



PUBLIC NOTICE DETAILS

PLANNING APPLICATION DETAILS

Application Number:	DA 2025/38
Application Type:	Discretionary Development Application
Property Location:	2 Trout Crescent, Miena
Proposal:	Outbuilding
Applicant:	SJ Felmingham
Advertising Commencement Date:	28 July 2025
Representation Period Closing Date:	11 August 2025
Responsible Officer:	Louisa Brown, Senior Planning Officer

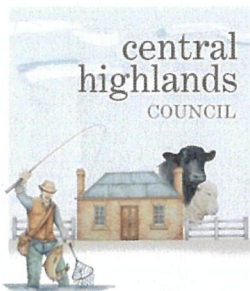
The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing development@centralhighlands.tas.gov.au. Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030
Email: development@centralhighlands.tas.gov.au

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.



Development & Environmental Services
19 Alexander Street
BOTHWELL TAS 7030

Phone: (03) 6259 5503
Email: development@centralhighlands.tas.gov.au
www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:**Applicant Name**

STEPHEN FELMINGHAM

Postal Address

2 TROUT CRESCENT

Phone No:

0408101608

MILENA TAS

7030

Fax No:

Email address

stephen.felmingham@gmail.com

Owner/s Name

(if not Applicant)

Postal Address

Phone No:

Fax No:

Email address:**Description of proposed use and/or development:****Address of new use
and development:**

2 TROUT CRESCENT MILENA 7030

**Certificate of Title
No:**

Volume No

22587

Lot No:

61

**Description of
proposed use or
development:**

SHED

ie: New Dwelling / Additions / Demolition
/ Shed / Farm Building / Carport /
Swimming Pool or detail other etc.

**Current use of land
and buildings:**

RESIDENTIAL

HOUSE + SHED

Eg. Are there any existing buildings
on this title?
If yes, what is the main building
used as?

Proposed MaterialWhat are the proposed
external wall colours

CLASSIC CREAM

What is the proposed roof colour

WOODLAND GREY

What is the proposed
new floor area m².

108

What is the estimated value of
all the new work proposed:

\$ 50000

Is proposed development to be staged:

Yes ☐

No ☒

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☒

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☒

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☒

Has a Certificate of Exemption been sought for these works?

Yes ☐

No ☒

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature



(if not the Owner)

Applicant Name (Please print)

STEPHEN KELMINGHAM

Date

19/6/25

Land Owner(s) Signature



Land Owners Name (please print)

STEPHEN KELMINGHAM

Date

19/6/25

Land Owner(s) Signature

Land Owners Name (please print)

Date

✓

[illegible]

Information

If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, **please tick ✓** the box ☐

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application.
(Phone 1300 850 332 or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

Submission of Application

Applications can be submitted in a number of ways as follows:

- Electronically: Email to development@centralhighlands.tas.gov.au
- Post: 19 Alexander Street, BOTHWELL 7030
- In Person: Development & Environmental Services Office, 19 Alexander Street, Bothwell 7030

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
22587		61
EDITION	DATE OF ISSUE	
5	04-May-2024	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of FENWICK, Land District of CUMBERLAND
Lot 61 on Sealed Plan 22587
Derivation : Part of Lots 3374 and 3156 Gtd to F Synnot and
another
Prior CT 4077/60

