



PUBLIC NOTICE DETAILS

PLANNING APPLICATION DETAILS

Application Number:	DA 2025/36
Application Type:	Discretionary Development Application
Property Location:	7562 Highland Lakes Road, Miena
Proposal:	Outbuilding
Applicant:	CJ Honner
Advertising Commencement Date:	08 July 2025
Representation Period Closing Date:	22 July 2025
Responsible Officer:	Louisa Brown, Senior Planning Officer

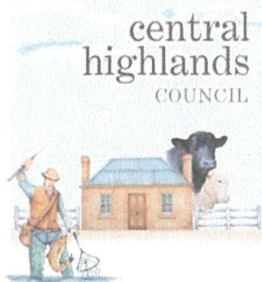
The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing development@centralhighlands.tas.gov.au. Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030
Email: development@centralhighlands.tas.gov.au

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.



Development & Environmental Services
19 Alexander Street
BOTHWELL TAS 7030

Phone: (03) 6259 5503
Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name

Christopher Honner

Postal Address

Po Box 30

Phone No:

0409 521 519

Bothwell Tas

7030

Fax No:

Email address

Owner/s Name

(if not Applicant)

Postal Address

Phone No:

Fax No:

Email address:

Chris@MienaMechanical.com.au

Description of proposed use and/or development:

Address of new use and development:

7562 Highland Lakes Road Miena

Certificate of Title No:

Volume No

5006444

Lot No:

Description of proposed use or development:

SHED For Mechanical Repairs.

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Current use of land and buildings:

House

Eg. Are there any existing buildings on this title?
If yes, what is the main building used as?

Proposed Material

What are the proposed external wall colours

Deer ocean Blue

What is the proposed roof colour

Monument Grey

What is the proposed new floor area m².

What is the estimated value of all the new work proposed:

\$ 50,000

Is proposed development to be staged:

Yes ☐

No ☐

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☒

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☒

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☒

Has a Certificate of Exemption been sought for these works?

Yes ☐

No ☒

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature

(if not the Owner)

Applicant Name (Please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

SEARCH OF TORRENS TITLE

VOLUME 182467	FOLIO 1
EDITION 2	DATE OF ISSUE 22-Feb-2024

SEARCH DATE : 24-Jun-2025

SEARCH TIME : 11.37 AM

DESCRIPTION OF LAND

Parish of FENWICK Land District of CUMBERLAND
Lot 1 on Plan 182467 (Section 27A of the Land Titles Act.)
Derivation : Whole of Lot 1 (6874m2) The Crown

SCHEDULE 1

M991810 TRANSFER to CHRISTOPHER JOHN HONNER and KAREN MAREE
HONNER Registered 22-Feb-2024 at noon

SCHEDULE 2

M991802 Land is limited in depth to 15 metres, excludes
minerals and is subject to reservations relating to
drains sewers and waterways in favour of the Crown
M991810 Land is limited in depth to 15 metres, excludes
minerals and is subject to reservations relating to
drains sewers and waterways in favour of the Crown
M991810 FENCING PROVISION in Transfer
N104158 MORTGAGE to R G Bowden & Son Pty Ltd Registered
22-Feb-2024 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER: THE CROWN</p> <p>FOLIO REFERENCE: SEC 27A APPN (M991802)</p> <p>GRANTEE: WHOLE OF LOT 1 (6874m²) THE CROWN (P182467)</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR: ADAM LUKE DOWNHAM (OFFICE OF THE SURVEYOR GENERAL)</p> <p>LOCATION: LAND DISTRICT OF CUMBERLAND PARISH OF FENWICK</p> <p>SCALE 1: 500 LENGTHS IN METRES</p>	<p>Registered Number</p> <p style="font-size: 1.5em;">P182467</p> <p>APPROVED <u>2 MAY 2023</u> EFFECTIVE FROM</p> <p style="text-align: center;"><i>Adam Luke Downham</i> Recorder of Titles</p>
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

The diagram shows a large central lot labeled '1. 6874m²' with a small '(P2088)^{L0}' inside. The lot is bounded by several lines with measurements: top-left boundary is 43°49'40" and 96.36; top-right boundary is 99°28'00" and 42.15; right boundary is 112.90 and 192°34'40" (with '(P244508)' nearby); bottom-right boundary is 54°R/15' and 110; bottom boundary is 96.31 and 299°37'20" (adjacent to 'HIGHLAND LAKES ROAD'); left boundary is 25/11 and 2/41 (both with 'L0' superscripts). Other nearby parcels are labeled (P159232), (265/30)^{L0}, (114°R/31)^{L0}, (SP134098), (SP134099), (SP53245), and SI11106. A north arrow is on the right side.

