100

- LEGEND:
- NEW WALL:
- 120MM NEW COLOURBOND METAL "TRIMDEK" WALL CLADDING (EXTERNAL)
 - 110MM TIMBER STUD WALL (INTERNAL)
- EXISTING WALL:
- RETAINED 120MM EXTERNAL WALL
 - RETAINED 110MM TIMBER STUD WALL (INTERNAL)
 - DEMOLISHED EXISTING WALLS (EXTERNAL AND INTERNAL)
 - REMOVE EXISTING DOOR OR WINDOW OR DEMOLISHED EXISTING WALLS & PATCHED UP WALL TO MAKE GOOD
- EW RETAINED EXISTING WINDOW
- ED RETAINED EXISTING DOOR



DEMOLITION & REFRUBISHMENT PLAN
SCALE 1 : 100

PROPOSED

SHEET CONTENT:
EXISTING & DEMOLITION PLAN

HOUSE TYPE:
PROPOSED RENOVATION AND EXTENSION

PROPERTY ADDRESS:
4 BRANDUM BAY DRIVE
BRANDUM

CLIENT:
LIZ FERRARA

SIGN OFF

CLIENT

I / WE

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED DATE

SIGNED DATE

GENERAL NOTES:

* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.

* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE

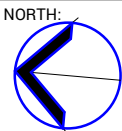
* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.

* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.

* REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.



Level 2, 420 Collins Street, Melbourne, VIC 3000
Phone: 61 3 8687 2118
Email: info@draftee.com.au
DP-AD 45334
TAS 400648168
QLD 15127260



SCALE: 1 : 100

DATE: 2023

DRAWN: ML

CHECKED: MS

SHEET NUMBER:

3.1

JOB NUMBER:

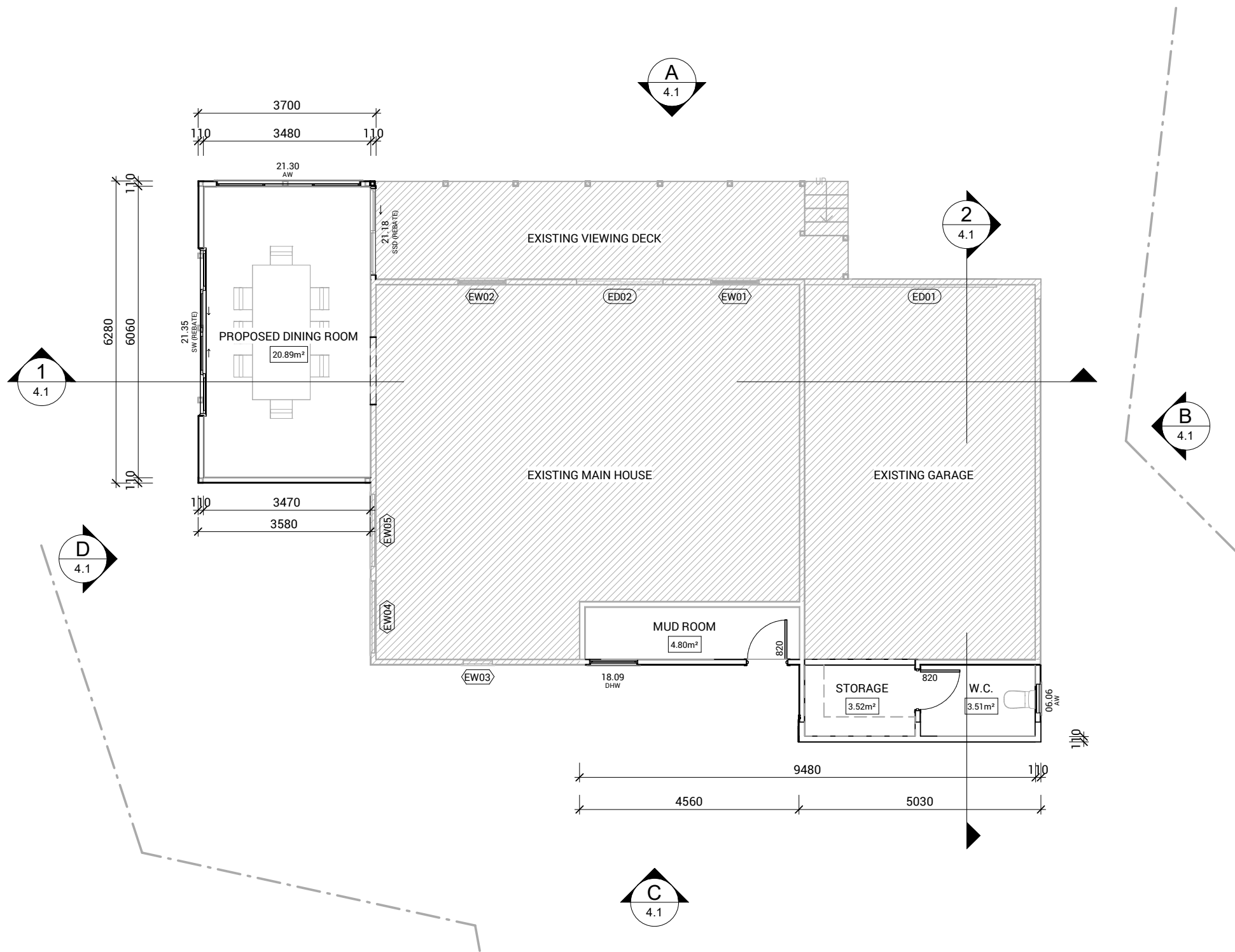
23-0046

JOB ISSUE:

