



PUBLIC NOTICE DETAILS

PLANNING APPLICATION DETAILS

Application Number:	2025/30
Application Type:	Discretionary Development Application
Property Location:	18A Centreway Avenue, Wayatinah
Proposal:	Dwelling & Outbuilding
Applicant:	Erick Richmond
Advertising Commencement Date:	Wednesday 6 August 2025
Representation Period Closing Date:	Wednesday 20 August 2025
Responsible Officer:	Louisa Brown, Senior Planning Officer

The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal business hours.

Enquiries regarding this Application can be made by contacting Central Highlands Council on (03) 6259 5503 or by emailing development@centralhighlands.tas.gov.au. Please quote the "Application Number" when making your enquiry.

Representations on this application may be made to the General Manager in writing either by:

Post: 19 Alexander Street, Bothwell TAS 7030
Email: development@centralhighlands.tas.gov.au

All representations must include the authors full name, contact number and postal address and be received by 5.00pm on the representation period closing date.



central
highlands
COUNCIL

Development & Environmental Services
19 Alexander Street
BOTHWELL TAS 7030

Phone: (03) 6259 5503
Email: development@centralhighlands.tas.gov.au
www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name

Erick Richmond

Postal Address

Po Box 145

Phone No:

0423826156

Sorell

7172

Fax No:

Email address

info@richmondprojects.net

Owner/s Name

William Jackson / Linda Jackson (nee Crosswell).

(If not Applicant)

Postal Address

18A Centreway Avenue, Wayatinah

Phone No:

0417 742 489

TAS

7140

Fax No:

Email address:

billyboydrwho24@gmail.com

Description of proposed use and/or development:

Address of new use
and development:

18A Centreway Avenue, Wayatinah

Certificate of Title
No:

Volume No

130236

Lot No:

74

Description of
proposed use or
development:

Change of use to Class 1a

ie: New Dwelling / Additions / Demolition
/ Shed / Farm Building / Carport /
Swimming Pool or detail other etc.

Current use of land
and buildings:

Existing storage structure

Eg. Are there any existing buildings
on this title?
If yes, what is the main building
used as?

Proposed Material

What are the proposed
external wall colours

Grey

What is the proposed roof colour

Grey / shale.

What is the proposed
new floor area m².

What is the estimated value of
all the new work proposed:

\$

Is proposed development to be staged:
Is the proposed development located on land previously used as a tip site?
Is the place on the Tasmanian Heritage Register?
Have you sought advice from Heritage Tasmania?
Has a Certificate of Exemption been sought for these works?

Yes <input type="checkbox"/>	No <input type="checkbox"/>	Tick <input checked="" type="checkbox"/>
Yes <input type="checkbox"/>	No <input type="checkbox"/>	
Yes <input type="checkbox"/>	No <input type="checkbox"/>	
Yes <input type="checkbox"/>	No <input type="checkbox"/>	
Yes <input type="checkbox"/>	No <input type="checkbox"/>	

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the Land Use Planning Approvals Act 1993 (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature

(if not the Owner)

Applicant Name (Please print)

Erick Richmond

Date

Land Owner(s) Signature

William Jackson

Land Owners Name (please print)

William Jackson

Date

23/5/2025

Land Owner(s) Signature

Linda Jackson

Land Owners Name (please print)

Linda Jackson

Date

23/5/2025

(nee Crosswell)

Is proposed development to be staged:

Yes ☐

No ☐

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☐

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☐

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☐

Has a Certificate of Exemption been sought for these works?

Yes ☐

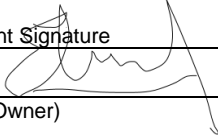
No ☐

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Applicant Signature



(if not the Owner)

Applicant Name (Please print)

Erick Richmond

Date

27/05/2025

Land Owner(s) Signature

Land Owners Name (please print)

William Jackson

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

PROPOSED CHANGE OF USE TO RESIDENTIAL USE

18A CENTREWAY AVENUE WAYATINAH

INDEX

SHEET NO.	SHEET NAME
A0.0	COVER PAGE
A0.1	GENERAL NOTES
A1.1	EXISTING SITE PLAN
A1.2	PROPOSED SITE PLAN
A1.4	OVERALL FLOOR PLAN
A1.5	PROPOSED FLOOR PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A3.0	PERSPECTIVES

SITE DETAILS

PLANNING ZONE:	CENTRAL HIGHLANDS COUNCIL
EXISTING SITE AREA:	1477M ²
EXISTING DWELING AREA:	452 M2
PRO. 1A DWELLING AREA:	137M ²

PROJECT INFORMATION

CLIENT: WILLIAM & LINDA JACKSON
TITLE REFERENCE: 130236/74
CLASSIFICATION: 1a CLASS
WIND CLASS: N3 -TBC
SOIL CLASS: CLASS M- TBC
CLIMATE ZONE: ZONE 7
TOPOGRAPHY CLASS: TBC
CORROSION ENVIRONMENT: N/A
KNOWN HAZARDS: N/A

LICENCE NO: 15023031 (QLD), 035660588 (TAS)

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REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE

PLANNING APPROVAL

PROJECT DETAILS

CHANGE OF USE TO 1a

18A CENTREWAY AVE.

WAYATINAH TAS

CLIENT DETAILS

WILLIAM & LINDA JACKSON

DRAWING TITLE

COVER PAGE

DRAWN

T.F

DESIGNED

E.R

CHECKED

E.R

ISSUE DATE

08/07/2025

DRAWING SCALE

1 : 50

SHEET SIZE

A3

01m2m3m4m5m6m7m8m9m10m

1:100 @ A11:200 @ A31:267 @ A4

PROJECT NUMBER

RP25046

DRAWING NUMBER

A0.0

REVISION

02

STANDARD SPECIFICATIONS

SOME ITEMS MAY NOT BE APPLICABLE TO THIS PROJECT

GENERAL NOTES:

1. CONTRACTOR TO CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE PROJECT MANAGER.
2. DO NOT SCALE OFF DRAWINGS.
3. REFER WRITTEN DIMENSIONS ONLY.
4. ALL DIMENSIONS ARE IN MILLIMETRES.
5. ALL DIMENSIONS TO BE CHECKED ON SITE.
6. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT LANDSCAPE, CIVIL, STRUCTURAL, ELECTRICAL, MECHANICAL, HYDRAULIC, FIRE & ENERGY EFFICIENCY DOCUMENTATION.
7. PROVIDE ADEQUATE NOGGING & SUBSTRATE FOR ALL RELEVANT JOINERY, FIXTURES & FITTINGS.
8. INSTALLATION OF ALL PROPRIETARY MATERIALS, FIXTURES & FITTINGS SHOULD BE REFERRED TO MANUFACTURER'S INSTRUCTIONS, SPECIFICATIONS AND DETAIL. DRAWINGS AND SUPPLEMENTARY SITE DATA PROVIDED.
9. ALL SECONDARY/SUB-CONTRACTORS TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING WORK.

CONSTRUCTION NOTES

QUERIES

REFER ALL QUERIES TO THE PROJECT MANAGER VIA MANAGING
CONTRACTOR/SITE FOREMAN

EXTERNAL WORKS

CONSTRUCTION OF ALL CIVIL WORKS SHOULD BE CARRIED OUT TO COMPLY WITH RELEVANT STANDARDS, CODES AND REQUIREMENTS OF THE LOCAL AUTHORITY.

PLEASE CHECK AND CONFIRM EXISTING AND PROPOSED RL'S MATCH THOSE ON SITE. IF THERE ARE ANY DISCREPANCIES PLEASE ADVISE SITE FOREMAN IMMEDIATELY. DO NOT POUR PAVEMENT FINISH IF THERE ARE ANY DOUBTS.

PROVIDE TEMPORARY SAFETY FENCING, HOARDING AND GATES AS REQUIRED.
CO-ORDINATE FENCING AND
ACCESS POINTS WITH THE OWNER BEFORE INSTALLATION.

ONLY REMOVE VEGETATION AS INDICATED ON LANDSCAPE DRAWINGS.
PROTECT ALL OTHER VEGETATION
DURING CONSTRUCTION. MAKE GOOD AND RE-INSTATE ALL DISTURBED AREAS.

MAKE GOOD ALL DISTURBED WORK.

UNLESS NOTED OTHERWISE, EXTERNAL CONCRETE PAVEMENT TO BE AS PER CIVIL ENGINEERS DOCUMENTS

HYDRAULIC

REFER HYDRAULIC DOCUMENTS FOR ALL NEW HYDRAULIC WORKS INCLUDING ANY RELEVANT CODE COMPLIANCE REQUIREMENTS.

ELECTRICAL

REFER ELECTRICAL DOCUMENTS FOR ALL NEW ELECTRICAL WORKS INCLUDING ANY RELEVANT CODE COMPLIANCE REQUIREMENTS.

STRUCTURAL

REFER TO STRUCTURAL DOCUMENTS FOR ALL STRUCTURAL WORKS INCLUDING
ANY RELEVANT CODE COMPLIANCE REQUIREMENTS

EMERGENCY LIGHTING (REFER ELECTRICAL DRAWINGS)
EMERGENCY LIGHTING TO COMPLY WITH CLAUSE E4.2 AND E4.4 OF THE BCA
PROVIDE ILLUMINATED EXIT SIGNS AT ALL REQUIRED PATHS OF TRAVEL TO
COMPLY WITH CLAUSES E4.5 AND 4.8 OF THE BCA.

CONSTRUCTION NOTES_CONTINUED

EXITS (REFER ELECTRICAL DRAWINGS)
 PROVIDE ILLUMINATED EXIT SIGNS AT ALL REQUIRED PATHS OF TRAVEL TO
 COMPLY WITH CLAUSES E4.5 AND
 E4.8 OF THE BCA.

FIRE HOSE REELS (REFER HYDRAULIC DRAWINGS)
 PROVIDE FIRE HOSE REEL LENGTH IN ACCORDANCE WITH CLAUSE E4.1 OF THE
 BCA & AS 2441.

FIRE EXTINGUISHERS (REFER HYDRAULIC DRAWINGS)
 PROVIDE FIRE EXTINGUISHERS TO COMPLY WITH CLAUSE E1.6 OF THE BCA. TO BE
 PROVIDED AND INSTALLED TO
 COMPLY WITH AS1841.5 & AS.2444 ORDINARY HAZARD CLASS A.

FIRE HAZARD PROPERTIES (REFER BA CONDITIONS)
ALL BUILDING MATERIALS AND ASSEMBLIES TO COMPLY WITH CLAUSE C1.10 OF THE BCA.
FLAMMABILITY INDEX NOT MORE THAN 5 (SARKING TYPE MATERIAL) SPREAD OF FLAME INDEX NOT MORE THAN 9,
SMOKE DEVELOPMENT INDEX NOT MORE THAN 8 (IF SPREAD OF FLAME INDEX IS MORE THAN 5)

EXIT DOOR HARDWARE (REFER BA CONDITIONS)
TO COMPLY WITH CLAUSE D2.21 OF THE BCA AND CLAUSE 11, AS 1428.1. EXIT
DOORS OR DOORS IN A PATH OF
TRAVEL MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT
FACES A PERSON SEEKING EGRESS.
DOOR HARDWARE TO BE LOCATED BETWEEN 900mm AND 1100mm ABOVE FFL.

ALL EXIT DOOR LATCHES AND HANDLES TO COMPLY WITH CLAUSE D2.21 OF THE
BCA.

TOILET DOORS

TO HAVE KNOCK OFF HINGES TO COMPLY WITH CLAUSE F2.5 OF THE BCA.
IDENTIFICATION OF ACCESSIBLE
DISABLED FACILITIES. PROVIDE SIGNAGE INCORPORATING THE INTERNATIONAL
SYMBOL OF ACCESS TO COMPLY
WITH AS.1428.1 TO IDENTIFY THE PATH OF TRAVEL TO EACH UNISEX DISABLED
FACILITY.

FLOOR FINISHES

FLOOR SURFACES ARE TO COMPLY WITH CLAUSE P1 OF QDC PART 1.0. ALL FLOORS TO HAVE EVEN SLIP-RESISTANT SURFACE, WITHOUT OBSTRUCTIONS WHICH CREATE TRIPPING OR STUMBLING HAZARDS.

FLOOR SURFACES TO BE WASHED DOWN MUST HAVE SURFACE FINISH IMPERVIOUS TO LIQUIDS USED FOR CLEANING.

FLOOR COVERINGS ARE TO BE PROVIDED THAT PREVENT SLIPS, TRIPS AND FALLS TO COMPLY WITH CLAUSE P1 OF QDC PART MP5.1

FLOOR DRAINAGE(REFER HYDRAULIC DRAWINGS)
FLOOR DRAINAGE TO COMPLY WITH CLAUSE P2 OF QDC PART MP5.1 FLOOR
AREAS TO BE HOSED DOWN TO HAVE
MIN. GRADES 1:25.

INSTALLATIONS, MATERIALS AND WORKMANSHIP

TO BE IN ACCORDANCE WITH:

d. RELEVANT AUSTRALIAN STANDARD & BUILDING CODE REQUIREMENTS.