<p><i>Adam Luke Downham</i> Registered Land Surveyor</p>	<p>8/9/2022 Date</p>
<p>..... Council Delegate</p>	<p>..... Date</p>



7562 Highland Lakes Road

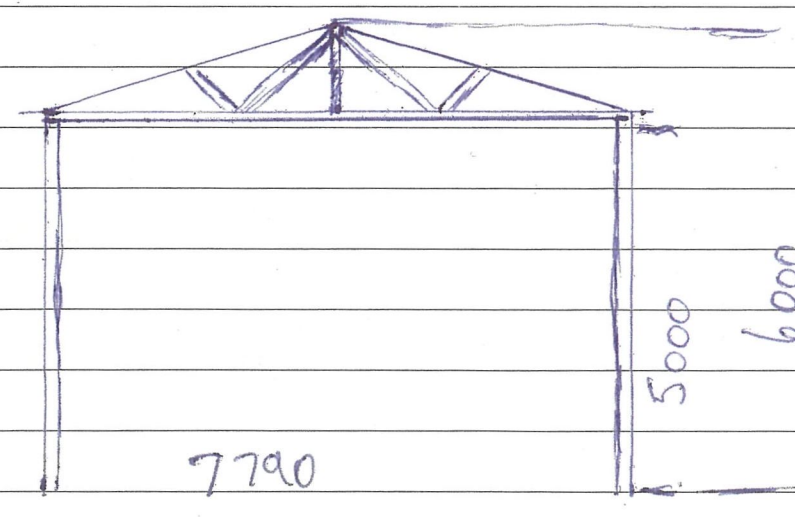
12680

3170

3170

3170

3170




5005

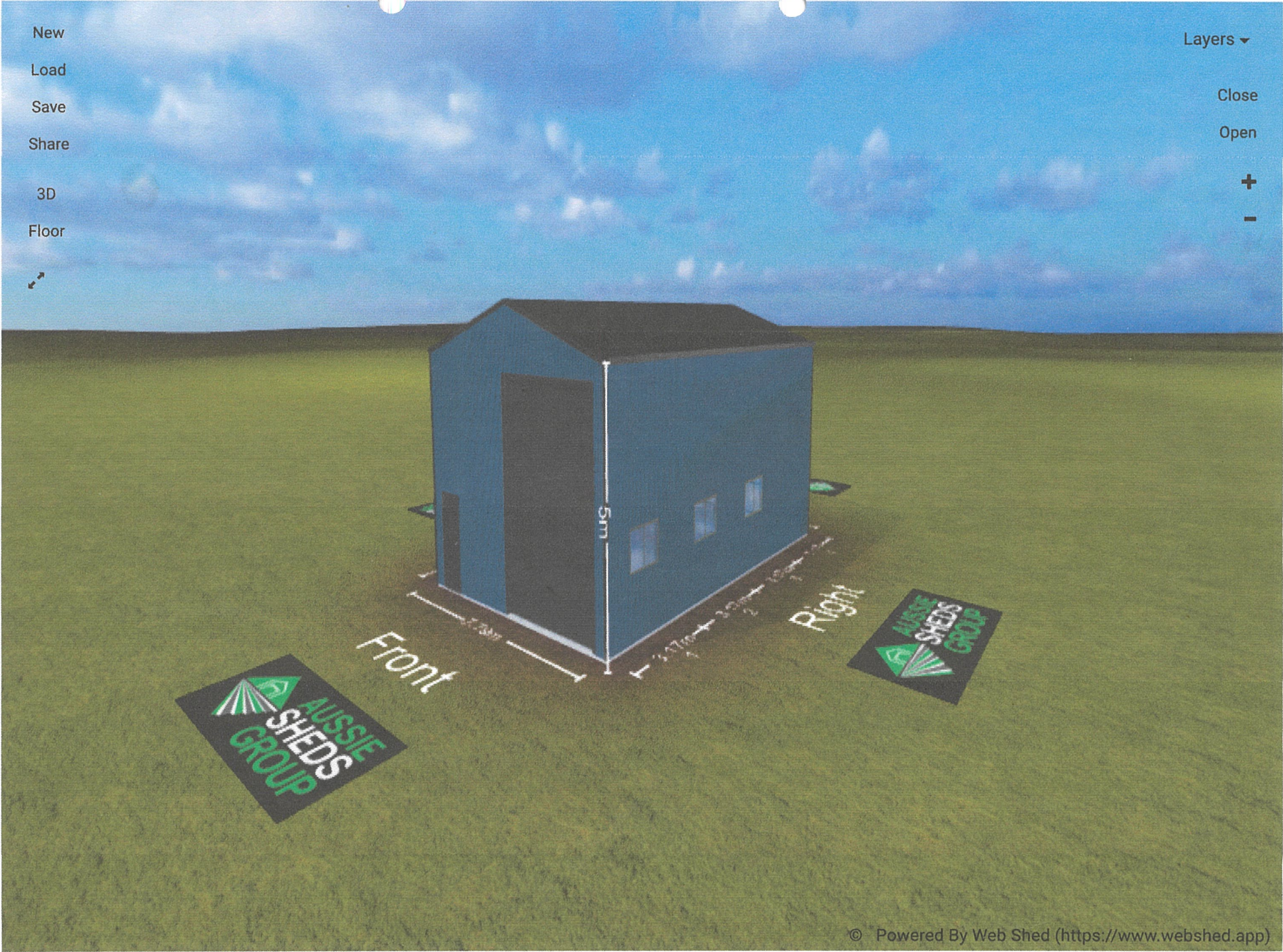
6009

7790

-  New
-  Size