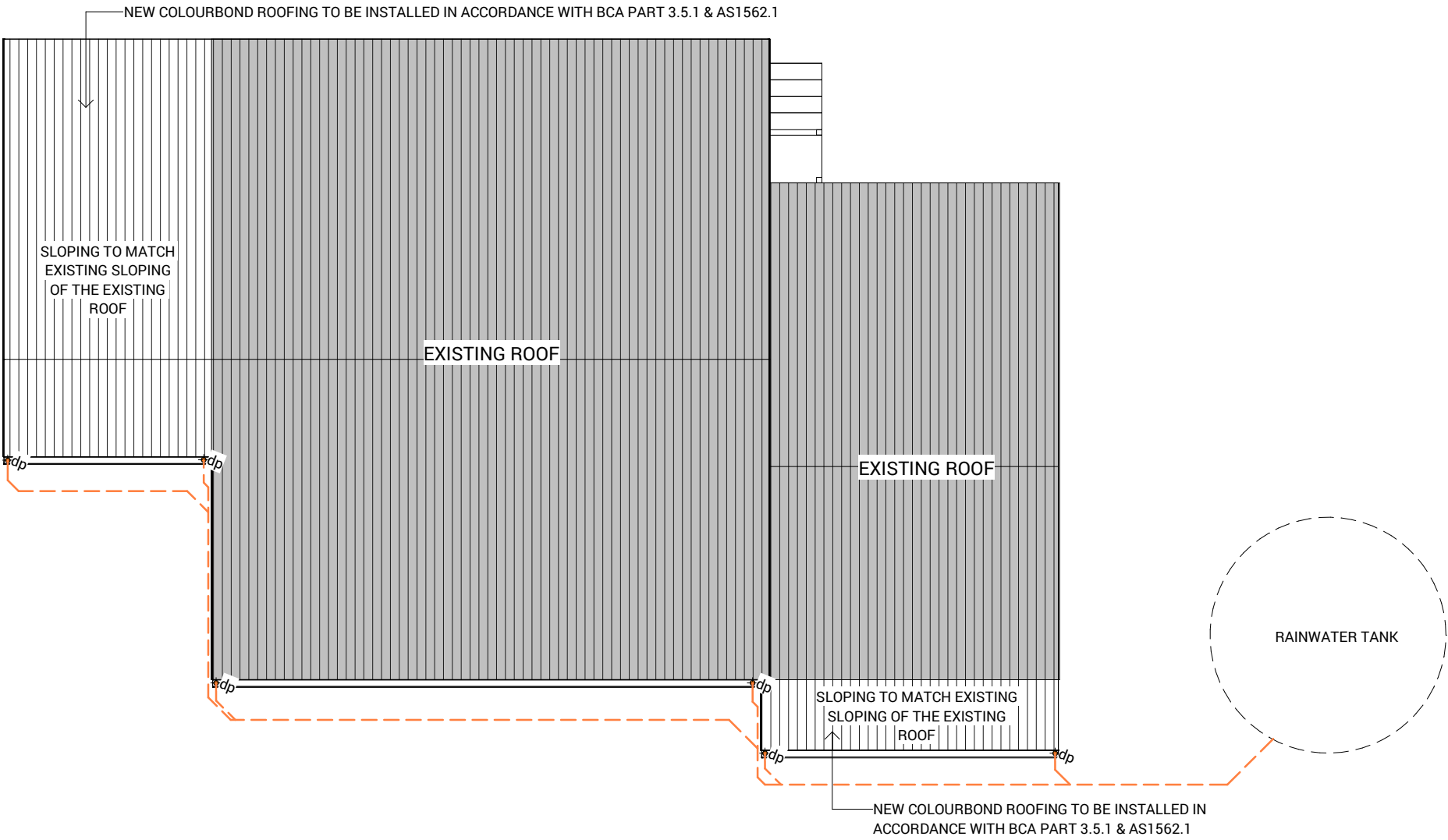
C

REVISIONS


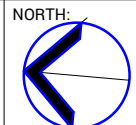
ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	18.04.23	CONSTRUCTION PLANS	ML
B	02.05.23	MARK UPS	ML
C	03.05.23	FINAL AFC SET	ML



PROPOSED FLOOR PLAN
SCALE 1 : 100



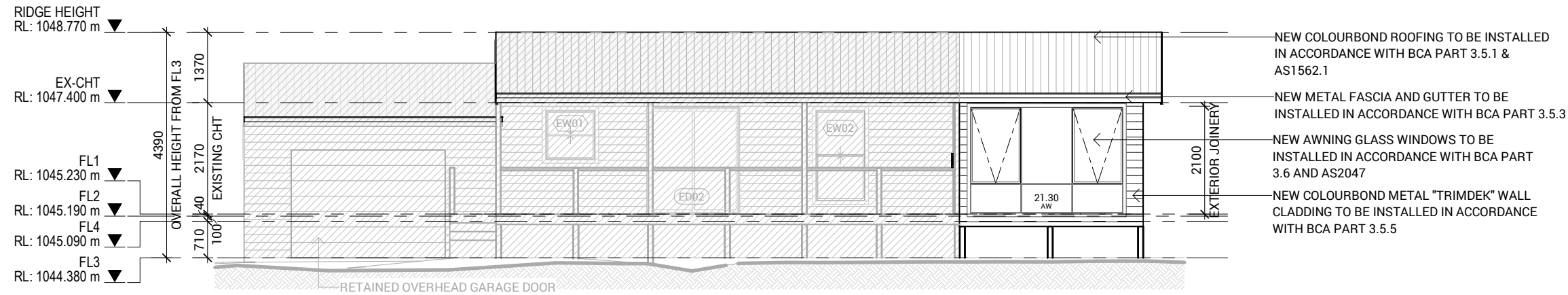
PROPOSED ROOFING AND DRAINAGE PLAN
SCALE 1 : 100

P R O J E C T	SHEET CONTENT: FLOOR PLAN & ROOF PLAN		S I G N O F F	CLIENT		GENERAL NOTES:		 Level 2, 420 Collins Street, Melbourne, VIC 3000 Phone: 61 3 6687 2118 Email: info@draftee.com.au DP-AD 45334 TAS 400648168 QLD 15127260	NORTH: 		SCALE: 1 : 100	SHEET NUMBER:	JOB NUMBER:
	HOUSE TYPE: PROPOSED RENOVATION AND EXTENSION			I / WE _____		* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.			DATE: 2023	3.2	C	23-0046	
	PROPERTY ADDRESS: 4 BRANDUM BAY DRIVE BRANDUM			CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.		* FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE			DRAWN: ML				
	CLIENT: LIZ FERRARA			SIGNED _____ DATE _____		* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.			CHECKED: MS				
				SIGNED _____ DATE _____		* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.							
						* REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.							