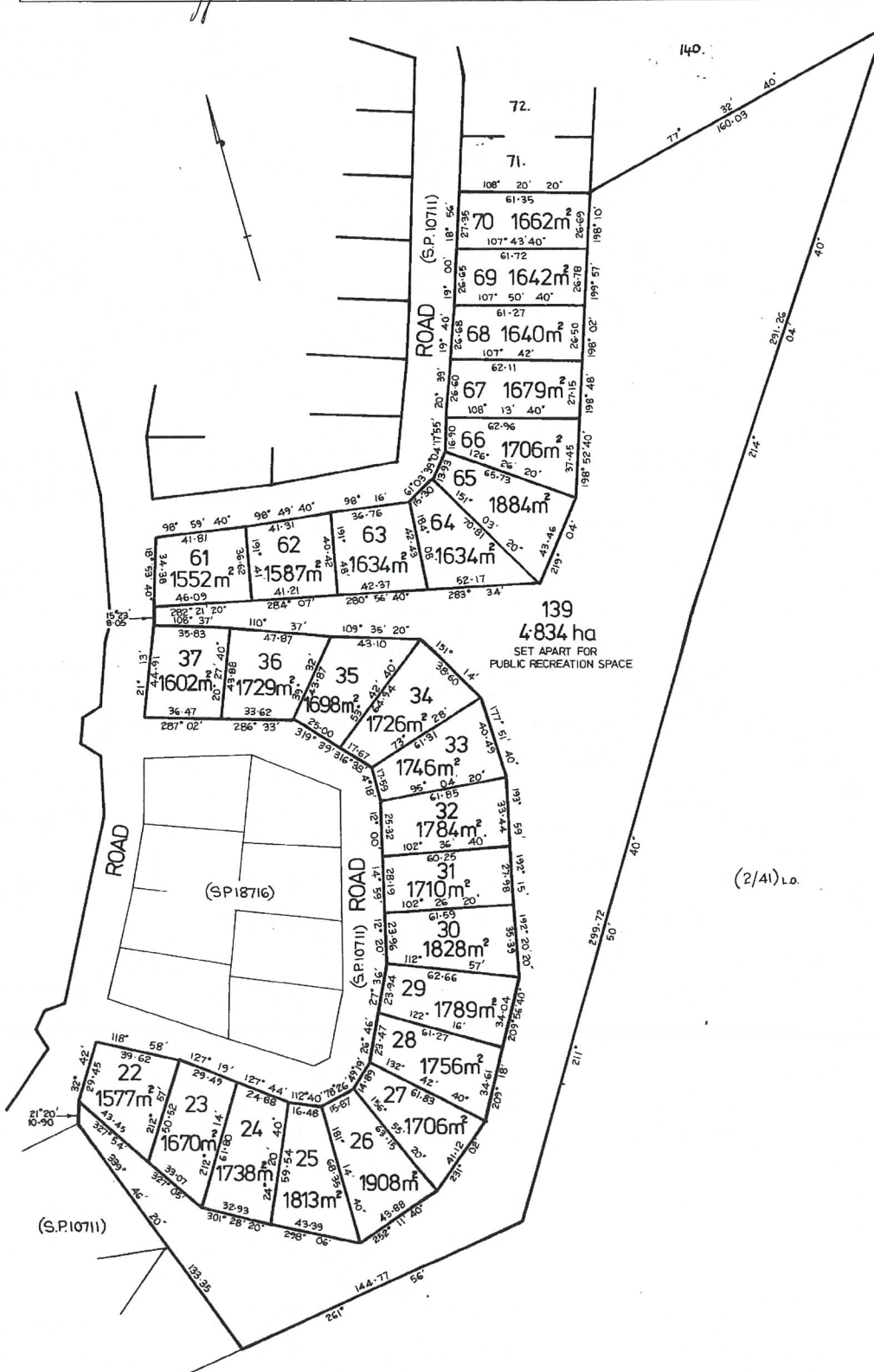
SCHEDULE 1

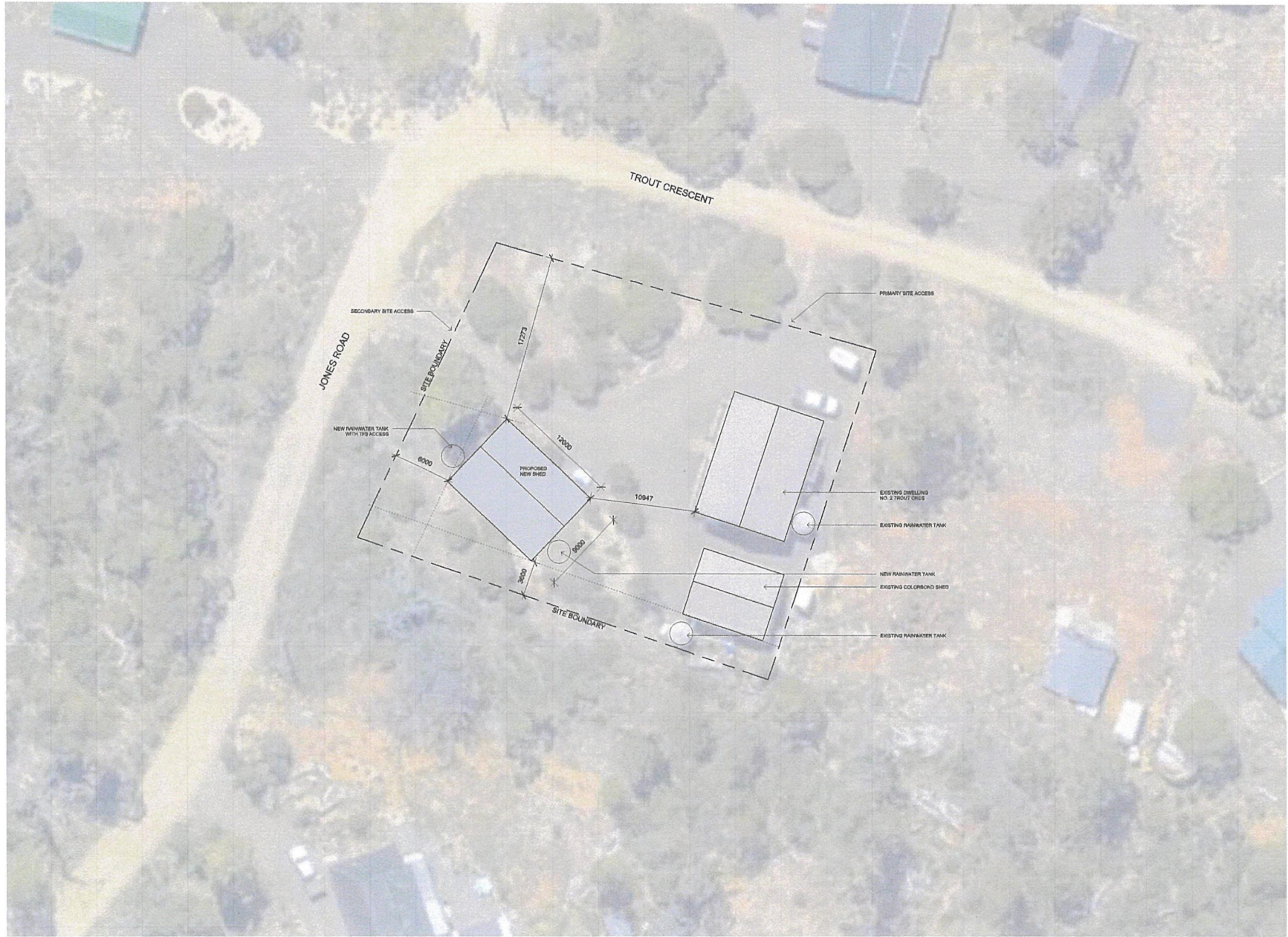
N182075 TRANSFER to STEPHEN JOHN FELMINGHAM Registered
04-May-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 10711 & SP 22587 COUNCIL NOTIFICATION under Section 468(12)
of the Local Government Act 1962
SP 22587 FENCING COVENANT in Schedule of Easements