CONCRETE FINISHES	AS3610.1-2010
METAL ROOF SHEETING	AS 1562.1
PREPAINTED STEEL	AS 2728
POWDERCOATING	AS3715
AAMA COATING PERFORMANCE SPEC	AAMA 2604
FLASHINGS & CAPPINGS	AS/NZS 2904
METAL RAINWATER GOODS	AS/NZS 2179
ROOF/STORMWATER DRAINAGE	AS/NZS 3500.3
SARKING	AS/NZS 4200 PARTS 1&2
SAFETY MESH	AS/NZS 4389
ROOF INSULATION (WITHOUT SAFETY MESH)	AS 4040.4
SAFETY SIGNS	AS 1319
FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS	AS 1657
GLAZED ASSEMBLIES	AS 2047 (BLDG CLASS 9b)
ALUMINIUM WINDOW & DOOR FRAMES	AS 1231
GLASS	AS 1288
WINDOWS & EXTERNAL GLAZING	AS 2047
BUILDING FACADE	AS4284
SAFETY GLASS	AS 2208
DAMP & WEATHERPROOFING - GENERAL	NCC 2022 BCA PART H2
WATERPROOFING OF WET AREAS	AS 3740 / NCC 2022 BCA PART H401
DAMP PROOF COURSE	AS/NZS 2904
TERMITE BARRIER	AS 3660
PLASTERBOARD	AS/NZS 2588 / AS 2589.1
FIBRE CEMENT	AS 2908.2
PAINTING	AS/NZS 2311
BALUSTRADES	NCC 2022 BCA PART H5
ENERGY EFFICIENCY	NCC 2022 BCA PART H6
ACCESS & EGRESS	NCC 2022 BCA PART H8
ACCESS FOR PEOPLE WITH A DISABILITY	NCC 2022 BCA PART H8
DISABILITY (ACCESS TO PREMISES - BUILDINGS)	STANDARDS 2010 / AS 1428.1
SIGNS & GRAPHICS FOR DISABLED ACCESS	AS 1428.1
TACTILE GROUND SURFACE INDICATORS	AS 1428.4
ROOF ACCESS SAFETY SYSTEM	WORK HEALTH & SAFETY REGULATIONS 2011
(FOR MAINTENANCE OF NEW ROOF & GUTTER)	
FALL ARREST SYSTEM	AS/NZS 1891
SLIP RESISTANCE	AS/NZS 4586 / CSIRO HB 197/AS3661/AS4663
POWERED DOOR FOR PEDESTRIAN ACCESS & EGRESS	AS 5007
THE STORAGE OF GASSES IN CYLINDERS	AS 4332
INSTALLATION & USE OF INERT GASES FOR	
BEVERAGE DISPENSING	AS 5034
CONSTRUCTION AND FIT OUT OF FOOD PREMISES	AS 4674
SLIP RESISTANCE OF PEDESTRIAN SURFACES	AS/NZS 3661.2
STEEL STRUCTURES	AS 4100
BLOCKWORK/BRICKWORK:	
DESIGN	AS4773 PART 1
CONSTRUCTION	AS4772 PART 2
MASONRY STRUCTURE	AS3700
STRUCTURAL DESIGN	AS1170
UNITS	AS4455
TESTING	AS4456
THE STORAGE & HANDLING OF LP GAS	AS 1596
THE STORAGE & HANDLING OF FLAMMABLE &	
COMBUSTIBLE LIQUIDS	AS 1940
THE DESIGN, INSTALLATION & OPERATION OF	
UNDERGROUND PETROLEUM STORAGE SYSTEMS	AS 4897
EXPLOSIVE ATMOSPHERES - CLASSIFICATION OF AREAS	AS 60079.10.1
PARKING FACILITIES	AS/NZS 2890
SMOKE ALARMS	AS3786

R

RICHMOND PROJECTS

M| (+61 0) 423 826 156

E| INFO@RICHMONDPROJECTS.NET

LICENCE NO: 15023031 (QLD), 035660588 (TAS)

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CONSENT.

NS 2011

AS4663

REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE

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PROJECT DETAILS

CHANGE OF USE TO 1a

18A CENTREWAY AVE.
WAYATINAH TAS

CLIENT DETAILS

WILLIAM & LINDA JACKSON

DRAWING TITLE

GENERAL NOTES

DRAWN

T.F

DESIGNED

E.R

CHECKED

E.R

ISSUE DATE

08/07/2025

DRAWING SCALE

1 : 50

SHEET SIZE

A3

1m2m3m4m5m6m7m8m9m10m

1:100 @A1□1:200 @A3□1:257 @A4

PROJECT NUMBER

RP25046

DRAWING NUMBER

A0.1

REVISION

02

CONSTRUCTION AND MATERIALS IN ACCORDANCE WITH AS 1684.2 AND AS 3959 FOR BUSHFIRE ATTACK LEVEL - BAL N/A GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047 WIND SPEED 40M/S N2

SITE GENERAL NOTES

CONFIRM ALL DIMENSIONS ON SITE TO EXISTING DWELLINGS PRIOR TO COMMENCEMENT OF ANY WORK. EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY. THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED. BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER CIVIL ENGINEERS DOCUMENTATION. ALL SITE WORKS SHALL BE IN ACCORDANCE WITH N.C.C., CSIRO BTF 18,19,22 AND AS2870 MINIMAL SITE DISTURBANCE IS TO BE CARRIED OUT. SEDIMENT CONTROL; 'GEOLAB' SILT FENCE 1000 OR SIMILAR. TOPSOIL STOCKPILES REMAINING ON THE SITE TO BE COVERED WITH PLASTIC, DEQUATELY RETAINED ALONG ALL EDGES. UNUSED STOCKPILES TO BE REMOVED FROM SITE OR USED FOR FUTURE LANDSCAPING.

SITE PREPARATION AND EXCAVATION

IN ACCORDANCE WITH PART 3.1 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS. INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150MM ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50 MM ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50 MM MIN. FALL FOR THE FIRST METRE AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS

CONCRETE FOOTINGS AND SLABS IN ACCORDANCE WITH PART 3.2 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS SPECS. UNLESS OTHERWISE SPECIFIED, FOOTINGS 25MPA / SLAB 25MPA. STRIP FOOTINGS TO BE PLACED WITH A MECHANICAL VIBRATOR. CONCRETE SLABS TO BE MOISTURE CURED FOR MIN. OF 7 DAYS OR APPLY APPROVED CURING COMPOUND. PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTRES ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

WORKPLACE HEALTH AND SAFETY

BUILDER SHALL COMPLY WITH ALL WORKPLACE HEALTH AND SAFETY REQUIREMENTS REQUIRED BY LEGISLATION FOR THE CONSTRUCTION OF THE STRUCTURE AND SHALL ASSES ALL WORKPLACE HEALTH AND SAFETY ISSUES BEFORE COMMENCEMENT OF CONSTRUCTION AND LIASE WITH THE DESIGNER IF NECESSARY TO AVOID/MINIMISE RISKS DURING CONSTRUCTION.

SERVICES

BUILDER TO LOCATE ALL SERVICES BEFORE COMMENCEMENT OF CONSTRUCTION. SEWERAGE TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND WATER SUPPLY ACT 1949. ROOF WATER DISCHARGE TO DOWNPIPES TO RAINWATER STORAGE TANKS IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS. TANK OVERFLOW TO BE DIRECTED OR DISCHARGE AS PER LOCAL AUTHORITY REQUIREMENTS. RAINWATER TANK AND WASTE SERVICES TO BE CONNECTED TO LOCAL AUTHORITY SEWERAGE SYSTEM OR AS PER HYDRAULIC ENGINEERS DEISGN.

NOTE: RICHMOND PROJECTS GIVES NO WARRANTY REGARDING THE PRECENSE OF LOCATION OF BURIED SERVICES, INCLUDING NEW-INSTALLED SERVICES. "AS CONSTRUCTED" LOCATIONS MAY DIFFER FROM WHAT IS DRAWN ON THIS PLAN.

INITIAL IDENTIFICATION AS PER DBYD (DIAL BEFORE YOU DIG - TELEPHONE: 1100 HTTP://WWW.1100.COM.AU)



2m 4m 6m 8m 10m	
SITE INFORMATION	
SITE AREA	1477M²
TOTAL BUILDING AREA	452M²
TOTAL SITE COVERAGE	30.6%

1A1.1

EXISTING SITE PLAN

1 : 200

PIPELINE EASEMENT
2.0 WIDE
REFER TO TASWATER
DECOMISSIONED LETTER

DRAINAGE EASEMENT
VARIABLE WIDTH

CENTREWAY AVENUE

PROPERTY BOUNDARY

PROPERTY BOUNDARY

EXISTING SINGLE STORY
STRUCTURE

PROPERTY BOUNDARY

PROPERTY BOUNDARY

R

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CLIENT DETAILS

18A CENTREWAY AVE.
WAYATINAH TAS

WILLIAM & LINDA JACKSON

DRAWING TITLE

EXISTING SITE PLAN

DRAWN
T.F

DESIGNED
E.R

CHECKED
E.R

ISSUE DATE
08/07/2025

DRAWING SCALE
As indicated

SHEET SIZE
A3

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m

1:100 @A1 1:200 @A3 1:267 @A4

PROJECT NUMBER
RP25046

DRAWING NUMBER
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IN ACCORDANCE WITH PART 3.1 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS. INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150MM ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50 MM ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50 MM MIN. FALL FOR THE FIRST METRE AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS

CONCRETE FOOTINGS AND SLABS IN ACCORDANCE WITH PART 3.2 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS SPECS. UNLESS OTHERWISE SPECIFIED, FOOTINGS 25MPA / SLAB 25MPA. STRIP FOOTINGS TO BE PLACED WITH A MECHANICAL VIBRATOR. CONCRETE SLABS TO BE MOISTURE CURED FOR MIN. OF 7 DAYS OR APPLY APPROVED CURING COMPOUND. PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTRES ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

WORKPLACE HEALTH AND SAFETY

BUILDER SHALL COMPLY WITH ALL WORKPLACE HEALTH AND SAFETY REQUIREMENTS REQUIRED BY LEGISLATION FOR THE CONSTRUCTION OF THE STRUCTURE AND SHALL ASSES ALL WORKPLACE HEALTH AND SAFETY ISSUES BEFORE COMMENCEMENT OF CONSTRUCTION AND LIASE WITH THE DESIGNER IF NECESSARY TO AVOID/MINIMISE RISKS DURING CONSTRUCTION.

SERVICES

BUILDER TO LOCATE ALL SERVICES BEFORE COMMENCEMENTOF CONSTRUCTION. SEWERAGE TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND WATER SUPPLY ACT 1949. ROOF WATER DISCHARGE TO DOWNPIPES TO RAINWATER STORAGE TANKS IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS. TANK OVERFLOW TO BE DIRECTED OR DISCHARGE AS PER LOCAL AUTHORITY REQUIREMENTS. RAINWATER TANK AND WASTE SERVICES TO BE CONNECTED TO LOCAL AUTHORITY SEWERAGE SYSTEM OR AS PER HYDRAULIC ENGINEERS DEISGN.

NOTE: RICHMOND PROJECTS GIVES NO WARRANTY REGARDING THE PRECENSE OF LOCATION OF BURIED SERVICES, INCLUDING NEW-INSTALLED SERVICES. "AS CONSTRUCTED" LOCATIONS MAY DIFFER FROM WHAT IS DRAWN ON THIS PLAN.

INITIAL IDENTIFICATION AS PER DBYD (DIAL BEFORE YOU DIG - TELEPHONE: 1100 HTTP://WWW.1100.COM.AU)