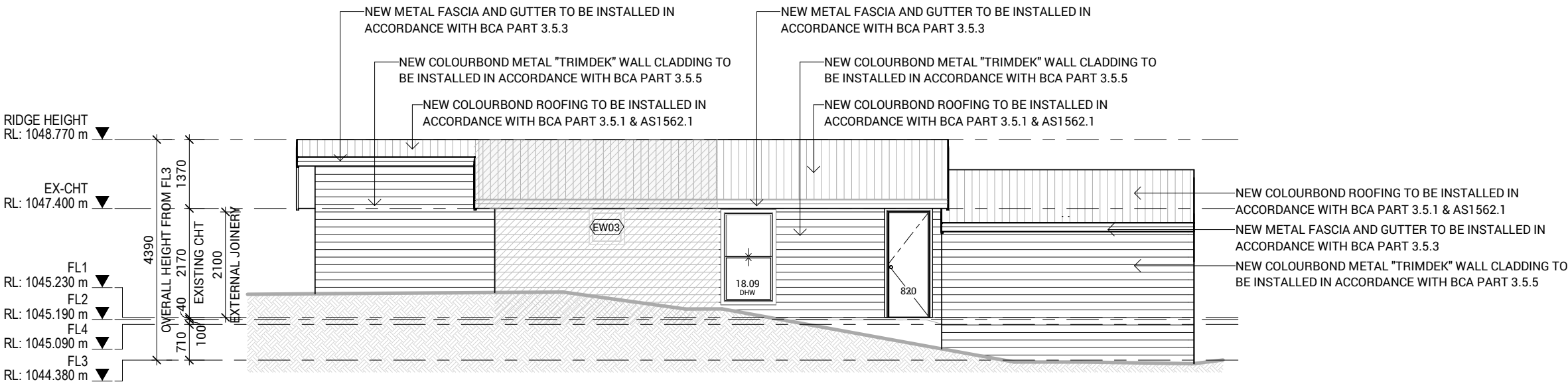
NOTE: DOOR
DOORS - INSTALLED IN ACCORDANCE WITH
PART 3.6.4.1

NOTE: WINDOW
WINDOW - FLASHED IN ACCORDANCE WITH
PART 3.5.4.6

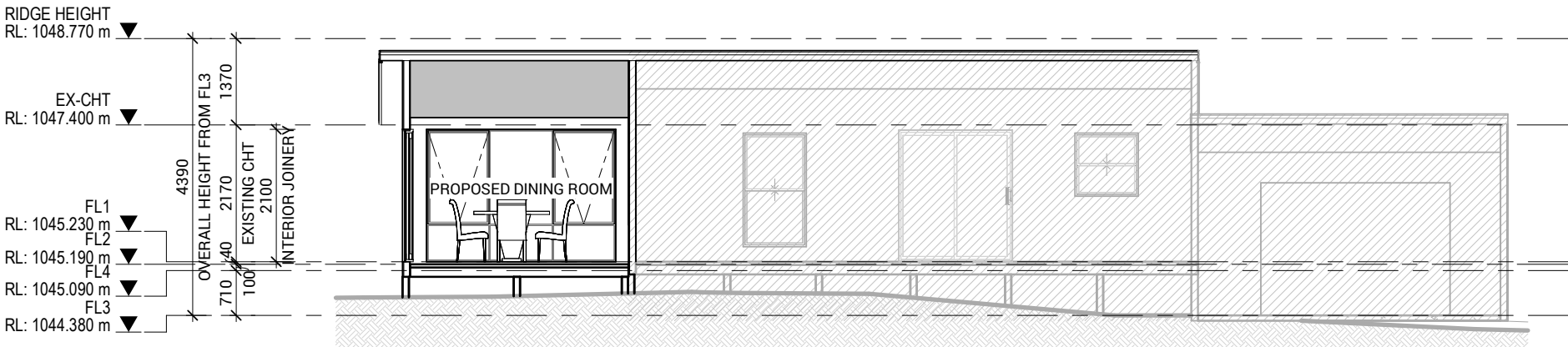
NOTE: TIMBER POST
F14 HARDWOOD POSTS H4



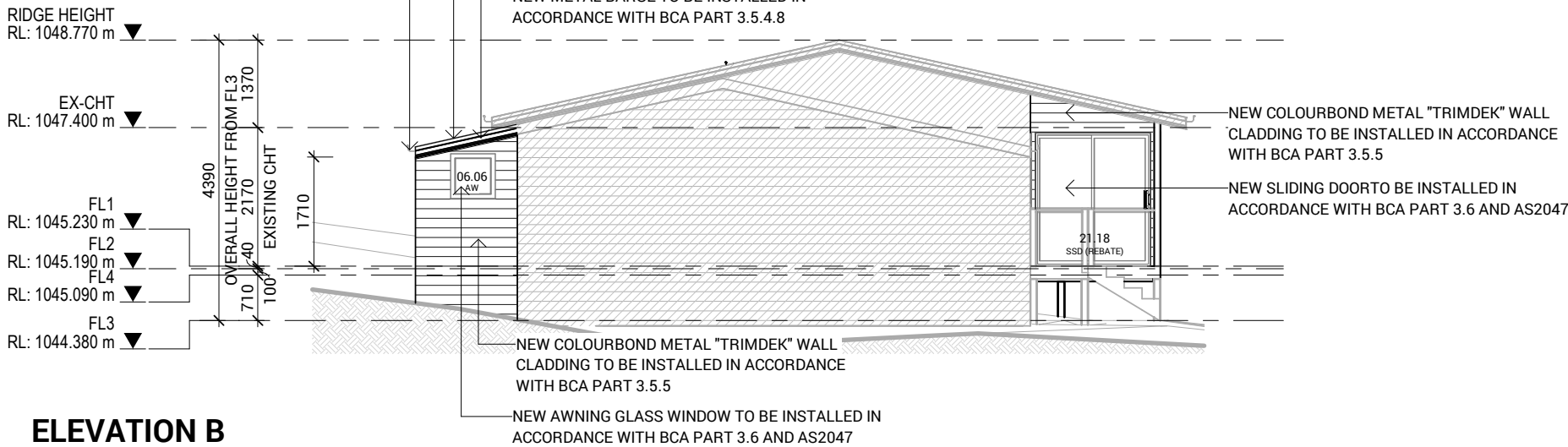
ELEVATION A
SCALE 1 : 100



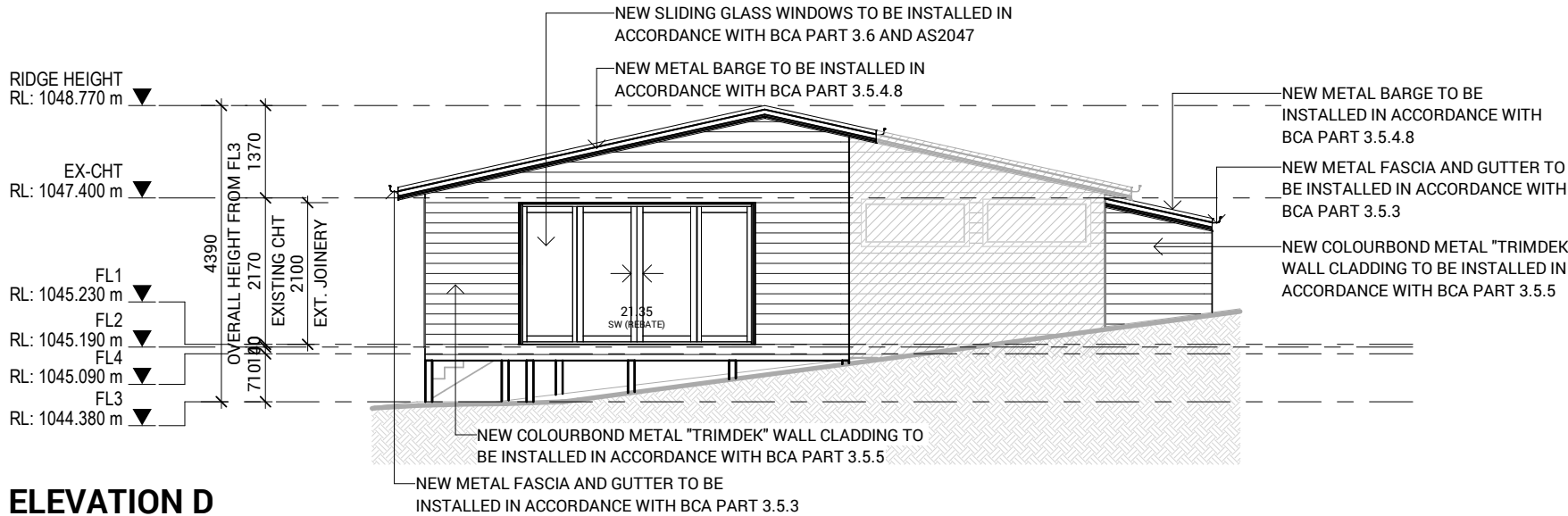
ELEVATION C
SCALE 1 : 100



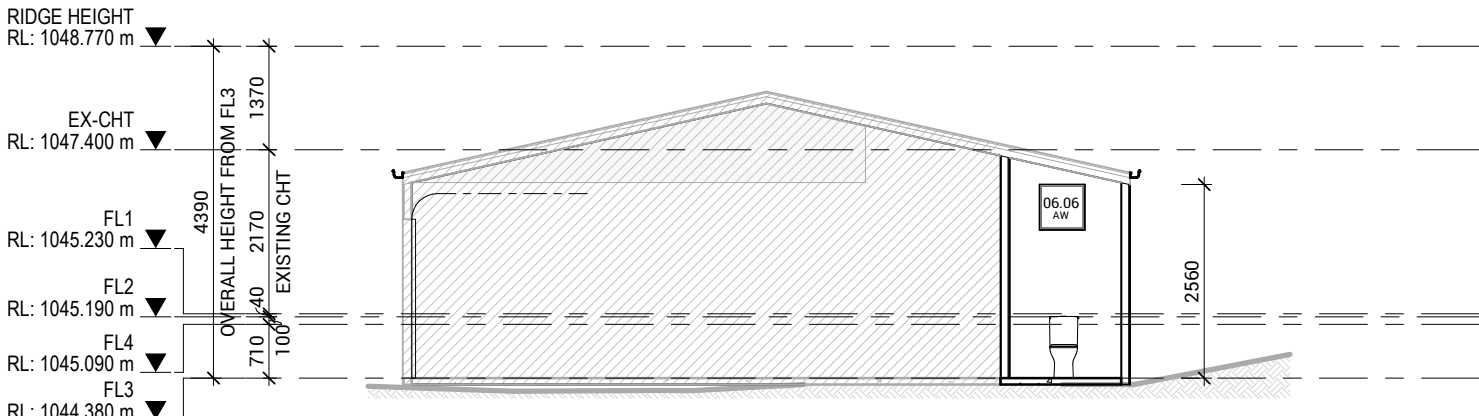
SECTION 1
SCALE 1 : 100



ELEVATION B
SCALE 1 : 100



ELEVATION D
SCALE 1 : 100



SECTION 2
SCALE 1 : 100

SHEET CONTENT:
ELEVATIONS & SECTION VIEWS

HOUSE TYPE:
PROPOSED RENOVATION AND EXTENSION

PROPERTY ADDRESS:
4 BRANDUM BAY DRIVE
BRANDUM

CLIENT:
LIZ FERRARA

CLIENT

I / WE

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND
AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED DATE

SIGNED DATE

GENERAL NOTES:

★ THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL
LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.

★ FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE

★ UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL
BRICK VENER WALLS ARE 240mm THICK.

★ DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS,
PLASTERBOARD ETC.

★ REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.

drafee

Level 2, 420 Collins Street, Melbourne, VIC 3000

Phone: 61 3 6687 2118

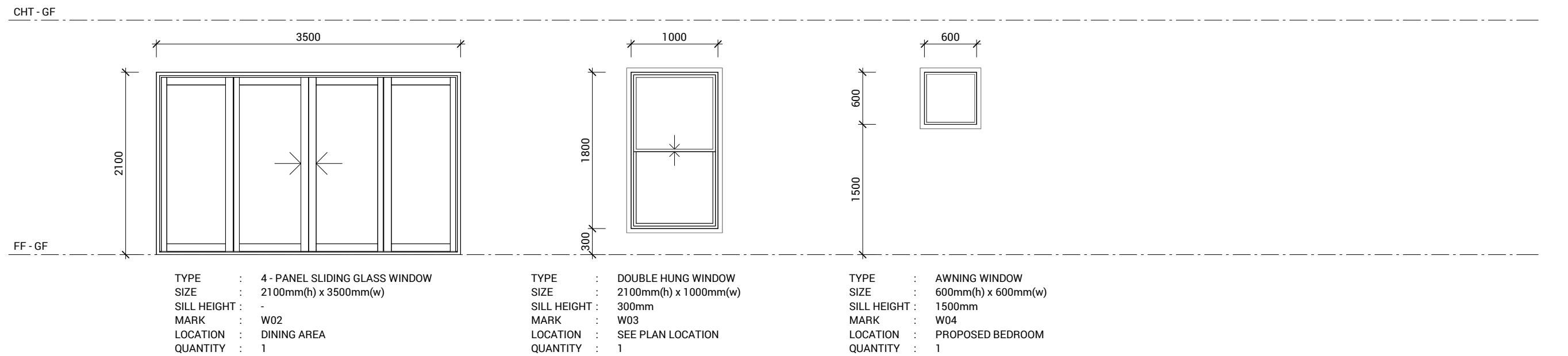
Email: info@drafee.com.au

DP-AD 45334

TAS 400648168

QLD 15127260

NORTH:		SCALE: As indicated	SHEET NUMBER:	JOB NUMBER:
		DATE: 2023		23-0046
		DRAWN: ML	4.1	JOB ISSUE:
		CHECKED: MS		C
REVISIONS	ISSUE	DATE	REVISION DESCRIPTION	INITIALS
	A	18.04.23	CONSTRUCTION PLANS	ML
	B	02.05.23	MARK UPS	ML
	C	03.05.23	FINAL AFC SET	ML



DOOR & WINDOW SCHEDULE

SCALE 1 : 50

NOTE: WINDOWS

GLAZED IN ACCORDANCE WITH PART 3.5.4.6

***ALL FLASHING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE, INCLUDING SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0 M ABOVE THE HIGHEST ABUTTING FINISHED LEVEL OF THE FLOOR, BOTTOM OF THE BATH, OR SHOWER BASE, MUST—**


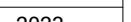
(I) FOR FRAMED PANELS, BE GLAZED WITH—

(A) GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH TABLE 3.6.5; OR


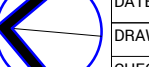
(B) GRADE B SAFETY GLAZING MATERIAL IN ACCORDANCE WITH TABLE 3.6.6 (FIGURE 3.6.3)

ALL FULL GLAZED DOORS, SIDELIGHTS, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR AN UNSTRUCTURED OPENING MUST BE GLAZED WITH THE GLASS IS MADE APPARENT BY MEANS OF TRANSOMS, COLONIAL BARS, OTHER COMPONENTS OF THE GLAZING SYSTEM, PERMANENT MOTIFS OR OTHER DECORATIVE TREATMENT ON OR ETCHED INTO THE GLASS, OF SUFFICIENT MAGNITUDE TO BE PREDECI APPARENT, OR THE GLASS IS OPAQUE COLORED OR PATTERNED TO INDICATE IT IS READABLE. CLARIFY ON PLANS.

A HABITABLE ROOM MUST HAVE 5% OF NATURAL VENTILATION AND 10% OF NATURAL LIGHT. SPECIFY ON THE WINDOWS SCHEDULE THE TYPE AND DIMENSIONS OF THE WINDOWS FOR BEDROOMS, AND KITCHEN TO ENABLE THE ASSESSMENT OF COMPLIANCE WITH BCA REQUIREMENTS FOR NATURAL LIGHT AND VENTILATION.

P R O J E C T	SHEET CONTENT: PLAN - D & W SCHEDULE	SIGN OFF	CLIENT I / WE..... 	GENERAL NOTES: ★ THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS. ★ FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE ★ UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK. ★ DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC. ★ REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.	<div><div></div><div>Level 2, 420 Collins Street, Melbourne, VIC 3000 Phone: 61 3 8687 2118 Email: info@draftee.com.au DP-AD 45334 TAS 400648168 QLD 15127260</div></div>	<div><div><div><div>NORTH: </div><div>SCALE: As indicated</div><div>DATE: 2023</div><div>DRAWN: ML</div><div>CHECKED: MS</div></div><div><div>SHEET NUMBER: 5.1</div><div>JOB NUMBER: 23-0046</div><div>JOB ISSUE: C</div></div></div><div><div>ISSUE</div><div>DATE</div><div>REVISION DESCRIPTION</div><div>INITIALS</div><div>A18.04.23CONSTRUCTION PLANSML</div><div>B02.05.23MARK UPSML</div><div>C03.05.23FINAL AFC SETML</div></div></div>	
	HOUSE TYPE: PROPOSED RENOVATION AND EXTENSION						
	PROPERTY ADDRESS: 4 BRANDUM BAY DRIVE BRANDUM						
	CLIENT: LIZ FERRARA						