<p>ANNEXURE SHEET No. 1 (of 5 annexures) to plan by Surveyor M.G. Darcey</p>	<p>This sheet contains detailed drawings of parcels shown on the index plan to which it is attached, which plan is verified by my certificate dated 31-1-1984 and that certificate extends to the detail shown on this sheet.</p>	<p>Registered Number: S. P22587</p>
<p>Signed for the purposes of identification Council Clerk <i>[Signature]</i></p>	<p>Surveyor <i>[Signature]</i> Owner: Ray Leslie Heffernan & Grechan Wivell Title Reference: CT 3679-89</p>	<p>SCALE 1:1500</p>





GENERAL NOTES
DO NOT SCALE FROM THIS DRAWING
CONFIRM ALL DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE & INSTALLATION
ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS
TO BE READ IN CONJUNCTION WITH ENGINEERS DOCUMENTS.

LEGEND

0 m 4 m 8 m 12 m 16 m

1 SITE
1:200

Rev	Date	Description
1	18/10/2024	Rev 1 - DRAFT DA

ARNHEM STUDIO
7 Mary St, Levisham
Lutruwila, TAS 7000
Non Architect: Jack Andrews 1485
M 0429 908 210
E jack@arnhemstudio.com.au

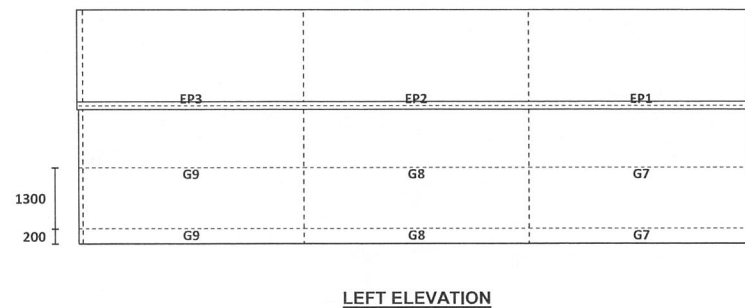
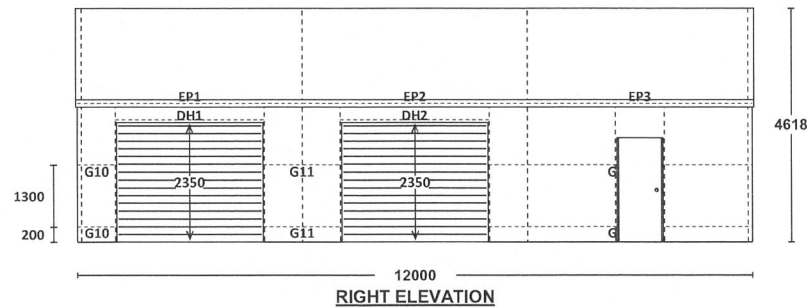
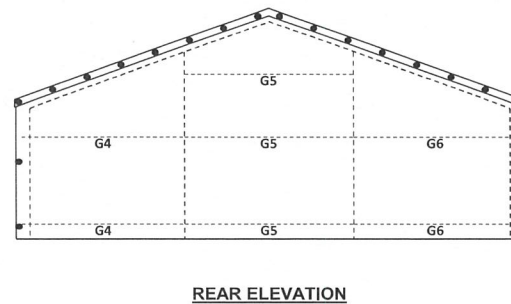
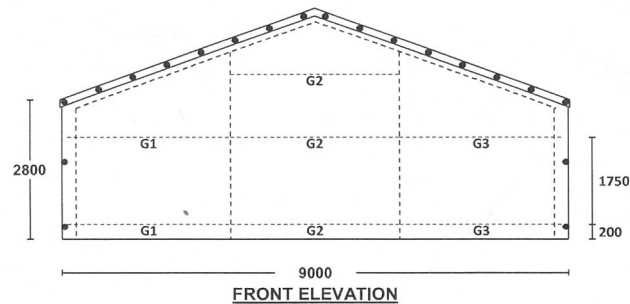
Project:
Steven Felmingham
Miena Garage
2 Trout Crescent, Miena, TAS 7030

Drawing Description:
SITE PLAN

Scale: 1:200@A1

PROJECT NO:	DWG NO:	REV NO:
2405	DA-00-02	1

Drawing Status: DEVELOPMENT APPLICATION



GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNO.