SITE INFORMATION

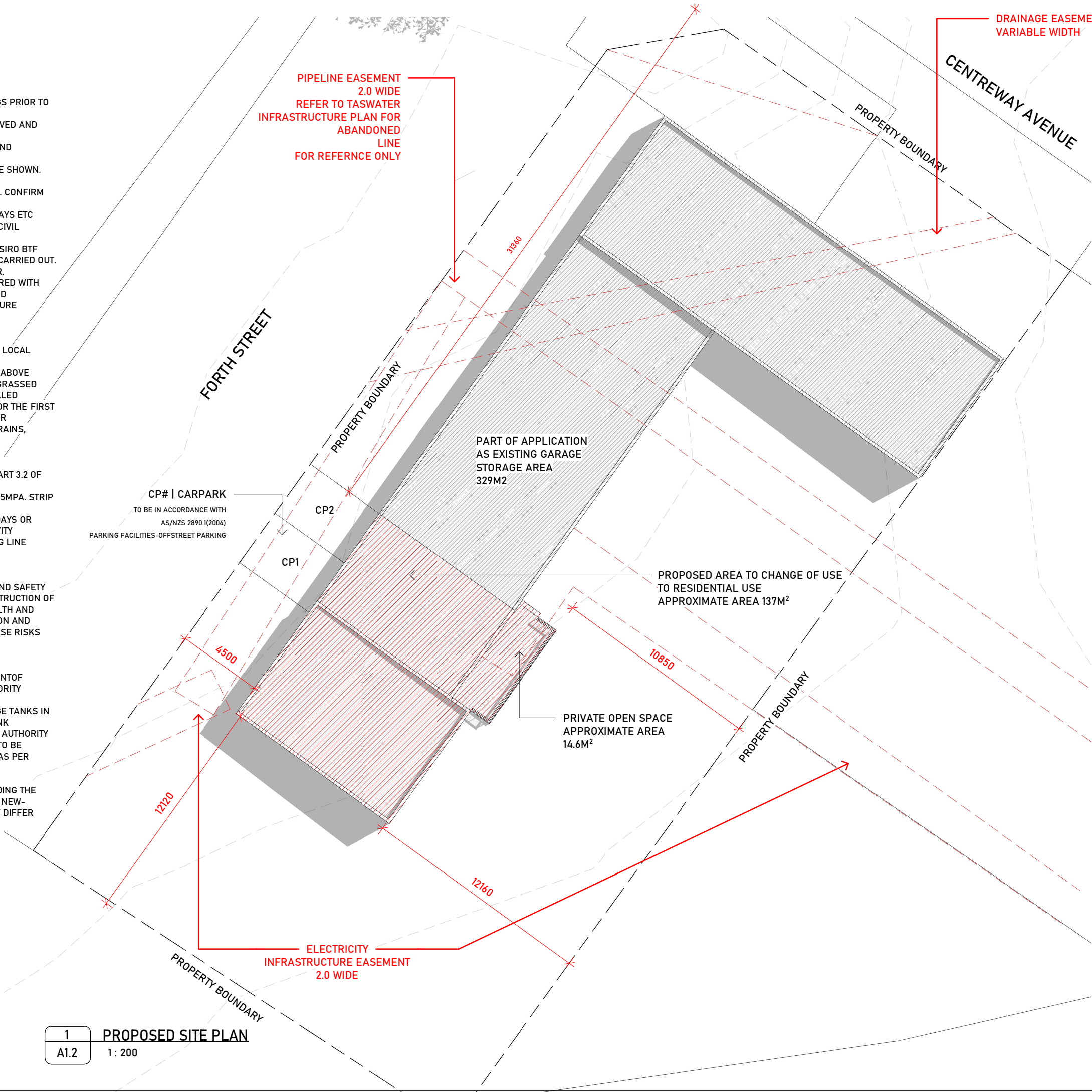
SITE AREA	1477M²
TOTAL BUILDING AREA	452M²
TOTAL SITE COVERAGE	30.6%

1

A1.2

PROPOSED SITE PLAN

1: 200



R

RICHMOND PROJECTS
M| (+61 0) 423 826 156
E| INFO@RICHMONDPROJECTS.NET

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REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE

PLANNING APPROVAL

PROJECT DETAILS

CHANGE OF USE TO 1a

CLIENT DETAILS

18A CENTREWAY AVE.
WAYATINAH TAS

WILLIAM & LINDA JACKSON

DRAWING TITLE

PROPOSED SITE PLAN

DRAWN

T.F

DESIGNED

E.R

CHECKED

E.R

ISSUE DATE

08/07/2025

DRAWING SCALE

As indicated

SHEET SIZE

A3

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m

1:100 @A1 1:200 @A3 1:267 @A4

PROJECT NUMBER

RP25046

DRAWING NUMBER

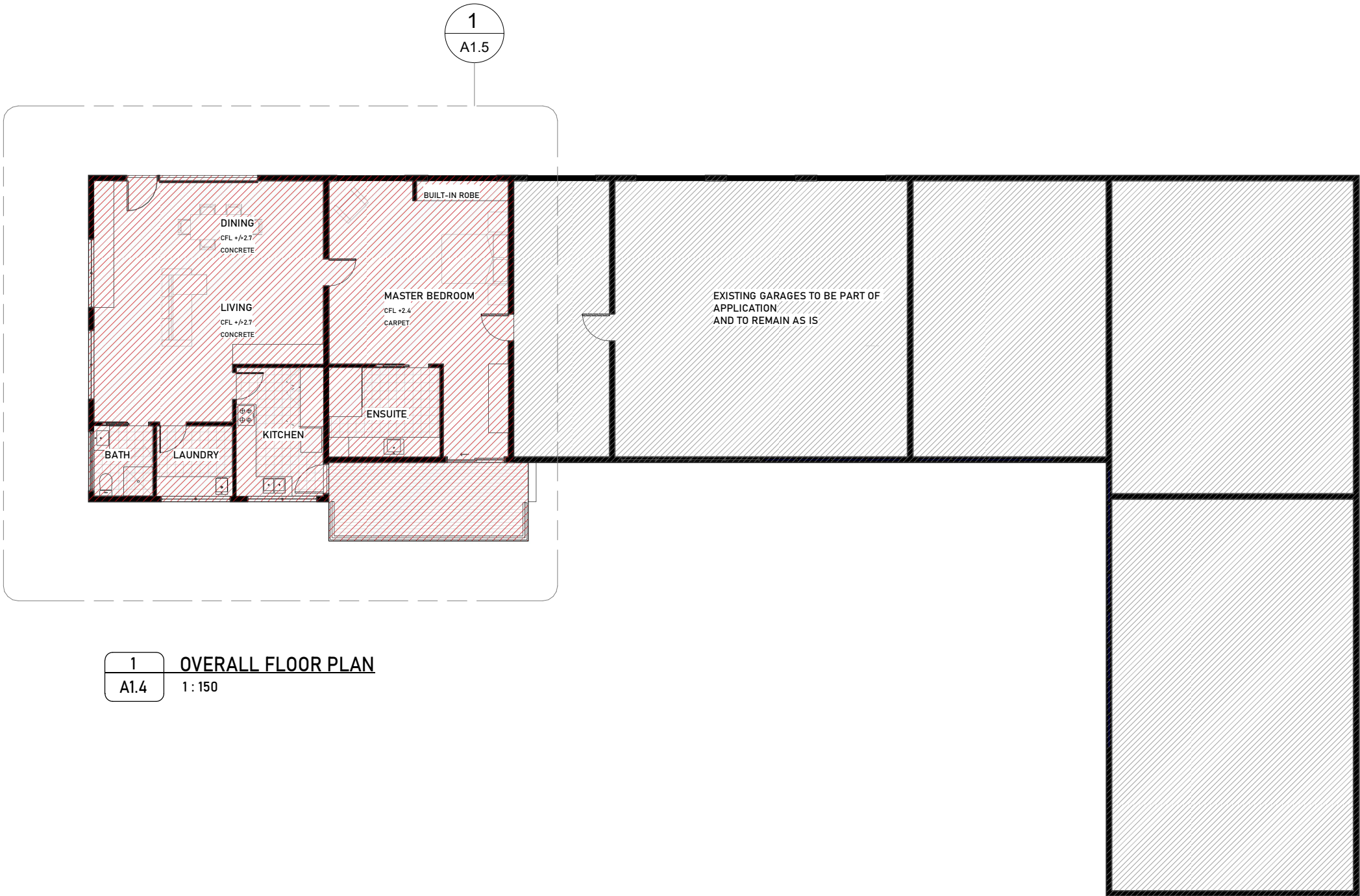
A1.2

REVISION

02

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1
A1.4

OVERALL FLOOR PLAN
1 : 150

REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
CHANGE OF USE TO 1a

18A CENTREWAY AVE.
WAYATINAH TAS

CLIENT DETAILS
WILLIAM & LINDA JACKSON

DRAWING TITLE
OVERALL FLOOR PLAN

DRAWN
T.F

DESIGNED
E.R

CHECKED
E.R

ISSUE DATE
08/07/2025

DRAWING SCALE
1 : 150

SHEET SIZE
A3

01m02m03m04m05m06m07m08m09m10m

1:100 @ A11:200 @ A31:267 @ A4

PROJECT NUMBER
RP25046

DRAWING NUMBER
A1.4

REVISION
02

ENERGY EFFICIENCY PROVISIONS (REFER TO BCA PART H6)
A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL DOOR & OPENABLE WINDOW (INCLUDING INTERNAL GARAGE DOOR). (A WINDOW COMPLYING WITH THE MAXIMUM AIR FILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH THE ABOVE)
A SEAL FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR (INCLUDING INTERNAL GARAGE DOOR) MUST BE A DRAFT PROTECTION DEVICE (RAVEN OR EQUIVALENT). OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW MAY BE A FOAM OR RUBBER COMPRENSSIBLE STRIP, FIBROUS SEAL OR THE LIKE.
ROOF, EXTERNAL WALLS, EXTERNAL FLOORS AND OPENINGS SUCH AS DOOR AND WINDOW FRAMES MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE, IE:

- ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT THE CEILING, WALL AND FLOOR JUNCTIONS; OR
- SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

SARKING
VAPOUR PERMEABLE WALL WRAP INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS. (WILL BE SPECIFIC FOR DIFFERENT BUILDINGS).
VAPOUR PERMEABLE ROOF SARKING INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS. (WILL BE SPECIFIC FOR DIFFERENT BUILDINGS). WATER MUST HAVE A CLEAR UNIMPEDED PATH OF TRAVEL TO THE GUTTER.
CONDENSATION
REFERENCE SHOULD BE MADE TO THE ABCB CONDENSATION IN BUILDINGS HANDBOOK 2014, AND CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS' GUIDE (BY BUILDING STANDARDS AND OCCUPATIONAL LICENSING)

BUILDING FABRIC - INSULATION REQUIREMENTS (CLIMATE ZONE 7)
INTERNAL WALLS:
VAPOUR PERMEABLE SARKING (FACING CAVITY): R0.43
FIBREGLASS WALL BATTS R2.5
R2.99 ACHIEVED

ROOF & CEILING: *(BASED ON SOLAR ABSORPTANCE VALUE OF 0.45):*
BCA VALUE FOR PITCHED ROOF R0.21
VAPOUR PERMEABLE SARKING
(VENTILATED ROOF SPACE): R0.59
R4.0 BATTS ON TOP OF CEILING: R4.0
R4.8 ACHIEVED

FLOOR INSULATION
(ENCLOSED PERIMETER)
CONCRETE SLAB: N/A
MIN. ADDITIONAL FLOOR INSULATION: R2.3
R2.3 ACHIEVED

EXTERNAL WINDOWS AND DOORS
COMPRESSIBLE STRIP, FOAM, RUBBER OR FIBROUS SEAL TO ALL EXTERNAL WINDOW SASHES AND EXTERNAL DOORS.
EXTERNAL FANS
SELF CLOSING DAMPER OR FILTER TO BE FITTED.
CONSTRUCTION OF ROOFS, WALLS AND FLOORS.
ALL JUNCTIONS INSIDE OF EXTERNAL SKIN TO BE FULLY SEALED WITH CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR SQUARE STOP.
AIR MOVEMENT
REFER WINDOW & DOOR LOCATIONS FOR AIR MOVEMENT & VENTILATION PROVISIONS.
SERVICES
IF HOT WATER CYLINDER IS TO BE INSTALLED IN CONDITIONED SPACE INSULATION OF PIPE WORK IS NOT REQUIRED. IF HOT WATER CYLINDER IS TO BE INSTALLED EXTERNALLY. INSULATION OF PIPE WORK MIN 1 METRE FROM HOTWATER OUTLET.