P R O J E C T	SHEET CONTENT: CONSTRUCTION DETAILS - SLAB & FRAMING	SIGN O F F	CLIENT	GENERAL NOTES:	<div><div>Level 2, 420 Collins Street, Melbourne, VIC 3000 Phone: 61 3 8687 2118 Email: info@draftee.com.au DP-AD 45334 TAS 400648168 QLD 15127260</div></div>	NORTH: 	SCALE: 1 : 100 DATE: 2023 DRAWN: ML CHECKED: MS	SHEET NUMBER: 6.1	JOB NUMBER: 23-0046 JOB ISSUE: C	
	HOUSE TYPE: PROPOSED RENOVATION AND EXTENSION		I / WE.....	* THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS. * FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE		ISSUE	DATE	REVISION DESCRIPTION		INITIALS
	PROPERTY ADDRESS: 4 BRANDUM BAY DRIVE BRANDUM		CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.	* UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.		A	18.04.23	CONSTRUCTION PLANS		ML
	CLIENT: LIZ FERRARA		SIGNED..... DATE..... SIGNED..... DATE.....	* DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTER BOARD ETC. * REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.		B	02.05.23	MARK UPS		ML
						C	03.05.23	FINAL AFC SET		ML

NOTE:
ALL FIXINGS TO AS1684.4 - TABLES 9.4/9.5

NOTE:
GUTTERS AND DOWNPIPES TO BCA PART 3.5.3
BLACK COLOURED GUTTER

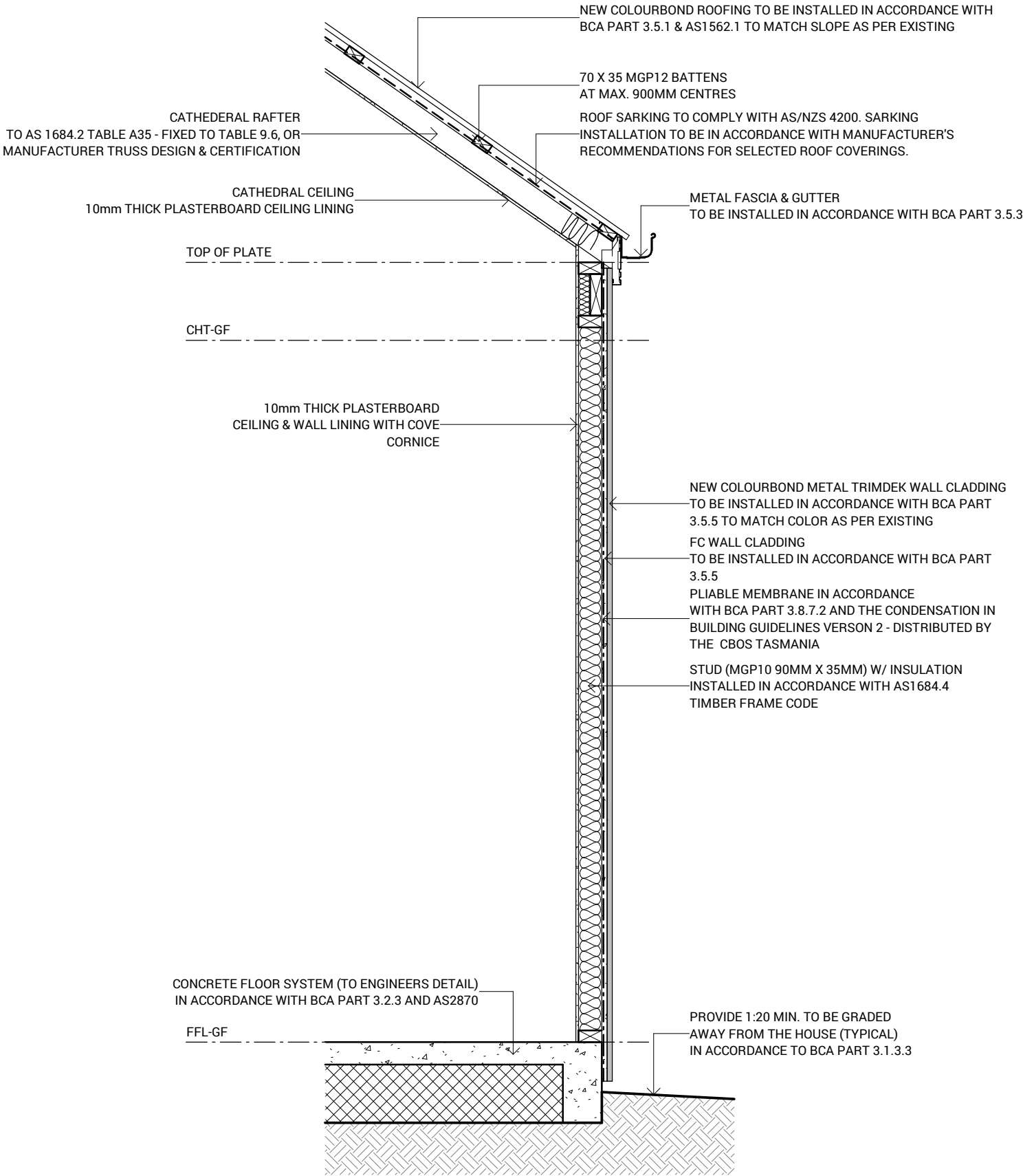
NOTE:
AS/NZS 3500.3 SPECIFIES THAT THE MINIMUM WIDTH OF ANY BOX GUTTER IS 200mm FOR DOMESTIC AND 300mm FOR COMMERCIAL CONSTRUCTIONS.