THIS BUILDING DESIGN IS SUITABLE FOR A DESIGN CLASS OF 10a.

THIS BUILDING IS NOT DESIGNED FOR, AND CANNOT BE USED FOR, HUMAN HABITATION (CLASS 1).

THIS SITE SPECIFIC DETAIL REFERS TO THE STRUCTURAL SUITABILITY OF THE STRUCTURAL DESIGN ONLY, THE ENGINEER AND SUPPLIER TAKE NO RESPONSIBILITY FOR ANY COMPLIANCE WITH ANY LOCAL GOVERNMENT BY-LAWS, TOWN PLANNING REQUIREMENTS OR INDIVIDUAL SITE CIRCUMSTANCES THAT MAY EFFECT THE SUITABILITY OF THE STRUCTURE AT THE ACTUAL SITE.

THESE DESIGNS WHEN CONSTRUCTED IN ACCORDANCE WITH THIS ENGINEERING COMPLIES WITH THE FOLLOWING STANDARDS AND REGULATIONS:

AS1170.0 TO AS1170.4-2008, AS3600-2009

AS4055-2011, AS4100-1998 & AS4600-2005

NCC 2018.

THE FRAMING MEMBERS, ROOF PURLIN MEMBERS AND CLADDING WITHIN THESE DESIGNS ARE BASED ON THE SECTIONAL DESIGN PROPERTIES OF THE ROLLFORMED PRODUCTS MANUFACTURED BY LYSAGHT BUILDING PRODUCTS.

ALL SCREW FIX FASTENERS TO COMPLY WITH AS3566. ALL CONNECTION BOLTS TO COMPLY WITH AS1252 IN ACCORDANCE WITH AS4100. ALL SCREW FASTENERS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. FRAMING BOLTS TO BE TIGHTENED TO A SHANK TENSION OF 90kN.

REFER TO PAGE 2 FOR THE FLOORPLAN AND MEMBER TABLE, PAGE 3 FOR THE FOOTING AND FOUNDATION DETAILS, PAGE 4 FOR THE ROOF PLAN AND CLADDING DETAILS AND PAGES 5 & 6 FOR FRAME AND MEMBER CONNECTION DETAILS.

THIS BUILDING IS TO BE CONSTRUCTED IN ACCORDANCE WITH GOOD PRACTICE, DURING CONSTRUCTION THE STRUCTURE MUST BE MAINTAINED IN A STABLE MANNER AND SUFFICIENTLY BRACED TO PREVENT OVERSTRESSING OF FRAME. THE ENGINEER AND THE SUPPLIER ACCEPT NO RESPONSIBILITY FOR ANY MISTAKES, FROM WHATEVER SOURCE, THROUGH PLEA OF IGNORANCE ON THE PART OF THE OWNER/BUILDER/ERECTOR.

INCLUSIONS

WOODLAND GREY ENTRANCE DOOR TO RIGHT ELEVATION

WOODLAND GREY 2350H 2600W DOM RD TO RIGHT ELEVATION

WOODLAND GREY 2350H 2600W DOM RD TO RIGHT ELEVATION

PEB CONCEPTS
FURM

PO BOX 183 RIVERSIDE TAS 7250

PH. 1800 790 569 - EMAIL: engineer@furm.com.au

CONSULTING ENGINEER

JP ENGINEERS AND ASSOCIATES PTY LTD

NER No. 3339325

EC42637 (Vic)

CC7434 (Tas)