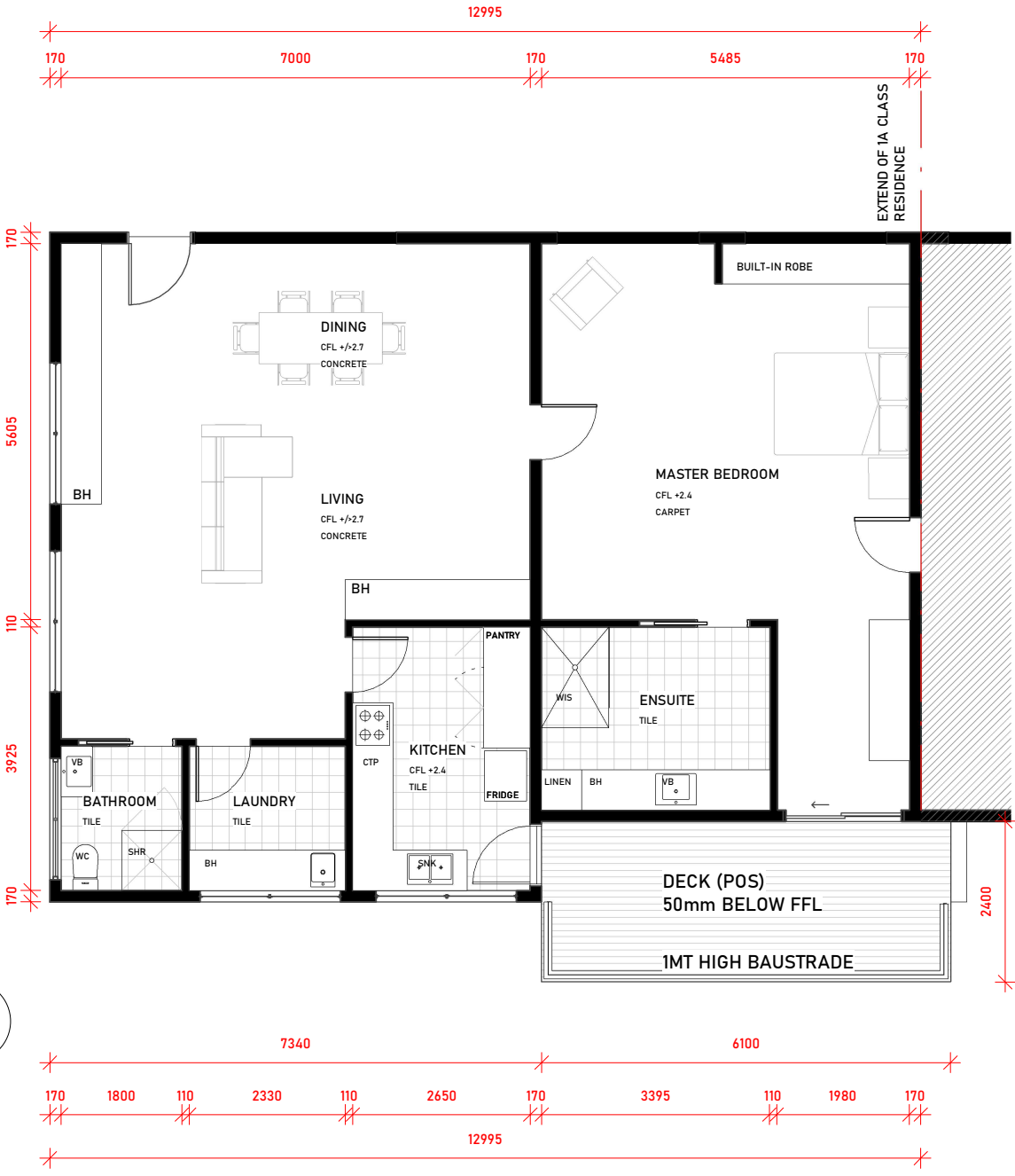
LIVABLE HOUSING AUSTRALIA NOTES:
A. PROVIDE A SAFE, CONTINUOUS STEP-FREE PATHWAY FROM THE FRONT BOUNDARY OF THE PROPERTY TO AN ENTRY DOOR TO THE DWELLING. THIS PROVISION DOES NOT APPLY WHERE THE AVERAGE SLOPE OF THE GROUND WHERE THE PATH WOULD FEATURE IS STEEPER THAN 1:14.
B. THE PATH OF TRAVEL REFERRED TO IN (A) SHOULD HAVE A MINIMUM CLEAR WIDTH OF 1000MM AND HAVE:
I. NO STEPS;
II. AN EVEN, FIRM, SLIP RESISTANT SURFACE;
III. A CROSSFALL OF NOT MORE THAN 1:40;
IV. A MAXIMUM PATHWAY SLOPE OF 1:14
WHERE RAMPS ARE REQUIRED THEY SHOULD HAVE LANDINGS PROVIDED AT NO GREATER THAN 9M FOR A 1:14 RAMP AND NO GREATER THAN 15M FOR RAMPS STEEPER THAN 1:20. LANDINGS SHOULD BE NO LESS THAN 1200MM IN LENGTH.
C. THE PATH OF TRAVEL REFERRED TO IN (A) MAY BE PROVIDED VIA AN ASSOCIATED CAR PARKING SPACE FOR THE DWELLING. WHERE A CAR PARKING SPACE IS RELIED UPON AS THE SAFE AND CONTINUOUS PATHWAY TO THE DWELLING ENTRANCE, THE SPACE SHOULD INCORPORATE:
I. MINIMUM DIMENSIONS OF AT LEAST 3200MM (WIDTH) X 5400MM (LENGTH);
II. AN EVEN, FIRM AND SLIP RESISTANT SURFACE; AND
III. A LEVEL SURFACE (1:40 MAXIMUM GRADIENT, 1:33 MAXIMUM GRADIENT FOR BITUMEN)

1m2m3m4m5m	
FLOOR INFORMATION	
FLOOR AREA	137.4M²
DECK AREA	14.6M²
TOTAL AREA	152M²

A2.0
3

A2.1
2

A2.0
1



1
A1.5
PROPOSED FLOOR PLAN
1 : 100

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LEGEND & NOTES

BH	BENCH
BTH	FREE STANDING BATHTUB
CTP	COOKTOP SELECTED BY OWNER
CFT.	CERAMIC FLOOR TILE, BY OWNER
CA.	CARPET WITH AIRSTEP STEPMAX (OR EQUIVALENT) FOAM UNDERLAY
D01	DOOR NUMBER - REFER TO DOOR SCHEDULE
E.FT	EXTERNAL GRADE FLOOR TILE SELECTED BY OWNER, FINISH TBC
FFL	FINISHED FLOOR LEVEL
FW	FLOOR WASTE
GT	ZINCALUME QUAD GUTTER FINISH TO MATCH ROOFING
HW	HOT WATER CYLINDER INSTALL TO MAN. SPECS
LMF	FLOATING FLOOR SELECTED BY OWNER
MB.	METERBOX
RW	RETAINING WALL - REFER TO SPECS
WIS	WALK-IN SHOWER - REFER TO BATHROOM DETAIL PLAN
WC	WATER CLOSET
WM	WASHING MACHINE
W01	WINDOW NUMBER - REFER TO SCHEDULES

REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE

PLANNING APPROVAL

PROJECT DETAILS

CHANGE OF USE TO 1a

18A CENTREWAY AVE.

WAYATINAH TAS

CLIENT DETAILS

WILLIAM & LINDA JACKSON

DRAWING TITLE

PROPOSED FLOOR PLAN

DRAWN

T.F

DESIGNED

E.R

CHECKED

E.R

ISSUE DATE

08/07/2025

DRAWING SCALE

As indicated

SHEET SIZE

A3

01m2m3m4m5m6m7m8m9m10m

1:100@A11:200@A31:267@A4

PROJECT NUMBER

RP25046

DRAWING NUMBER

A1.5

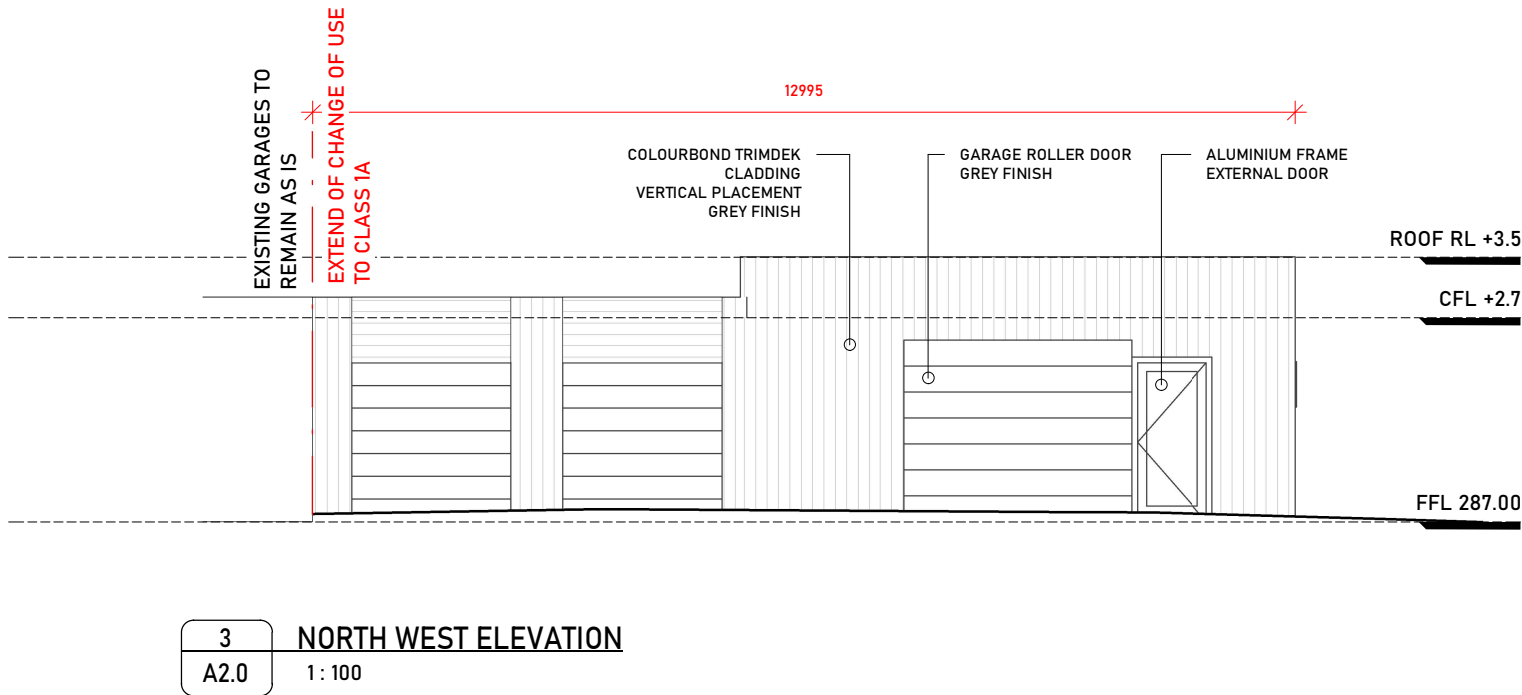
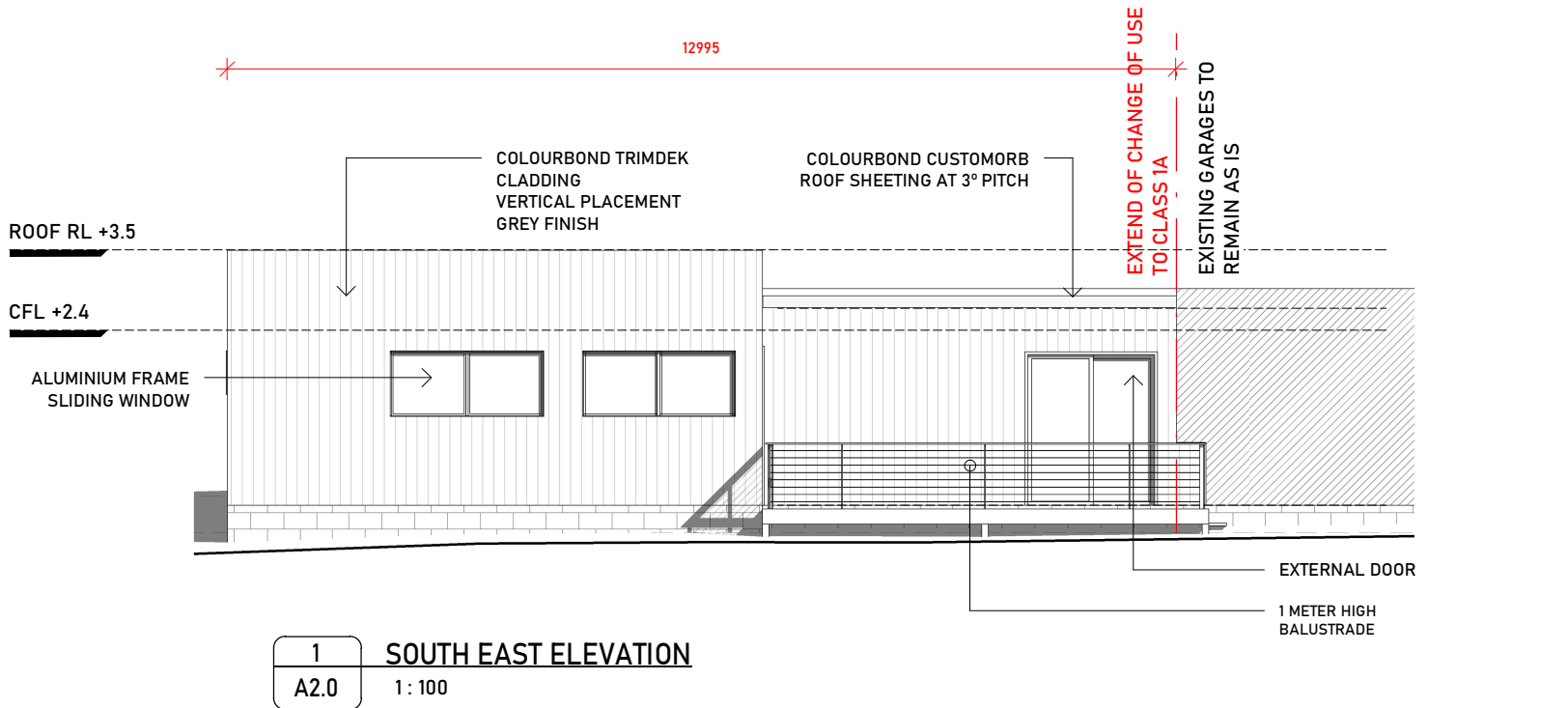
REVISION

02

CONSTRUCTION AND MATERIALS IN ACCORDANCE
WITH AS 1684.2 AND
AS 3959 FOR BUSHFIRE ATTACK LEVEL - BAL N/A
GLAZING TO BE IN ACCORDANCE WITH AS1288
AND AS2047 WIND SPEED 40M/S N2

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CONSENT.



REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
CHANGE OF USE TO 1a
18A CENTREWAY AVE.
WAYATINAH TAS

CLIENT DETAILS
WILLIAM & LINDA JACKSON

DRAWING TITLE
ELEVATIONS

DRAWN
T.F

DESIGNED

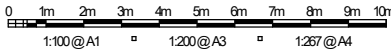
E.R

CHECKED

E.R

ISSUE DATE
08/07/2025

DRAWING SCALE SHEET SIZE
As indicated A3

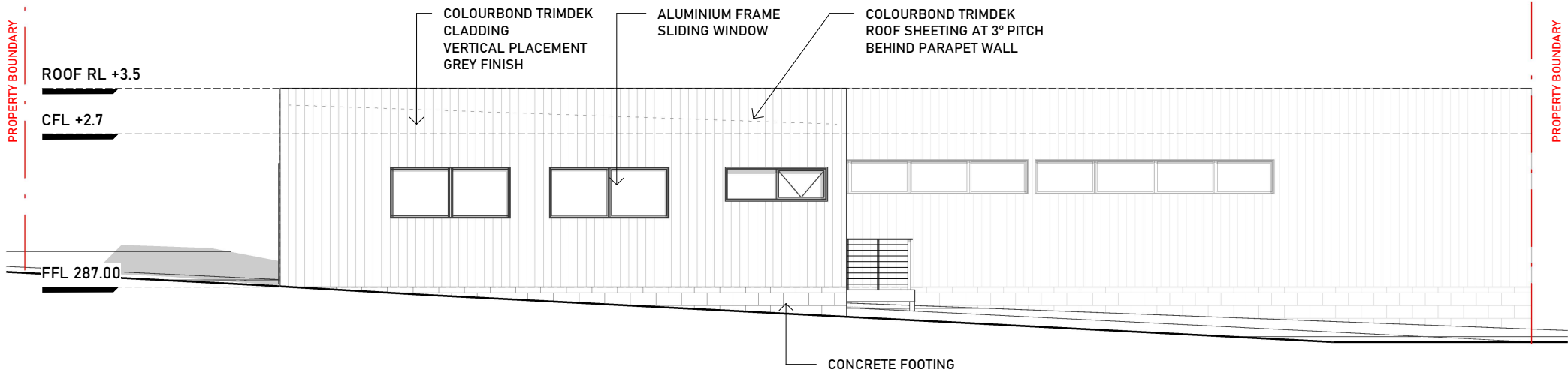


PROJECT NUMBER RP25046	DRAWING NUMBER A2.0	REVISION 02
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CONSTRUCTION AND MATERIALS IN ACCORDANCE
WITH AS 1684.2 AND
AS 3959 FOR BUSHFIRE ATTACK LEVEL - BAL N/A
GLAZING TO BE IN ACCORDANCE WITH AS1288
AND AS2047 WIND SPEED 40M/S N2

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CONSENT.



2
A2.1

SOUTH WEST ELEVATION
1 : 100

REV	AMENDMENT DETAILS	BY	DATE

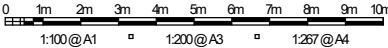
PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
CHANGE OF USE TO 1a
18A CENTREWAY AVE.
WAYATINAH TAS

CLIENT DETAILS
WILLIAM & LINDA JACKSON

DRAWING TITLE
ELEVATIONS

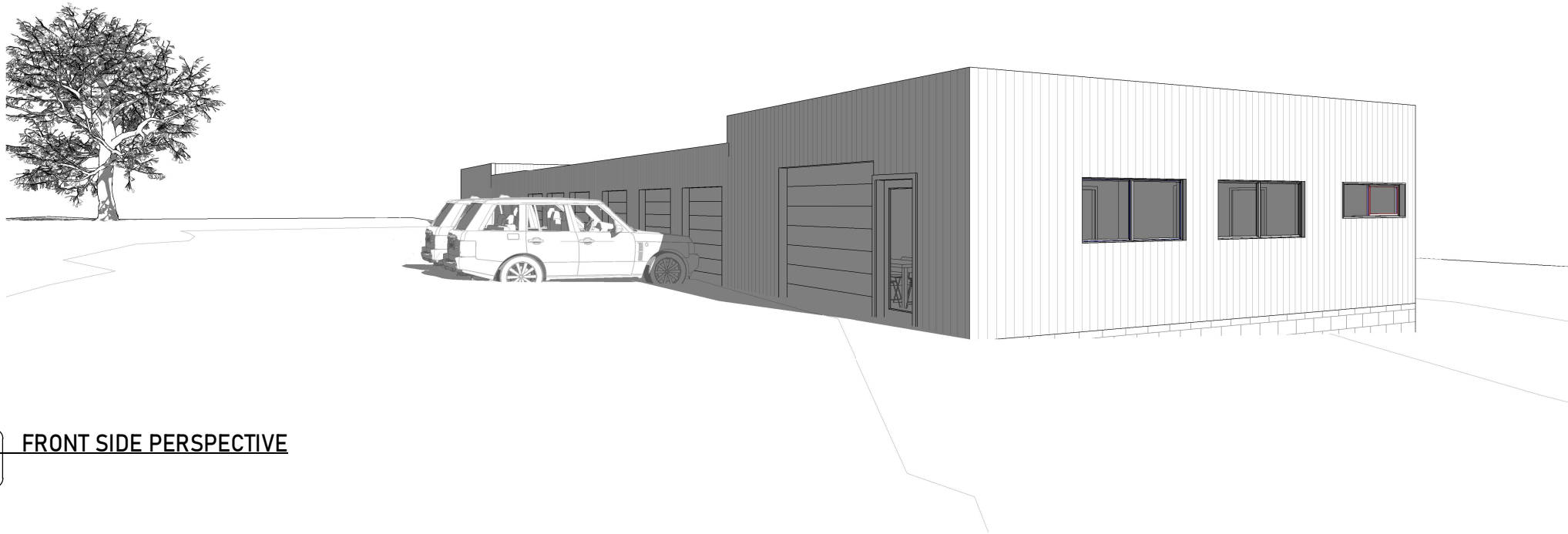
DRAWN
T.F
DESIGNED
E.R
CHECKED
E.R
ISSUE DATE
08/07/2025
DRAWING SCALE
As indicated
SHEET SIZE
A3



PROJECT NUMBER
RP25046
DRAWING NUMBER
A2.1
REVISION
02

LICENCE NO: 15023031 (QLD), 035660588 (TAS)

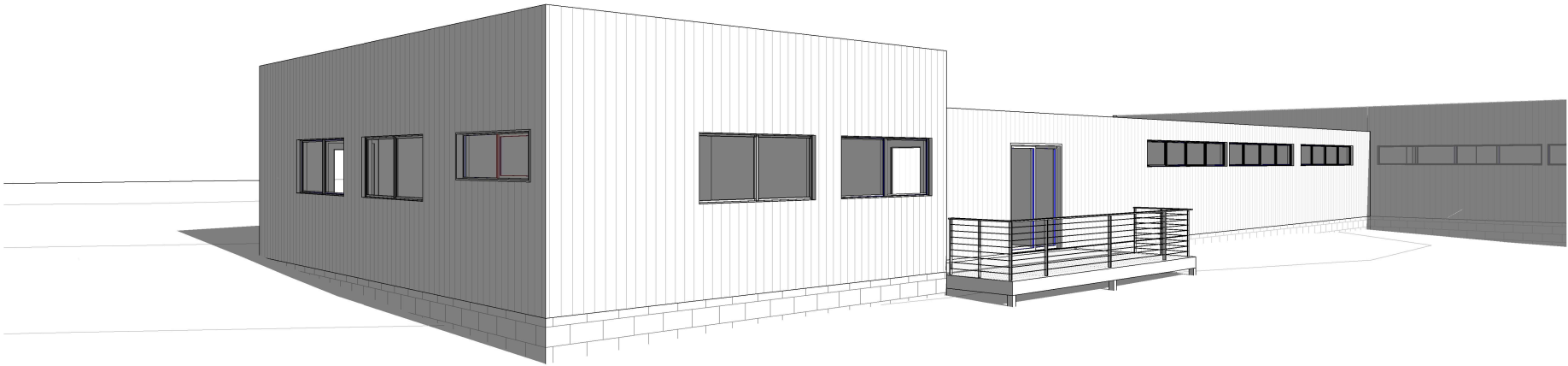
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1

A3.0

FRONT SIDE PERSPECTIVE



2

A3.0

BACK SIDE PERSPECTIVE

REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE
PLANNING APPROVAL

PROJECT DETAILS
CHANGE OF USE TO 1a
18A CENTREWAY AVE.
WAYATINAH TAS

CLIENT DETAILS
WILLIAM & LINDA JACKSON

DRAWING TITLE
PERSPECTIVES

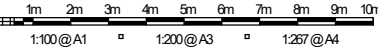
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E.R

ISSUE DATE
08/07/2025

DRAWING SCALE
A3



PROJECT NUMBER
RP25046

DRAWING NUMBER
A3.0

REVISION
02

SCHEDULE OF EASEMENTS	REGISTERED NUMBER
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 130236

PAGE 1 OF 2 PAGE/S
3**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and

(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and

(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS CONTINUED

Lots 7 and 53 to 57 on the plan are each subject to a right of drainage for Central Highlands Council over such portion of the Drainage Easement shown on the plan

LOTS 5, 6, 8-10, 13-20, 24, 27-36, 49, 51, 58-67, 71 and 74 on the Plan are each **SUBJECT TO** a 'Pipeline Easement' (hereinafter defined) for the Central Highlands Council over such portion of the Pipeline Easement shown on the plan passing through such lot.

LOTS 3-6, 8-12, 43, 51, 52, 63, 64, 67, 73, 74, 76-78 are each **SUBJECT TO** an 'Electricity Infrastructure Easement' (hereinafter defined) over such portion of the 'Electricity Infrastructure Easement' shown on the Plan passing through such lot for the Hydro-Electric Corporation.

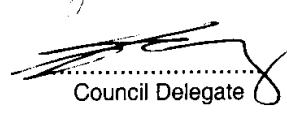
DEFINITION

Easement on page 3 herein

'Electricity Infrastructure Easement' means Electricity Infrastructure/ as defined by Section 3 of the ~~Electricity Supply Industry Restructuring (Savings and Transitional Provisions) Act 1995~~.

'Pipeline Easement' means the full and free right and liberty for the Central Highlands Council to lay and forever maintain water pipes of such size and number as the Council may from time to time require in over and through the land marked on the Plan as subject to the Pipeline Easement (hereinafter called 'the said land') and to use such water pipes for the purposes of carrying and supplying water to such parts of the lots as the Council may from time to time determine and to enter onto the said land from time to time and at all times with surveyors workmen and others to inspect the condition of the said water pipes and to repair alter and amend and cleanse the same and from time to time for the purposes aforesaid or any of them to bring and place upon the said land or any part thereof such materials machinery and other things as the Council may think proper and to dig up the surface of the same removing and carrying away all surplus soil and rock and doing as little damage and injury as possible to the surface of the said land and the crops for the time being thereon.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Hydro-Electric Corporation FOLIO REF: 115190/1 SOLICITOR & REFERENCE: R.A. Kimber File 61492	PLAN SEALED BY: <i>Central Highlands Council</i> DATE: <i>27 April 1995</i> <i>ck(a) 27/4/95</i> REF NO. <i>_____</i>  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

PIN OR STAPLE HERE
DO NOT GUM THIS
FORM TO THE INSTRUMENT

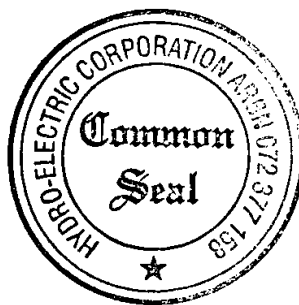
ANNEXURE PAGE

PAGE 2 OF 2 PAGES
Vol. 115190 Fol. ³1.....

FENCING COVENANT

each lot
The Owners of ~~Lots 1-78 and 100~~ on the plan covenant with the Hydro-Electric Corporation (hereinafter called 'the Vendor') that the Vendor shall not be required to fence.

The Common Seal of the
HYDRO-ELECTRIC CORPORATION
ARBN 072 377 158 as Registered Proprietor
of the land comprised in Certificate
of Title Volume 115190 Folio 1
was hereunto affixed
in the presence of



D.J. Nant
Director

F.B. Campbell
Secretary

NOTE:- Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Version 1

THE BACK OF THIS PAGE MUST NOT BE USED

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 3 OF 3 PAGES</p>	<p align="center">Registered Number</p> <p align="center">130236</p>
<p>SUBDIVIDER: - HYRDO-ELECTRIC CORPORATION</p> <p>FOLIO REFERENCE: - 115190/1</p>	
<p>ELECTRICITY INFRASTRUCTURE EASEMENT MEANS:</p> <p>FIRSTLY all the full and free right and liberty for the Hydro-Electric Corporation and its successors and its and their servants agents and contractors(hereinafter called "the Corporation") at all times hereafter:</p> <ul style="list-style-type: none"> a) TO maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including powerlines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (hereinafter called "electricity infrastructure") of such materials and type as the Corporation may determine above, on or under the land respectively marked "Electricity Infrastructure Easement" on the plan (hereinafter called the "servient land"). b) TO enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying , adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby. c) TO erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of the Corporation these are necessary for reasons of safety. d) TO cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure. e) TO enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land of the registered proprietor/s for the purpose of access and regress to and from the servient land. f) NOTHING herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient PROVIDED THAT such use does not derogate from this grant, or in the opinion of the Corporation, compromise the safe operation of the Corporation's electricity infrastructure located on, above or under the servient land. <p>SECONDLY the benefit of a covenant for the Hydro-Electric Corporation and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of the Corporation to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement hereinbefore described.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