NOTE:
OVERFLOW MEASURES ARE ESSENTIAL TO PROTECT BUILDINGS FROM INTERNAL WATER DAMAGE AND MUST BE SIZED IN ACCORDANCE WITH AS/NZ 3500.3

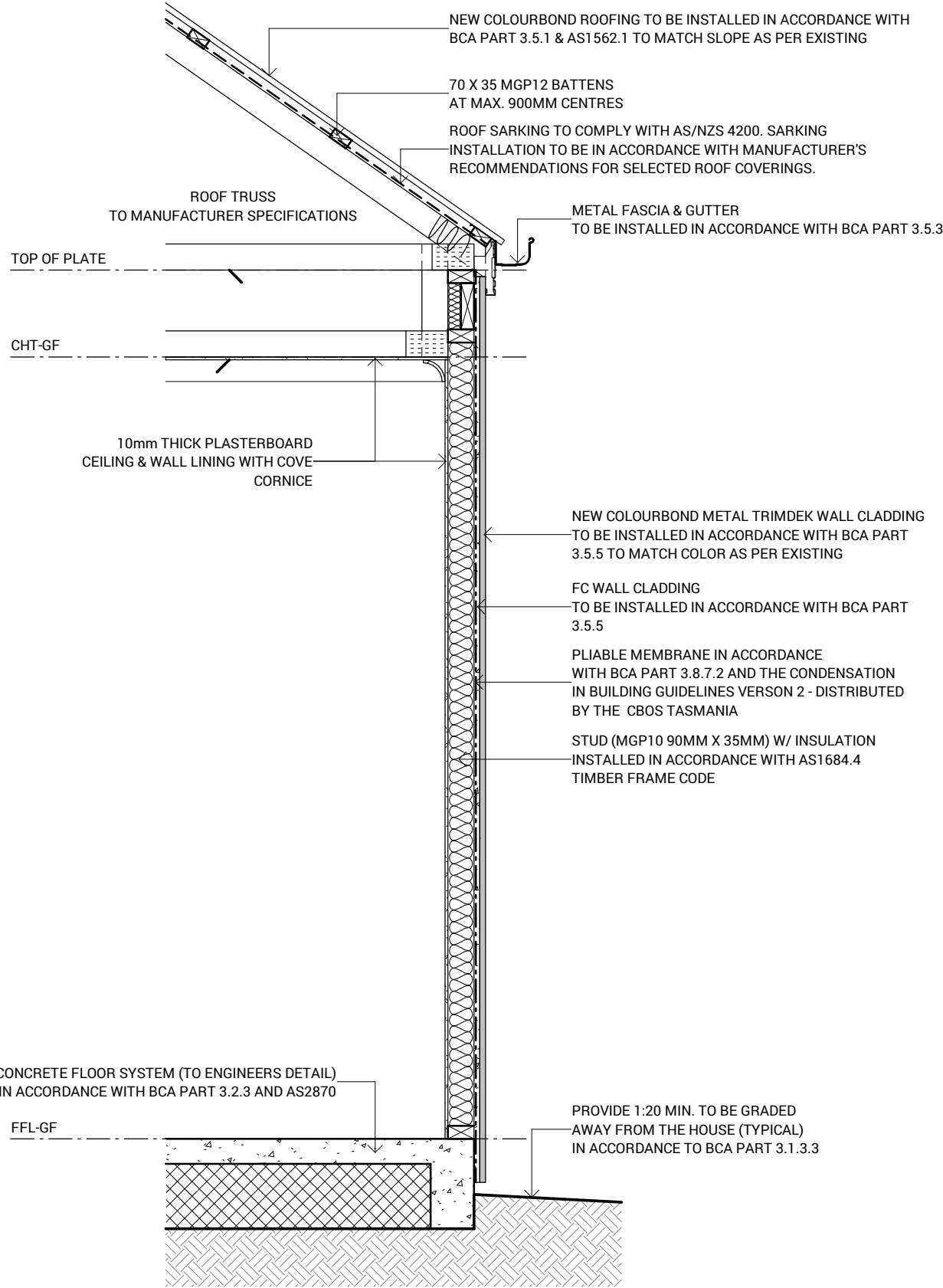
NOTE:
GRADIENTS BOX GUTTER GRADIENTS SHALL NOT BE FLATTER THAN 1:200 FOR SOLE WIDTHS EQUAL TO OR LESS THAN 600MM WIDE. DEVIATIONS FROM THE GRADIENT MUST BE SMOOTH AND PREVENT PERMANENT PONDING.BOX GUTTERS MUST:
• HAVE A MINIMUM WIDTH OF 300MM (FOR COMMERCIAL INSTALLATIONS) & 200mm (FOR DOMESTIC INSTALLATIONS);
• HAVE A MINIMUM DEPTH OF 75MM AT THE HIGH END;
• HAVE A SOLE WIDTH WHICH IS NOT REDUCED TOWARDS THE OUTLET WITHOUT A PROPORTIONAL INCREASE IN DEPTH;
• DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE IN DIRECTION (I.E. NOT TO THE SIDE);
• BE STRAIGHT (WITHOUT CHANGE IN DIRECTION);
• BE SEALED TO RAINHEADS AND SUMPS.

NOTE:
BOX GUTTERS ARE DEEMED TO SATISFY THE PERFORMANCE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE IF THEY ARE CERTIFIED TO MEET ONE OF THE FOLLOWING REFERENCED AUSTRALIAN STANDARDS:
• AS/NZ 3500.3 PLUMBING AND DRAINAGE PART 3: STORMWATER DRAINAGE.
• AS/NZ 3500.3 PLUMBING AND DRAINAGE PART 5: HOUSE INSTALLATIONS.
THE PLUMBING REGULATIONS 2008 ALSO SPECIFY THAT ROOFING (STORMWATER) WORK MUST COMPLY WITH:
• SA HB 39 INSTALLATION CODE FOR METAL ROOF AND WALL CLADDING.
• SAA/SNZ HB114 GUIDELINES FOR THE DESIGN OF EAVES AND BOX GUTTERS.