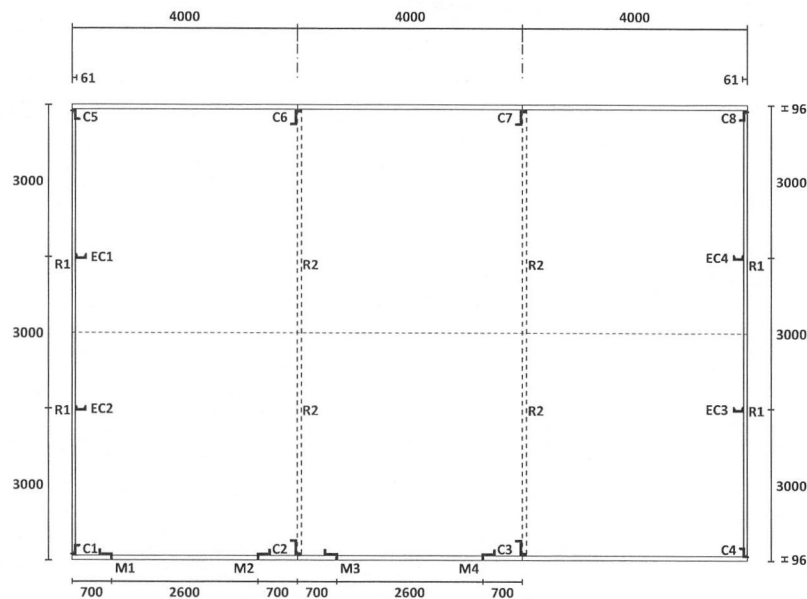
PROJECT FOR: STEPHEN FELMINGHAM - SITE ADDRESS: 2 TROUT CRESCENT MIENA TAS 7030

MUNICIPAL DISTRICT: CENTRAL HIGHLANDS COUNCIL

STRUCTURAL DRAWING NO. VFURM0778592-2

DATE 19/05/2025

PAGE 1 OF 6 - BUILDING ELEVATIONS



MEMBER TABLE

DESCRIPTION	MEMBER
CLAD COLUMNS - C1,C4,C5,C8	Z15015
CLAD RAFTERS - R1	C15015
UNCLAD COLUMNS - C2,C3,C6,C7	Z25019
UNCLAD RAFTERS - R2	C25019
UNCLAD PORTAL KNEE BRACING - REFER PAGE 6	C15019
END WALL COLUMNS - EC1,EC2,EC3,EC4	C15015
DOOR MULLIONS - M1,M2,M3,M4	Z20015
EAVE PURLINS - EP1,EP2,EP3	C15012
ROOF PURLINS - P1,P2,P3	TOPSPAN 9695
PORTAL GIRTS - G1,G2,G3,G4,G5,G6	TOPSPAN 6110
LONGITUDINAL GIRTS - G7,G8,G9,G10,G11,G12	TOPSPAN 9695
DOOR HEADERS - DH1,DH2	TOPSPAN 6110
PERSONAL DOOR JAMBS	JF02
ROOF CLADDING	0.42 BMT CUSTOM ORB
WALL CLADDING	0.42 BMT CUSTOM ORB

MEMBER TABLE

<div>C SECTIONS</div>					<div>Z SECTIONS</div>					
SECTION	D	F	L	GAUGE	SECTION	D	F1	F2	L	GAUGE
C10010	102	51	13.5	1.00	Z10010	102	53	49	13.5	1.00
C10012	102	51	13.5	1.20	Z10012	102	53	49	13.5	1.20
C10015	102	51	13.5	1.50	Z10015	102	53	49	13.5	1.50
C10019	102	51	13.5	1.90	Z10019	102	53	49	13.5	1.90
C15010	152	64	15.5	1.00	Z15010	152	65	61	15.5	1.00
C15012	152	64	15.5	1.20	Z15012	152	65	61	15.5	1.20
C15015	152	64	15.5	1.50	Z15015	152	65	61	15.5	1.50
C15019	152	64	16.5	1.90	Z15019	152	65	61	16.5	1.90
C15024	152	64	18.5	2.40	Z15024	152	65	61	18.5	2.40
C20012	203	76	15.5	1.20	Z20012	203	79	74	15.5	1.20
C20015	203	76	15.5	1.50	Z20015	203	79	74	15.5	1.50
C20019	203	76	19.0	1.90	Z20019	203	79	74	19.0	1.90
C20024	203	76	21.0	2.40	Z20024	203	79	74	21.0	2.40
C25019	254	76	18.5	1.90	Z25019	254	79	74	18.5	1.90
C25024	254	76	20.5	2.40	Z25024	254	79	74	20.5	2.40
C30024	300	96	27.5	2.40	Z30024	300	100	93	27.5	2.40
C30030	300	96	31.5	3.00	Z30030	300	100	93	31.5	3.00
C35024	350	125	30.0	2.40	Z35024	350	129	121	30.0	2.40
C35030	350	125	30.0	3.00	Z35030	350	129	121	30.0	3.00

PEB CONCEPTS
FURM

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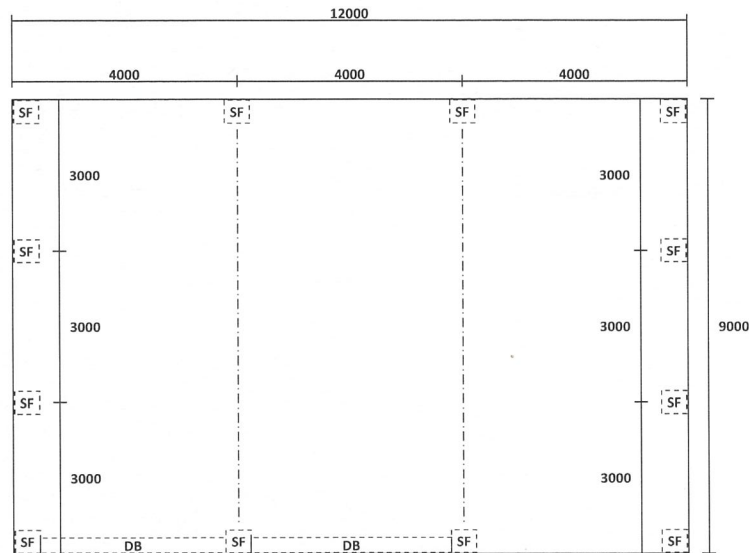
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MUNICIPAL DISTRICT: CENTRAL HIGHLANDS COUNCIL

STRUCTURAL DRAWING NO. VFURM0778592-2

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PAGE 2 OF 6 - FLOORPLAN



CONCRETE AND FOUNDATION TABLE

SLAB DEPTH	100
SLAB MESH	SL72
SLAB FOOTINGS (SF)	450 SQ. x 400 DEEP
DOOR BEAMS (DB)	300 WIDE x 200 DEEP

CONCRETE AND FOUNDATION NOTES

SLAB MESH TO HAVE 30 COVER MINIMUM.

SLAB FOOTINGS (SF) CAN BE ROUND FOOTINGS OF THE SAME DIAMETRE.