<p>OWNER HYDRO ELECTRIC CORPORATION</p> <p>FOLIO REFERENCE C.T 115190/1</p> <p>GRANTEE WHOLE OF LOT 1 (49.22ha) VESTED IN THE H.E.C. BY PROCLAMATION UNDER SEC. 35 OF THE H.E.C. ACT 1944 1929 GAZETTED ON 22ND NOV. 1939 54</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR DAVID A. HURD</p> <p>LOCATION LAND DISTRICT OF LINCOLN PARISH OF LOUTH</p> <p>SCALE 1:10000 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP130236</p> <p>APPROVED 31 AUG 1998 EFFECTIVE FROM <i>Mudulkin</i> Recorder of Titles</p>
<p>MAPSHEET MUNICIPAL 4430 CODE No. 105 -20</p>	<p>LAST UPINo.EXT29 -1200-</p>	<p>LAST PLAN No. P. 115190</p>
<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		

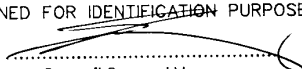
LOT NUMBER INDEX

ENLARGEMENT
NOT TO SCALE

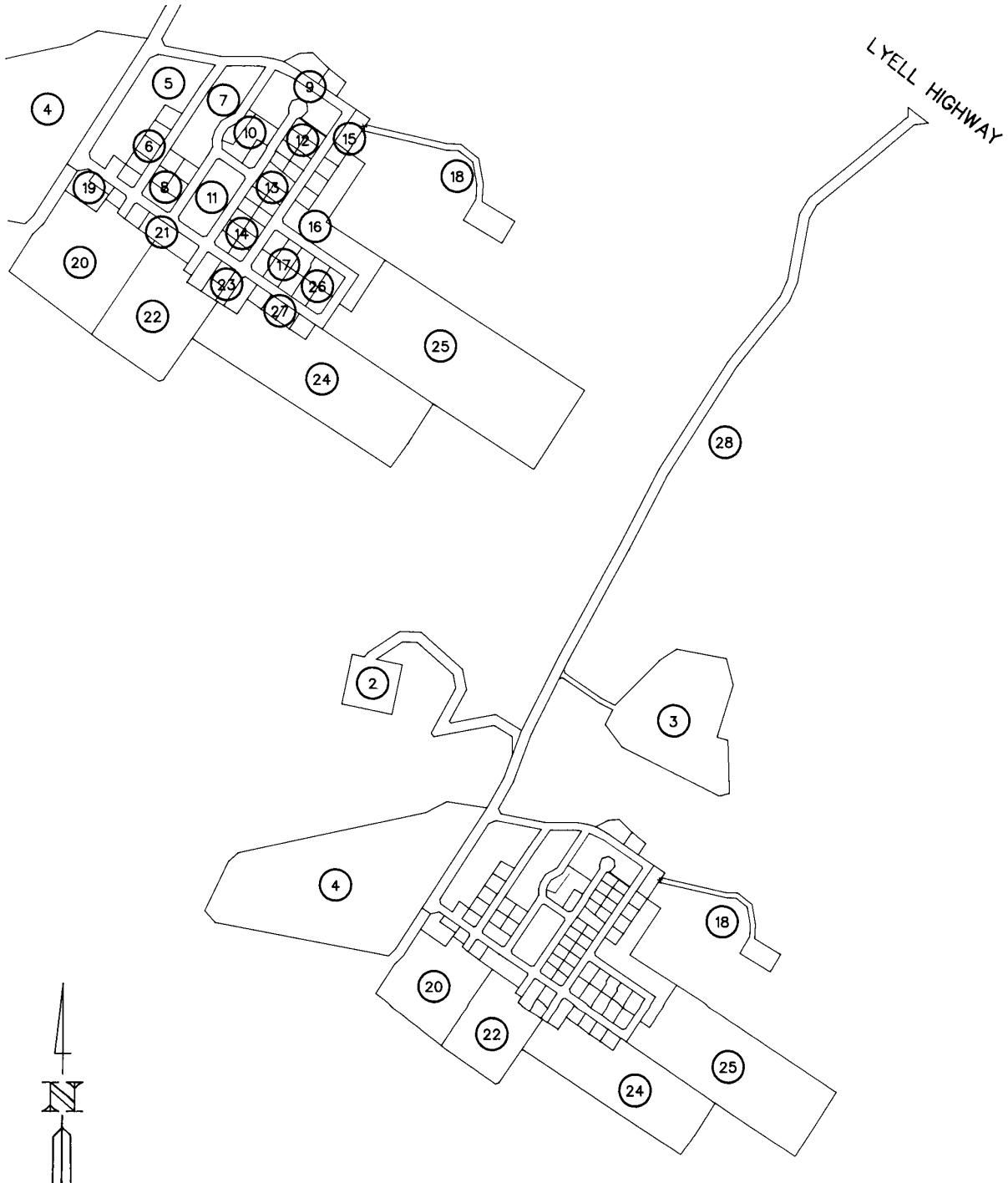
THE GRANTEE DETAILS HEREON HAVE BEEN
AMENDED UNDER SECTION 139 OF
THE LAND TITLES ACT 1980

Alice Kawa
RECORDER OF TITLES
11 OCTOBER 2001

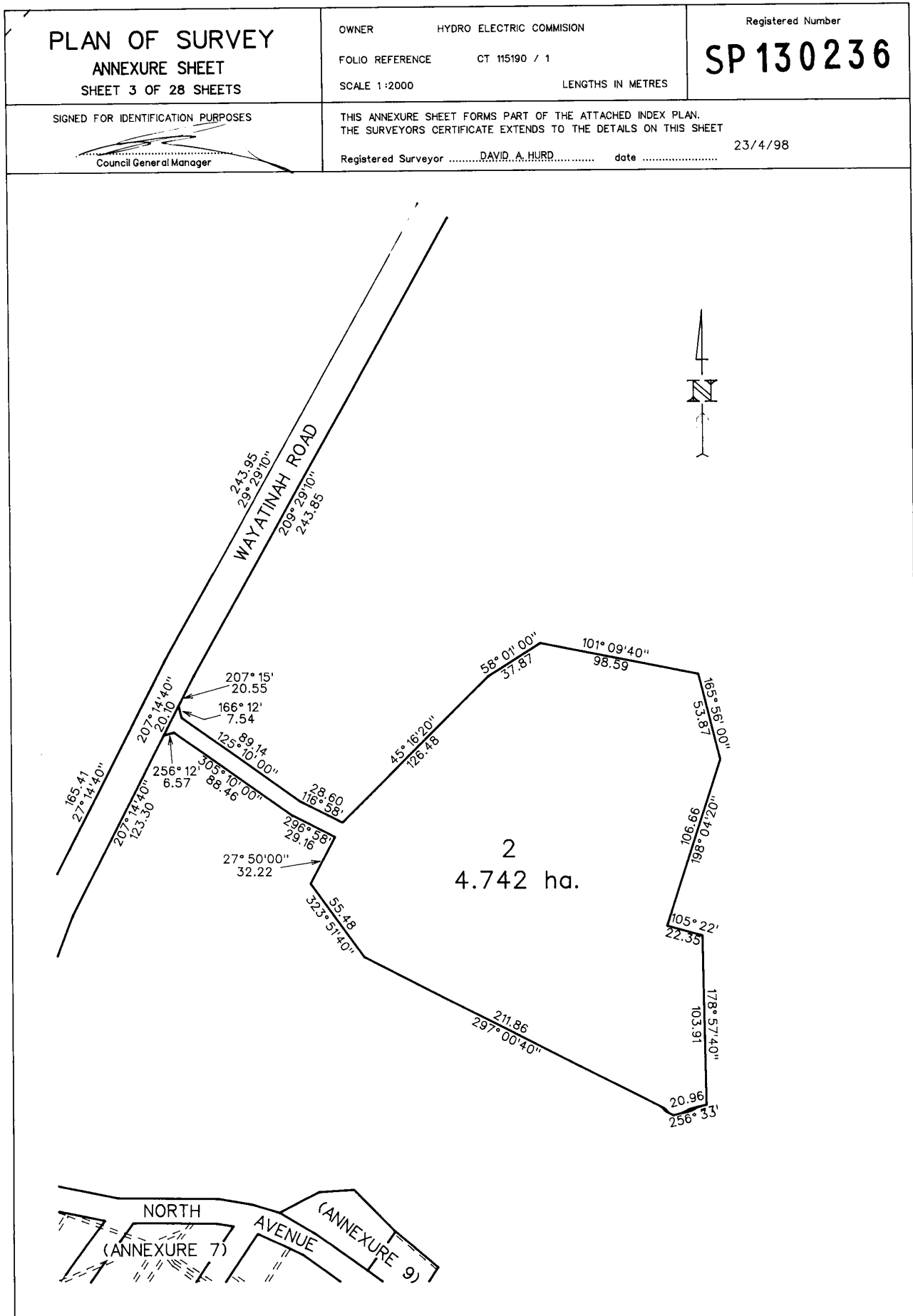
**LYELL
HIGHWAY**

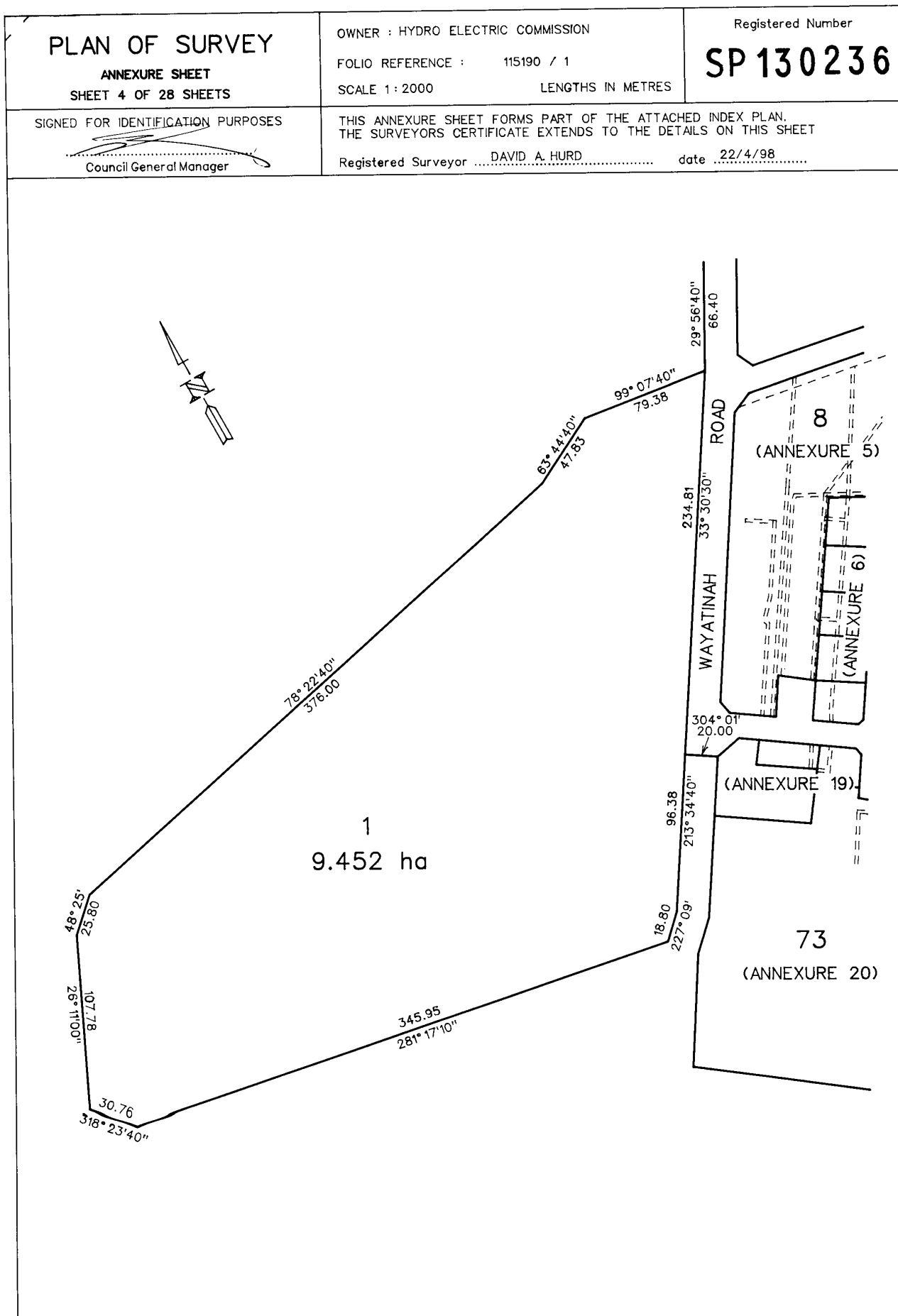
<p style="text-align: center;">PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 28 SHEETS</p>	<p>OWNER : HYDRO ELECTRIC COMMISSION</p> <p>FOLIO REFERENCE : CT 115190 / 1</p> <p>SCALE 1:7500 LENGTHS IN METRES</p>	<p style="text-align: center;">Registered Number</p> <p style="font-size: 1.5em; text-align: center;">SP130236</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p style="text-align: center;"> Council General Manager</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p>Registered Surveyor DAVID A. HURD date 23/4/98</p>	