-  Awnings
-  Walls
-  Extras
-  Colours
-  Objects
-  Quote

- Load
- Save
- Share
- 3D
- Floor
- 

- Layers ▾
- Close
- Open
- +
-



Left

Layers ▾

Area:
99m²

12.68m

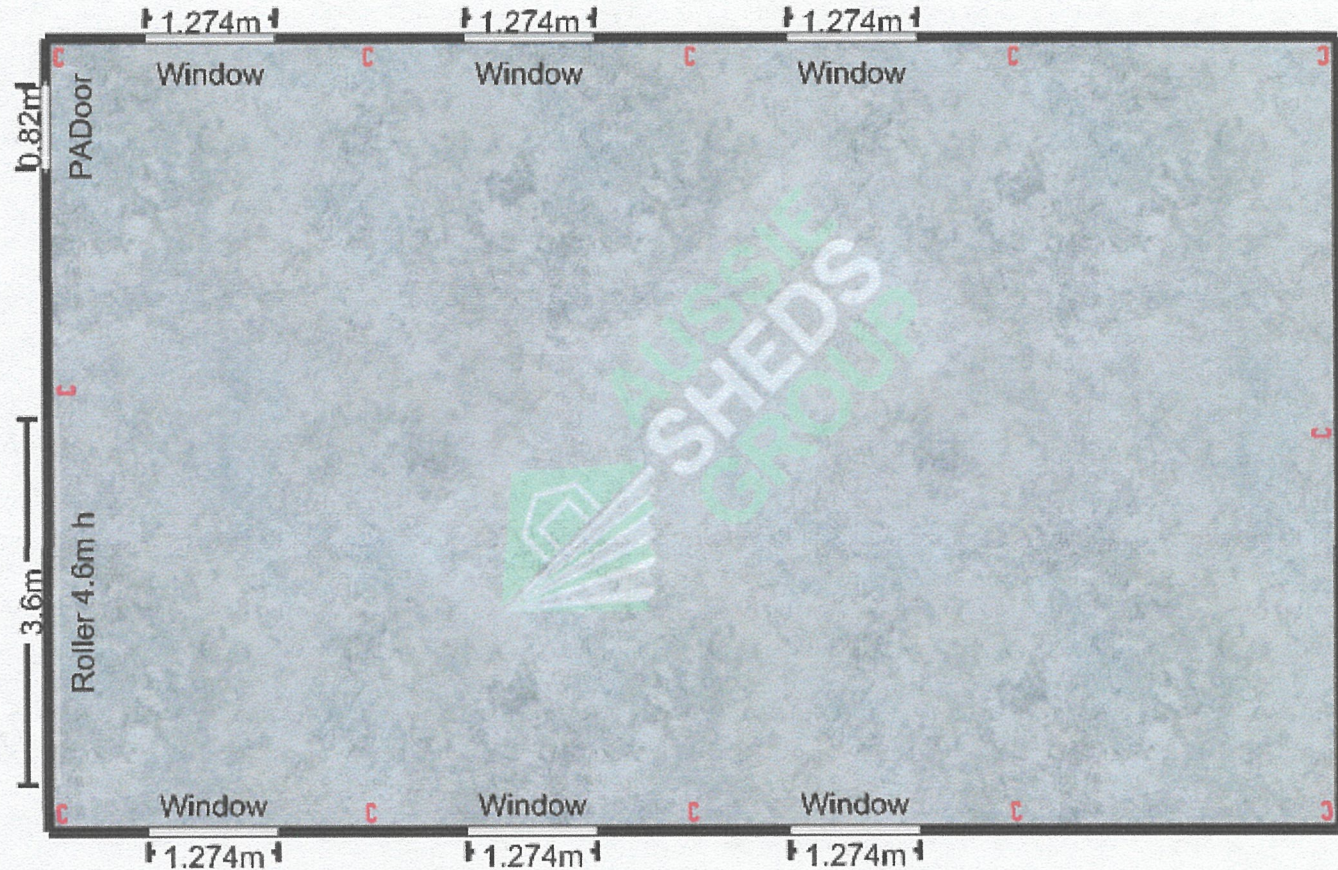
Diagonal:
14.882m
Close
Open

Front

7.79m

7.79m

Back



Right

3.17m
13.17m
23.17m
33.17m
4