DOOR BEAM (DB) TO ROLLER DOOR LOCATIONS. BEAM TO GO FROM FOOTING TO FOOTING. DOOR BEAM DEPTH IS TO TOP OF SLAB/FOOTING.

OPTIONAL: WEATHER SLOPE TO ROLLER DOOR LOCATIONS AS PER MULLION OPENINGS ON PAGE 2. START SLOPE 150 BACK FROM EDGE OF SLAB AND FALL 20 TO OUTSIDE EDGE OF SLAB.

SLAB AND FOOTINGS SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 25MPa.

SLAB AND FOOTINGS HAVE BEEN DESIGNED TO BEAR ON NATURAL GROUND OR CONTROLLED FILL WITH A MINIMUM BEARING CAPACITY OF 100kPa.

WHERE REQUIRED, CONTROLLED FILL TO BE NON-SAND GRAVEL COMPACTED IN LAYERS TO A MAXIMUM DEPTH OF 600. EACH LAYER NOT TO EXCEED 150 DEEP AND TO BE COMPACTED WITH MECHANICALLY VIBRATING ROLLER.

WHERE FILL DEPTH IS DEEPER THAN FOOTING DEPTH, ALL FOOTINGS TO EXTEND TO NATURAL FOUNDATION.

PLASTIC MEMBRANE TO UNDERSLAB. ALL JOINTS TO BE TAPED. REMOVE MEMBRANE FROM FOOTING LOCATIONS.

SLAB AND FOOTINGS SHALL BE PROTECTED AGAINST EXCESSIVE MOISTURE LOSS AND ALLOWED TO CURE FOR A PERIOD OF NOT LESS THAN SEVEN DAY AFTER POURING BEFORE STANDING OF STEELWORK.

NOTE TO SURVEYOR: THIS DESIGN IS BASED UPON THE ABOVE COMPACTION VALUES OF THE NATURAL GROUND AND/OR CONTROLLED FILL. THIS DESIGN HAS NOT USED AS2870 RESIDENTIAL SLAB DESIGN STANDARDS IN ITS DESIGN AND THEREFORE NO REFERENCE TO AS2870 SOIL TYPES IS REQUIRED, OR WILL BE PROVIDED.

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PAGE 3 OF 6 - FOOTING LAYOUT

P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	584
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610
P1	P2	P3	610

ROOF PURLINS

LYSAGHT® TOPSPAN 96 - 0.95 BMT



WALL GIRTS

LYSAGHT® TOPSPAN 96 - 0.95 BMT



END WALL GIRTS

LYSAGHT® TOPSPAN 61 - 0.95 BMT



ROOF CLADDING AND FASTENING DETAILS

ROOF CLADDING - CUSTOMORB 0.42 BMT



EAVE FIXING



1 OFF 12/14 ROOF ZIPS TO EACH SECOND RIB TO EAVE PURLIN

ROOF PURLIN FIXING



1 OFF 12/14 ROOF ZIPS TO THE 1ST, 4TH & 7TH RIB TO EACH PURLIN

WALL CLADDING AND FASTENING DETAILS

WALL CLADDING - CUSTOMORB 0.42 BMT



1 OFF 10/16x16 CL3 TEK TO EVERY SECOND PAN PER GIRT

PEB CONCEPTS
FURM

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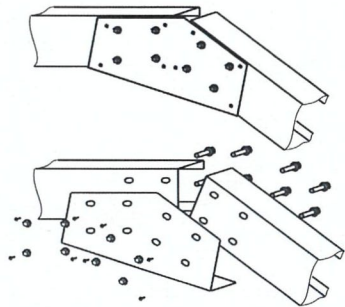
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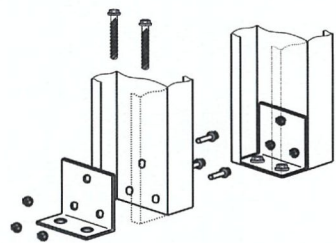
DATE 19/05/2025

PAGE 4 OF 6 - ROOF PURLIN LAYOUT



RAFTERS JOINED WITH FURM APEX CLEAT.
FIX WITH 8 OFF M16x40 8.8/s BOLT ASSY &
8 OFF 14/10x20 CL3 ZP SD SCREWS.

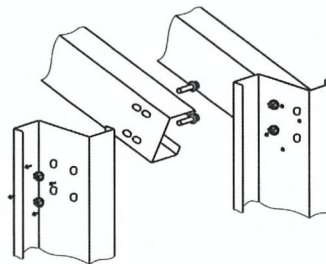
APEX CONNECTION



ALL COLUMNS FIXED TO FOUNDATION
WITH FURM BASE CLEAT.
FIX BASE CLEAT WITH
3 OFF M16x40 8.8/s BOLT ASSY TO COLUMNS
AND TWO OFF CONCRETE SCREWBOLTS TO
FOUNDATION.