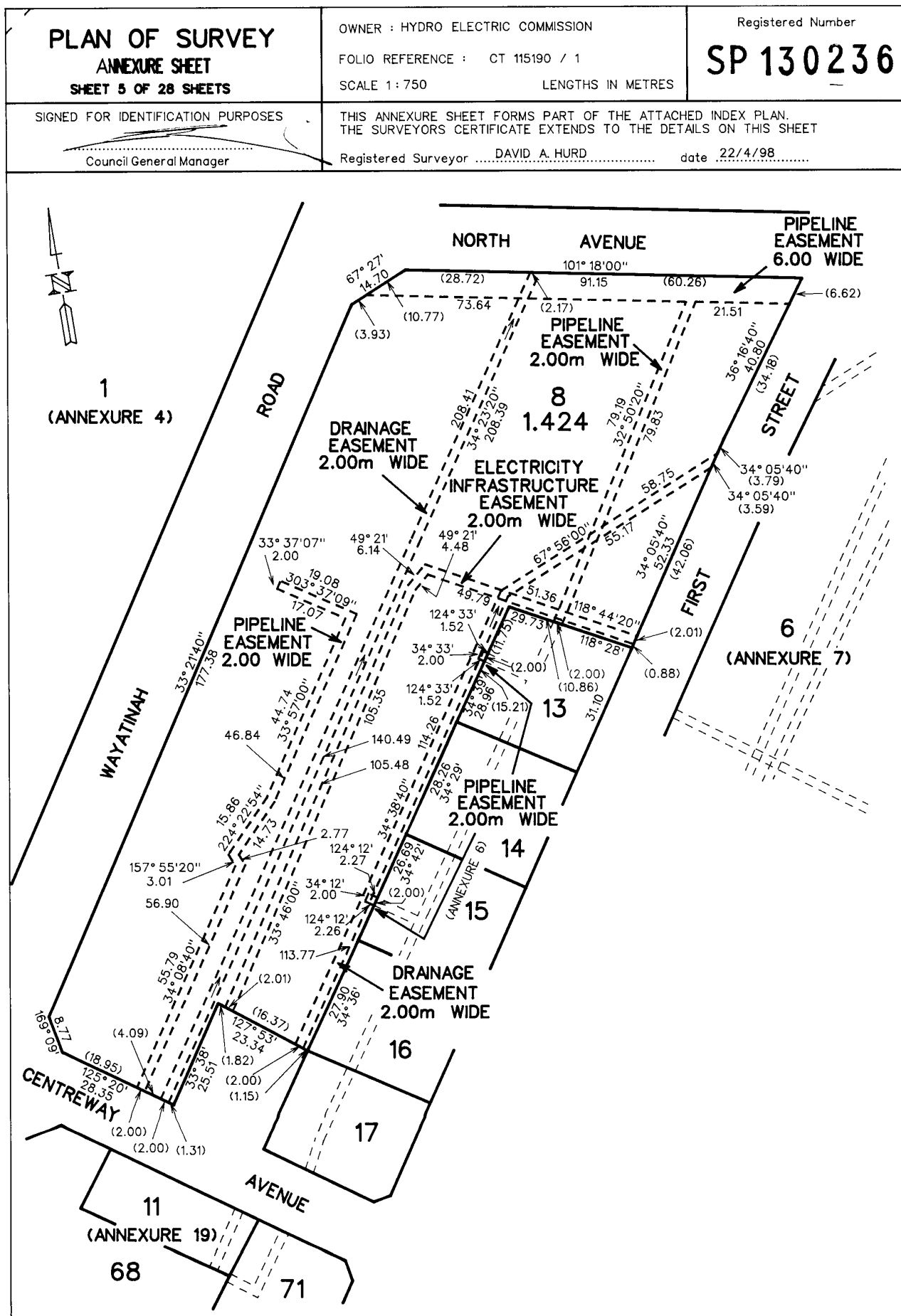
ANNEXURE SHEET INDEX

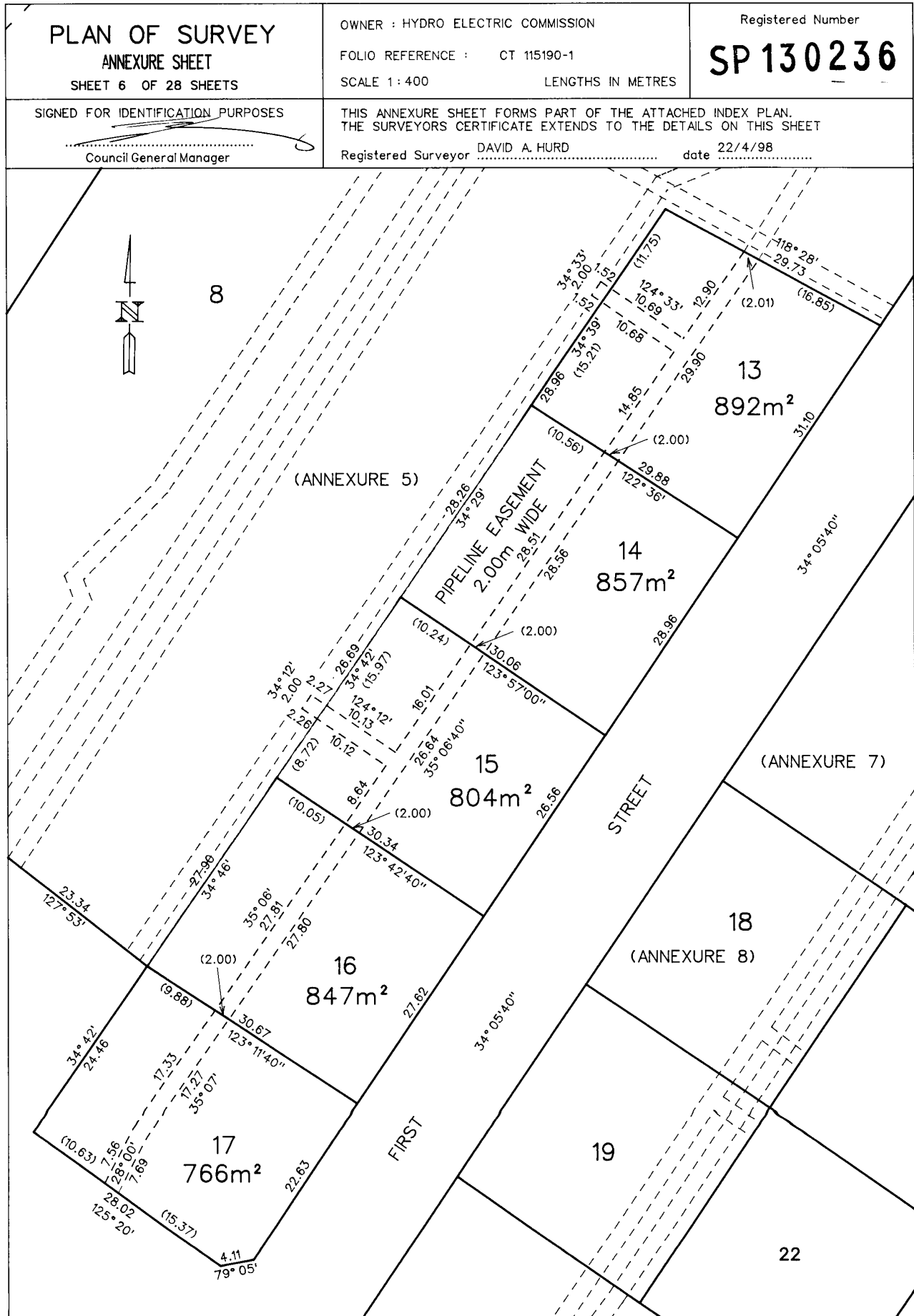


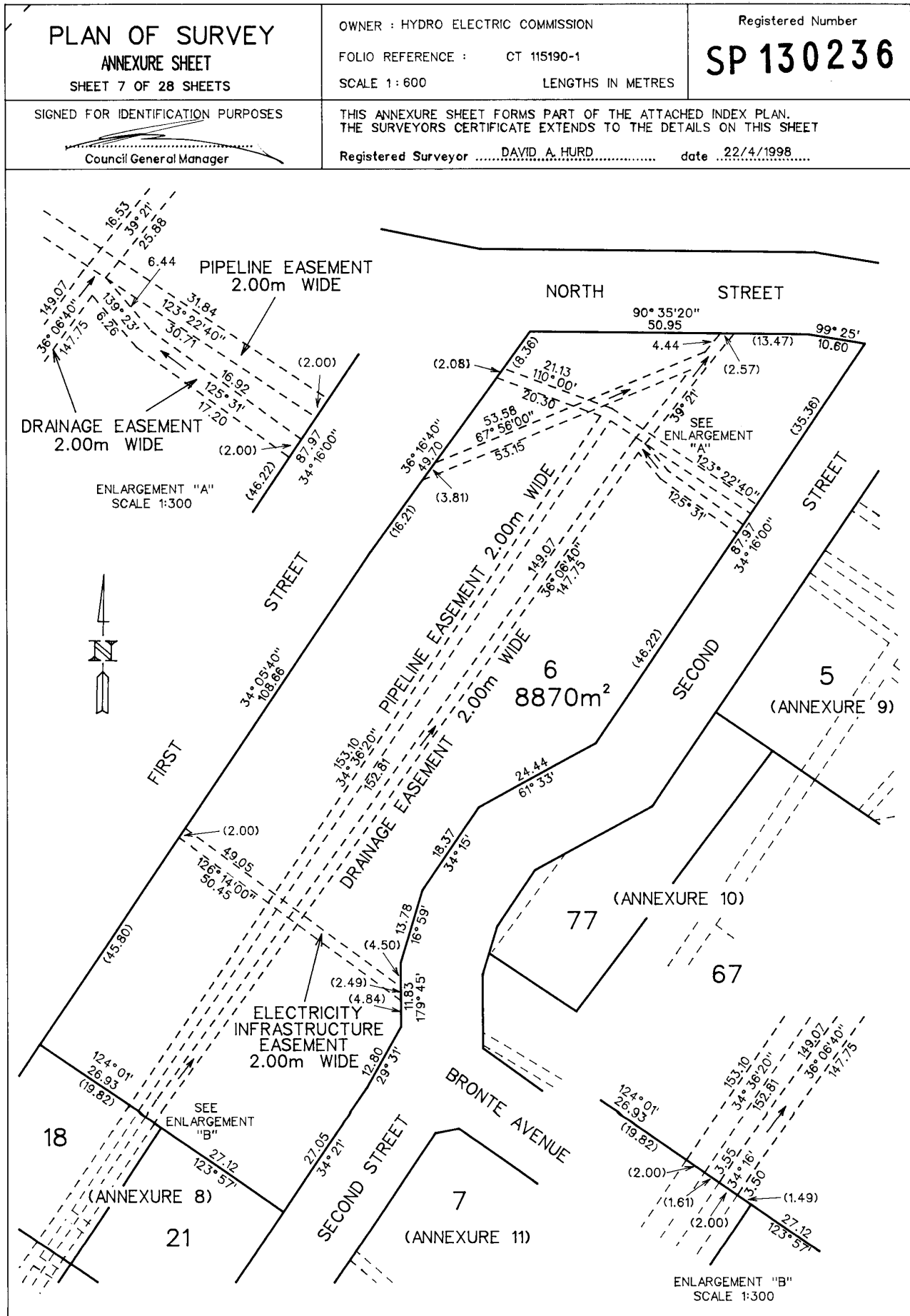
The map illustrates the spatial arrangement of 28 numbered sheets. Sheets 4 through 27 are clustered in the upper left, forming a grid-like pattern. Sheet 28 is a long, narrow strip extending from the main cluster towards the bottom right, labeled 'LYELL HIGHWAY'. Sheets 2, 3, and 18 are located in the lower half of the map. Sheets 4, 20, 22, 24, and 25 are also shown in the lower section. A north arrow is positioned in the bottom left corner of the map area.