NOTE:
PLUMBERS MUST INSTALL THE BOX GUTTER SYSTEM IN ACCORDANCE WITH AS/NZS 3500.3, AS/NZS 3500.5, HB 114 AND HB 39.



WALL DETAILS 1
SCALE 1 : 20



WALL DETAILS 2
SCALE 1 : 20

COLOUR

SHEET CONTENT:
CONSTRUCTION DETAILS - WALL & ROOF DETAILS

HOUSE TYPE:
PROPOSED RENOVATION AND EXTENSION

PROPERTY ADDRESS:
4 BRANDUM BAY DRIVE
BRANDUM

CLIENT:
LIZ FERRARA

SIGN OFF

CLIENT

I / WE: _____

CONFIRM THESE DRAWINGS ACCORD WITH OUR REQUIREMENTS AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES.

SIGNED: _____ DATE: _____

SIGNED: _____ DATE: _____

GENERAL NOTES:


★ THE CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY SITE WORKS.

★ FIGURED DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE

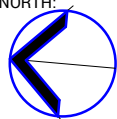
★ UNLESS OTHERWISE DIMENSIONED ALL STUD WALL ARE 90mm THICK AND ALL BRICK VENEER WALLS ARE 240mm THICK.

★ DIMENSIONS TO STRUCTURAL TIMBERS & FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD ETC.

★ REFER TO ENGINEERS DETAILS FOR STRUCTURAL MEMBERS.



Level 2, 420 Collins Street, Melbourne, VIC 3000
Phone: 61 3 6687 2118
Email: info@draftee.com.au
DP-AD 45334
TAS 400648168
QLD 15127260

NORTH: 

SCALE: As indicated

DATE: 2023

DRAWN: ML

CHECKED: MS

SHEET NUMBER: 6.2

JOB NUMBER: 23-0046

JOB ISSUE: C

REVISIONS

ISSUE	DATE	REVISION DESCRIPTION	INITIALS
A	18.04.23	CONSTRUCTION PLANS	ML
B	02.05.23	MARK UPS	ML
C	03.05.23	FINAL AFC SET	ML

Aboriginal Heritage SEARCH RECORD

This search for

PONDEROSA 4 BRANDUM BAY DR BRANDUM TAS 7304 (PID 5002996)

has not identified any registered Aboriginal relics or apparent risk of impacting registered Aboriginal relics.

This Search Record has been requested for Elizabeth Ferrara at 1:13PM on 29 July 2025 and delivered to liz13@bigpond.com.

This Search Record expires on 29 January 2026.

Your personal Search Identification Number is PS0401065.

Please be aware that the absence of records on the [Aboriginal Heritage Register](#) for the nominated area of land does not necessarily mean that the area is devoid of Aboriginal relics. If at any time during works you suspect the existence of Aboriginal relics, cease works immediately and contact Aboriginal Heritage Tasmania for advice.

It is also recommended that you have the Unanticipated Discovery Plan on hand during any ground disturbance or excavation activities, to aid you in meeting requirements under the Aboriginal Heritage Act 1975 should Aboriginal relics be uncovered. There are requirements that apply under the [Aboriginal Heritage Act 1975](#). It is an offence to destroy, damage, deface, conceal or otherwise interfere with relics without a permit granted by the Minister. There is an obligation to report findings of relics as soon as practicable.

This Search Record is confirmation that you have checked the Aboriginal Heritage Property Search website for this property. This Search Record will expire in six months from the search date.

If you have any queries please do not hesitate to contact [Aboriginal Heritage Tasmania](#) on **1300 487 045** or at aboriginal@heritage.tas.gov.au.

SEARCH OF TORRENS TITLE

VOLUME 138829	FOLIO 15
EDITION 4	DATE OF ISSUE 08-Oct-2018

SEARCH DATE : 16-Jul-2025

SEARCH TIME : 05.31 PM

DESCRIPTION OF LAND

Parish of TIAGARRA Land District of WESTMORLAND

Lot 15 on Plan [138829](#)

Derivation : For grantees see plan

Prior Cst 129655/2 and 143593/1

SCHEDULE 1

[M718159](#) TRANSFER to ELIZABETH JULIET FERRARA Registered
08-Oct-2018 at 12.01 PM

SCHEDULE 2

[C648401](#) Land is limited in depth to 15 metres, excludes
minerals and is subject to reservations relating to
drains sewers and waterways in favour of the Crown

[C617573](#) EASEMENTS SET FORTH IN ORDER

[C617573](#) COVENANTS SET FORTH IN ORDER

[C617574](#) NOTICE to Record Bar to Action Section 30 Crown Lands
(Shack Sites) Act 1997 Registered 17-Jun-2005 at noon

[C680431](#) AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
03-Nov-2005 at noon

[E152291](#) MORTGAGE to Westpac Banking Corporation Registered
08-Oct-2018 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: THE CROWN HYDRO ELECTRIC COMMISSION FOLIO REFERENCE: GT 138956 / F.R.143593/1 F.R.129655/2 GRANTEE: PART OF LOT 929 BEING 520a - 0r - 0p AND PART OF LOT 928 BEING 600a - 0r - 0p, GRANTED TO CHARLES HEADLAM.		PLAN OF SURVEY BY SURVEYOR Anthony Owen Carrick 175 Collins Street, Hobart. LOCATION WESTMORLAND - TIAGARRA SCALE 1: 4000 LENGTHS IN METRES		REGISTERED NUMBER P 138829 APPROVED EFFECTIVE FROM 30 MAY 2005 <i>Alice Kawa</i> Recorder of Titles			
MAPSHEET MUNICIPAL CODE No. 105 (4636, 4637)		LAST UPI No. 4500004		LAST PLAN P.129655 No. P.143593		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	

INDEX PLAN

NOT EXAMINED