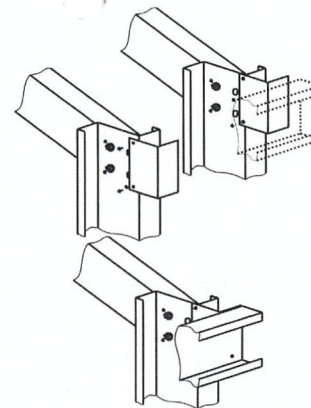
SCREWBOLT TABLE
Z/C100 COLUMNS - M10x75
C/Z150 & C/Z200 COLUMNS - M12x100
C/Z250 & LARGER COLUMNS - M16x150

COLUMN BASE CONNECTION



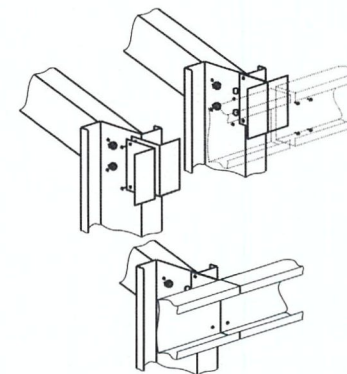
COLUMNS DIRECTLY FASTENED TO
RAFTERS AT KNEE JUNCTION.
FIX WITH 2 OFF M16x40 8.8/s BOLT ASSY &
4 OFF 14/10x20 CL3 ZP SD SCREWS.
RAFTERS BOLTED TO INSIDE
PUNCHINGS ON THE COLUMNS.

KNEE CONNECTION



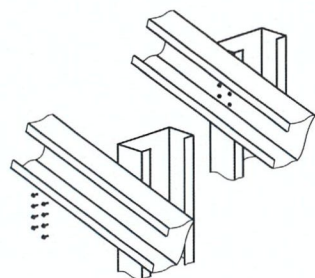
EAVE PURLIN FIXED TO COLUMN
WITH FURM EAVE CLEAT.
FIX CLEAT TO SIDE OF COLUMN WITH
2 OFF 14/10x20 CL3 ZP SD SCREWS.
FIX EAVE TO CLEAT WITH 2 OFF 14/10x20 CL3
ZP SD SCREWS TO END OF EAVE.

END EAVE PURLIN CONNECTION



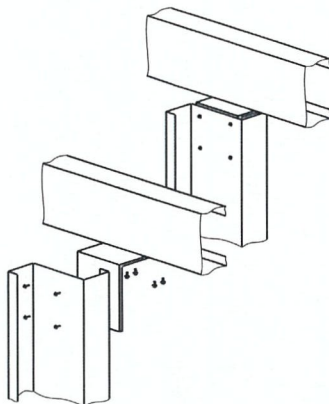
EAVE PURLIN FIXED TO COLUMN WITH 2 OFF
FURM EAVE CLEATS BACK-TO-BACK.
FIX CLEATS TO SIDE OF COLUMN WITH
2 OFF 14/10x20 CL3 ZP SD SCREWS.
FIX EAVE TO CLEATS WITH 2 OFF 14/10x20 CL3
ZP SD SCREWS TO END OF EACH EAVE.

INTERNAL EAVE PURLIN CONNECTION



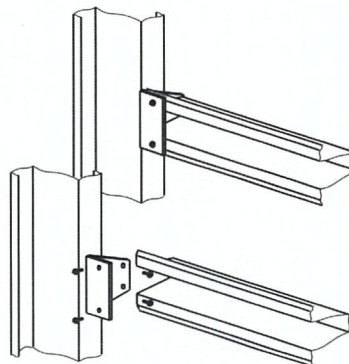
END COLUMNS FIXED DIRECTLY TO RAFTERS
WITH 8 OFF 14/10x20 CL3 ZP SC SCREWS.

END COLUMN CONNECTION



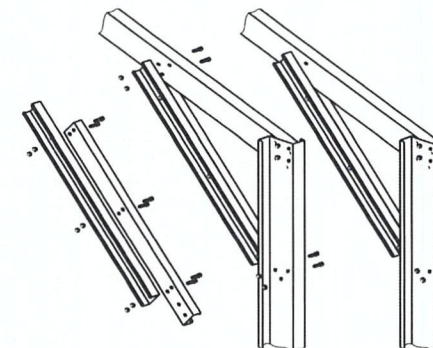
MULLION COLUMNS FIXED SIDE EAVE
WITH FURM ANGLE PLATE.
FASTEN PLATE 4 OFF 14/10x20 CL3 ZP SD
SCREWS TO EACH MULLION/EAVE.

SIDE MULLION CONNECTION



DOOR HEAD FIXED TO DOOR MULLIONS
WITH FURM TOPSPAN CLEAT.
FIX WITH 2 OFF 14/10x20 CL3 ZP SD SCREWS
TO BOTH MULLION AND DOOR HEAD.

DOOR HEAD CONNECTION DETAIL



KNEE BRACE COMPRISES OF TWO PIECES OF C SECTION FIXED BACK TO BACK
THEN FASTENED TO THE WEB OF THE COLUMN AND THE RAFTER.
BRACE MEMBERS JOINED WITH 6 OFF M16x40 8.8/s BOLT ASSY.
FIX ASSEMBLED KNEE BRACE TO PORTAL WITH 2 OFF M16x40 8.8/s BOLT ASSY TO EACH END.

CLEARSPAN UNCLAD PORTAL FRAME KNEE BRACING DETAIL

PEB CONCEPTS
FURM

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PH. 1800 790 569 - EMAIL: engineer@furm.com.au

CONSULTING ENGINEER

JP ENGINEERS AND ASSOCIATES PTY LTD
NER No. 3339325
EC42637 (Vic)
CC7434 (Tas)

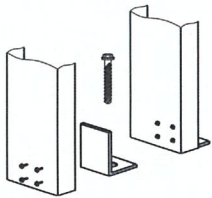
PROJECT FOR: STEPHEN FELMINGHAM - SITE ADDRESS: 2 TROUT CRESCENT MIENA TAS 7030

MUNICIPAL DISTRICT: CENTRAL HIGHLANDS COUNCIL

STRUCTURAL DRAWING NO. VFURM0778592-2

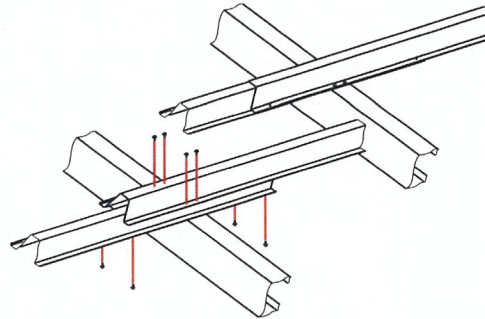
DATE 19/05/2025

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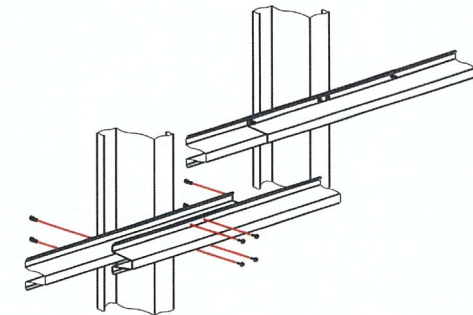
PERSONAL DOOR JAMBS FIXED TO FOUNDATION WITH FURM DOOR CLEAT. FIX CLEAT TOWARDS INSIDE OF BUILDING. FIX WITH 4 OFF 14/10x20 CL3 ZP SD SCREWS TO JAMBS AND 1 OFF M10x75 CONCRETE SCREWBOLTS TO FOUNDATION.

DOOR JAMB BASE CONNECTION



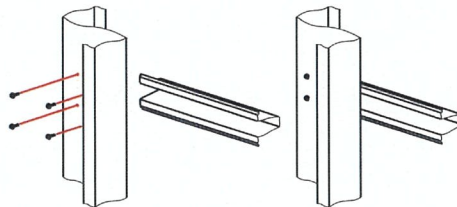
ROOF PURLINS FIXED TO RAFTERS WITH 4 OFF 14/10x20 CL3 ZP SD SCREWS. WHERE INTERNAL PURLINS ARE JOINED, EACH PURLIN IS TO EXTEND A MINIMUM OF 200 PAST THE INTERSECTING RAFTER. FIX EACH OVERLAP END TO CORRESPONDING PURLIN FROM THE UNDERSIDE OF PURLINS WITH 2 OFF 14/10x20 CL3 ZP SD SCREWS

ROOF PURLIN DETAIL



WALL GIRTS FIXED TO COLUMNS WITH 4 OFF 14/10x20 CL3 ZP SD SCREWS. WHERE INTERNAL GIRTS ARE JOINED, EACH GIRT IS TO EXTEND A MINIMUM OF 200 PAST THE INTERSECTING COLUMN. FIX EACH OVERLAP END TO CORRESPONDING GIRT FROM THE UNDERSIDE OF GIRT WITH 2 OFF 14/10x20 CL3 ZP SD SCREWS

WALL GIRT DETAIL



END GIRTS FIXED TO CLAD COLUMNS WITH 4 OFF 14/10x20 CL3 ZP SD SCREWS.

END GIRT DETAIL

PROJECT FOR: STEPHEN FELMINGHAM - SITE ADDRESS: 2 TROUT CRESCENT MIENA TAS 7030

MUNICIPAL DISTRICT: CENTRAL HIGHLANDS COUNCIL

PEB CONCEPTS
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DATE 19/05/2025

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CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
Business name: Phone No:
Business address:
 Fax No:
Licence No: Email address:

Details of the proposed work:

Owner/Applicant: Designer's project reference No:
Address: Lot No:

Type of work: Building work ☒ Plumbing work ☐ (X all applicable)

Description of work:

Structural Design
New Gable Shed, Building Class - Class 10A, Wind Design: Ws 45 M/S - 1.92 Kpa Snow Load

(new building / alteration /
addition / repair / removal /
re-erection
water / sewerage /
stormwater /
on-site wastewater
management system /
backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input checked="" type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/>		Performance Solution: <input type="checkbox"/> (X the appropriate box)
Other details:		

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers: VFURM0778592-2 pages 1 to 6	Prepared by: Furm	Date: 19/05/2025
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:

NCC 2019 - BCA Volume 2
AS/NZS 1170.0-2002,
AS/NZS 1170.1-2002,
AS/NZS 1170.2-2002,
AS/NZS3566-2002,
AS/NZS3600-2018,
AS/NZS4600-2018

Any other relevant documentation:**Attribution as designer:**


I Jayanta Bhattacharya am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

Designer: Jayanta Bhattacharya

Licence No: CC7434 (Tas)

Signed  Date 19/05/2025