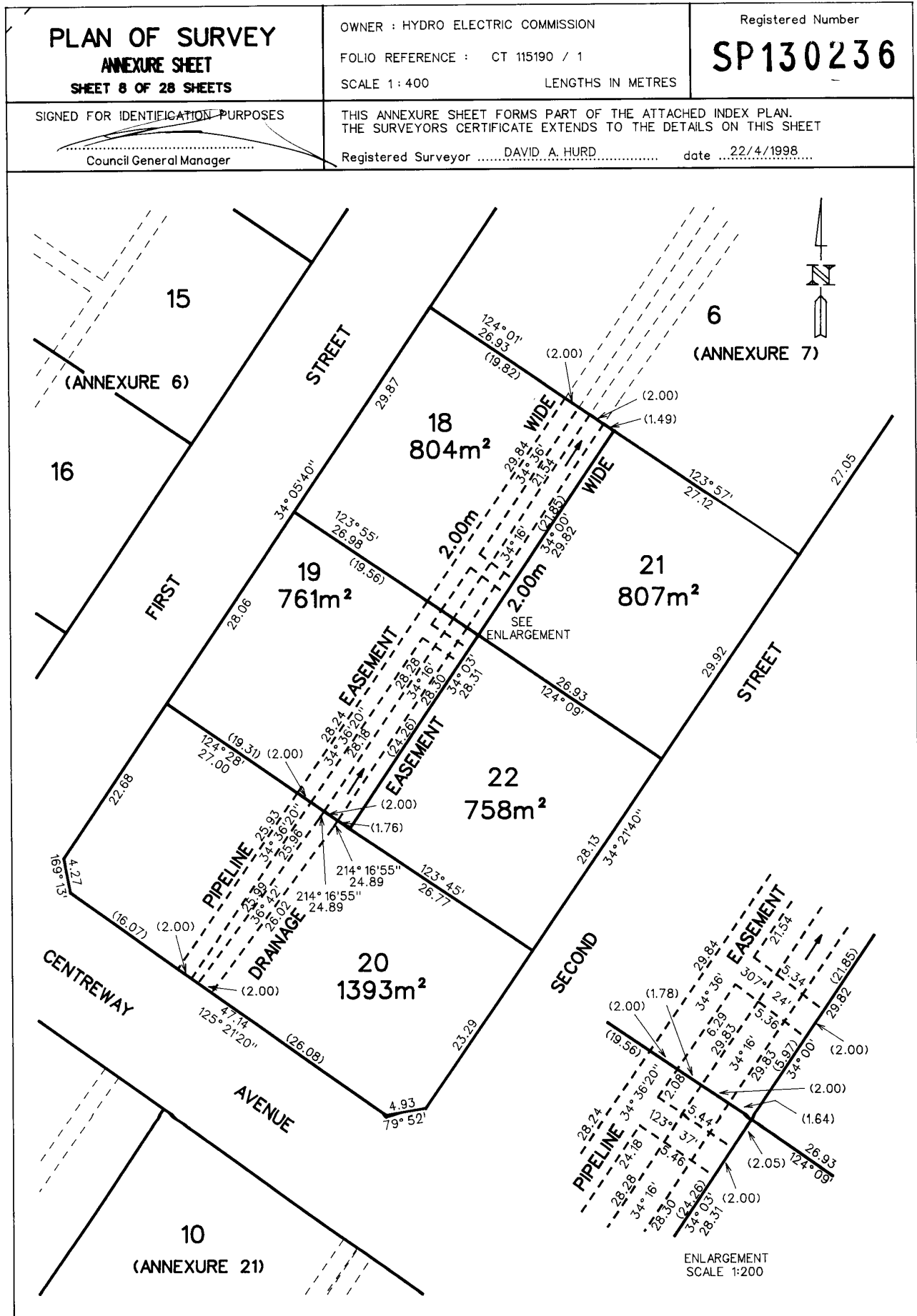


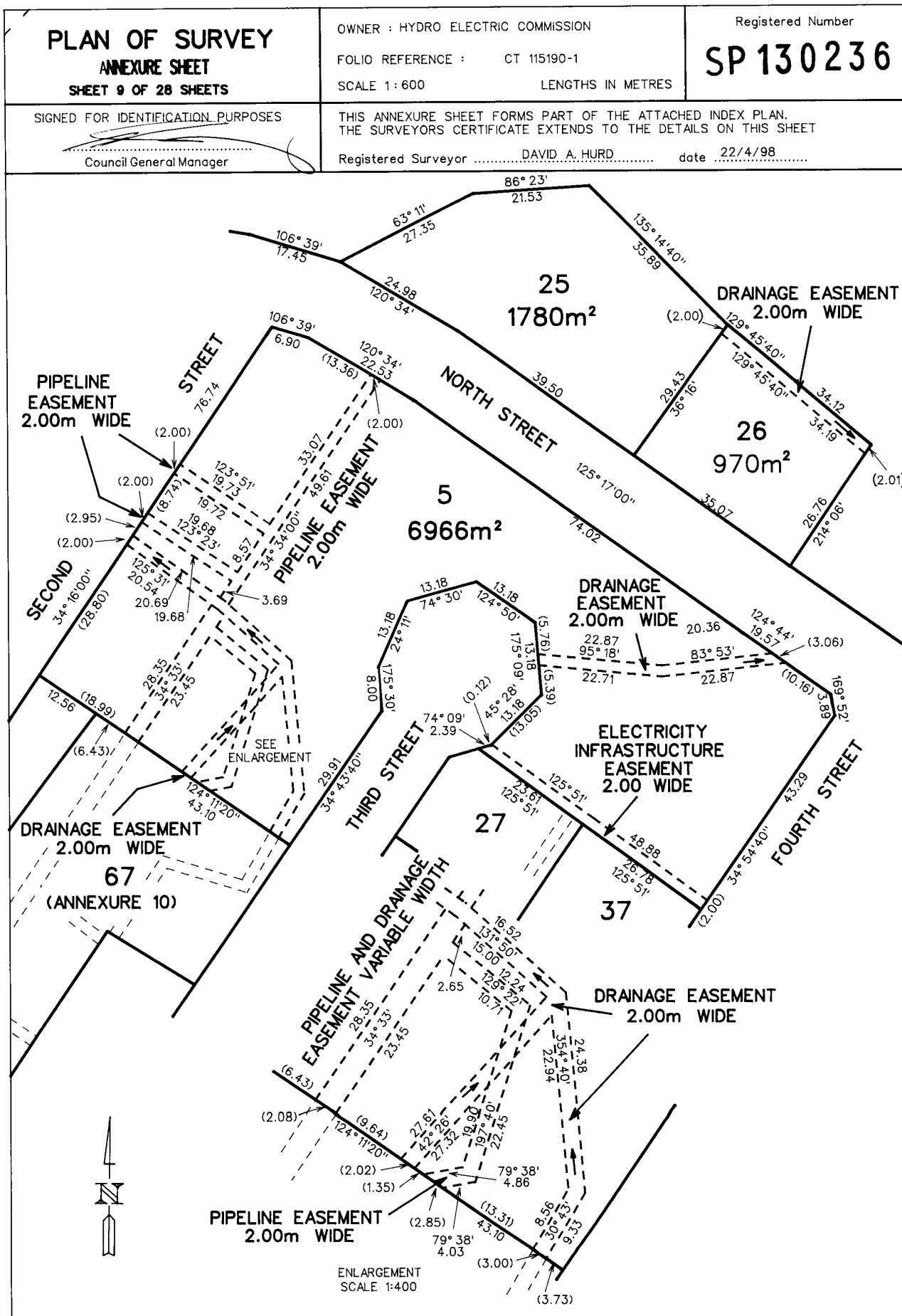


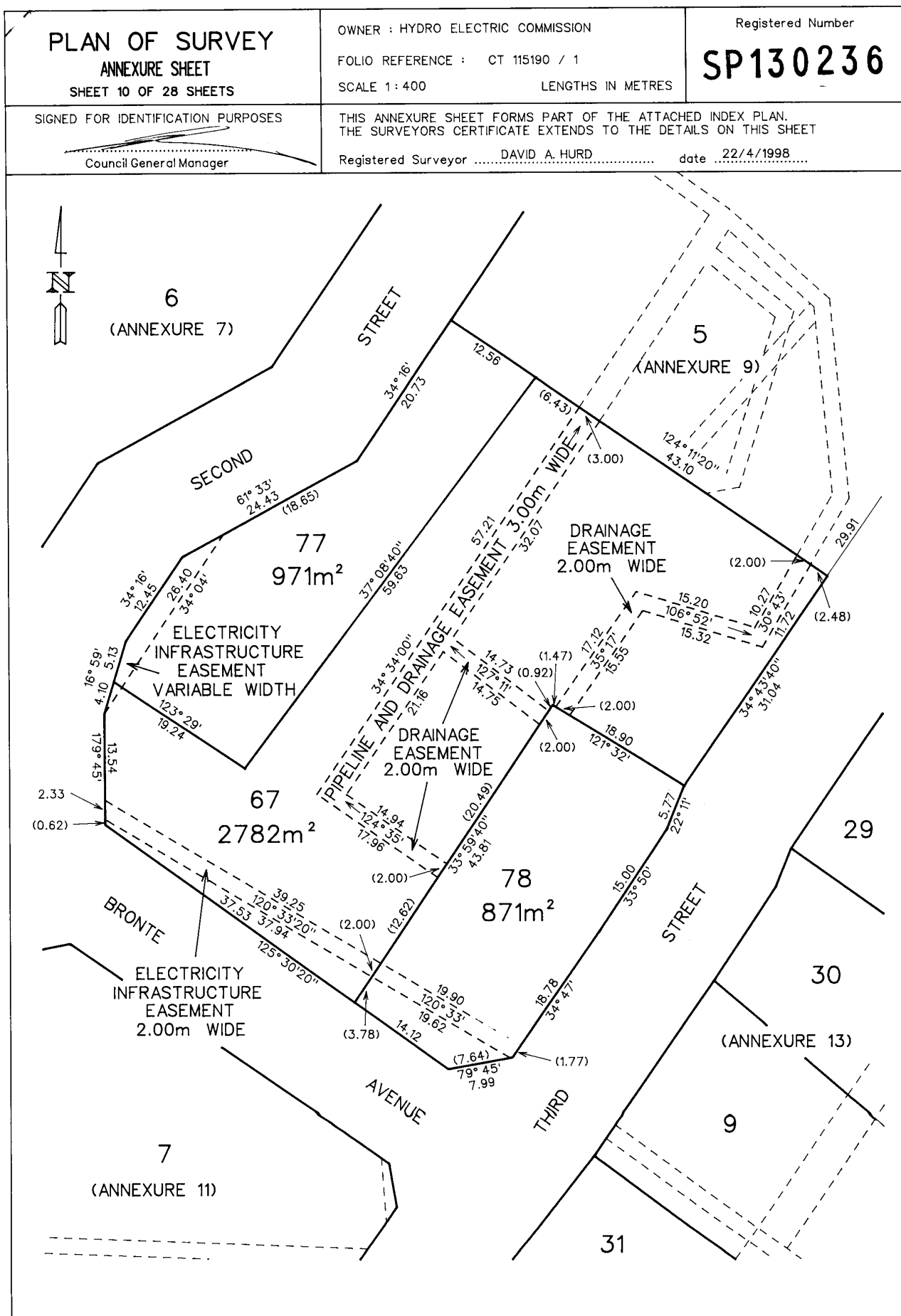


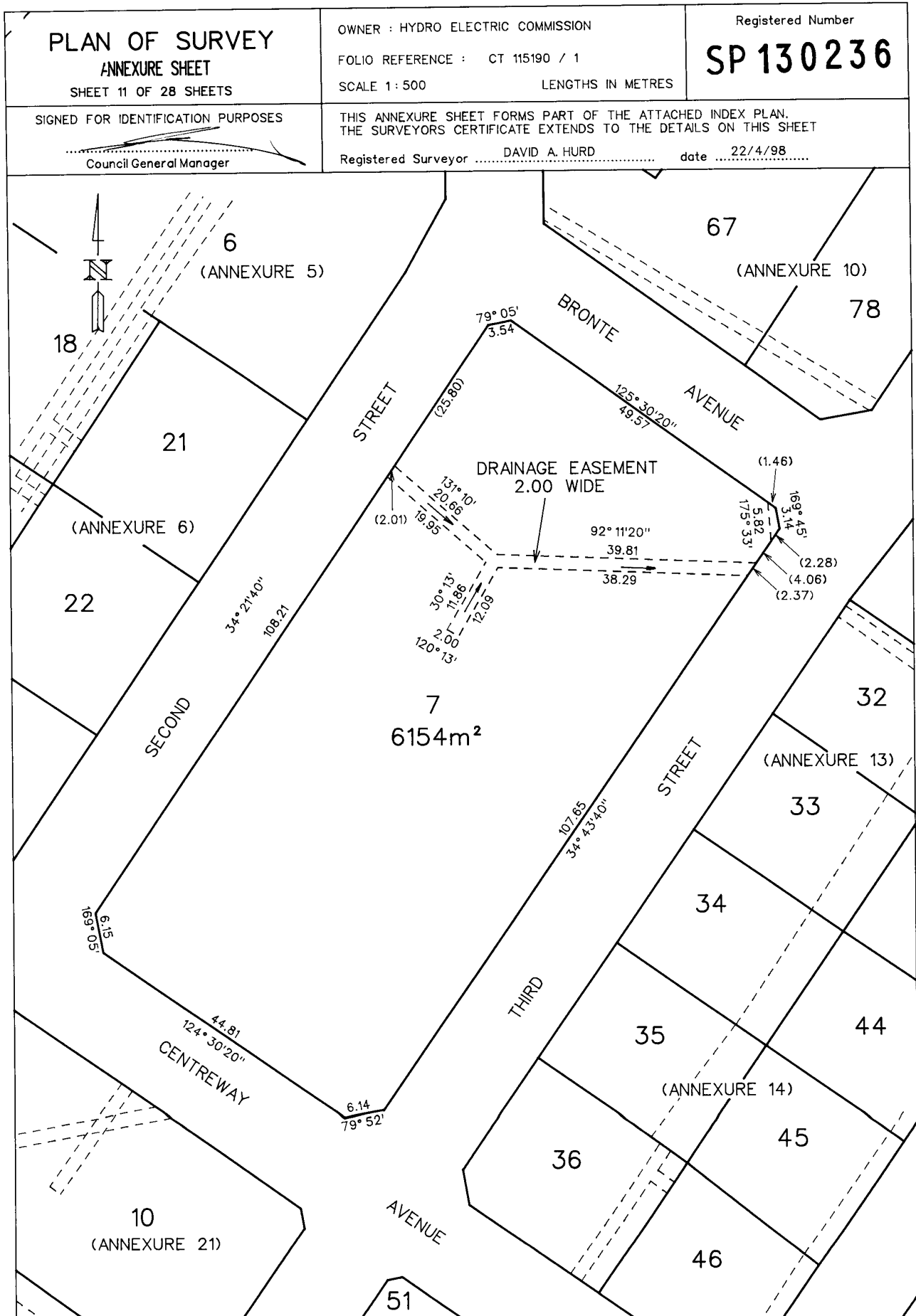


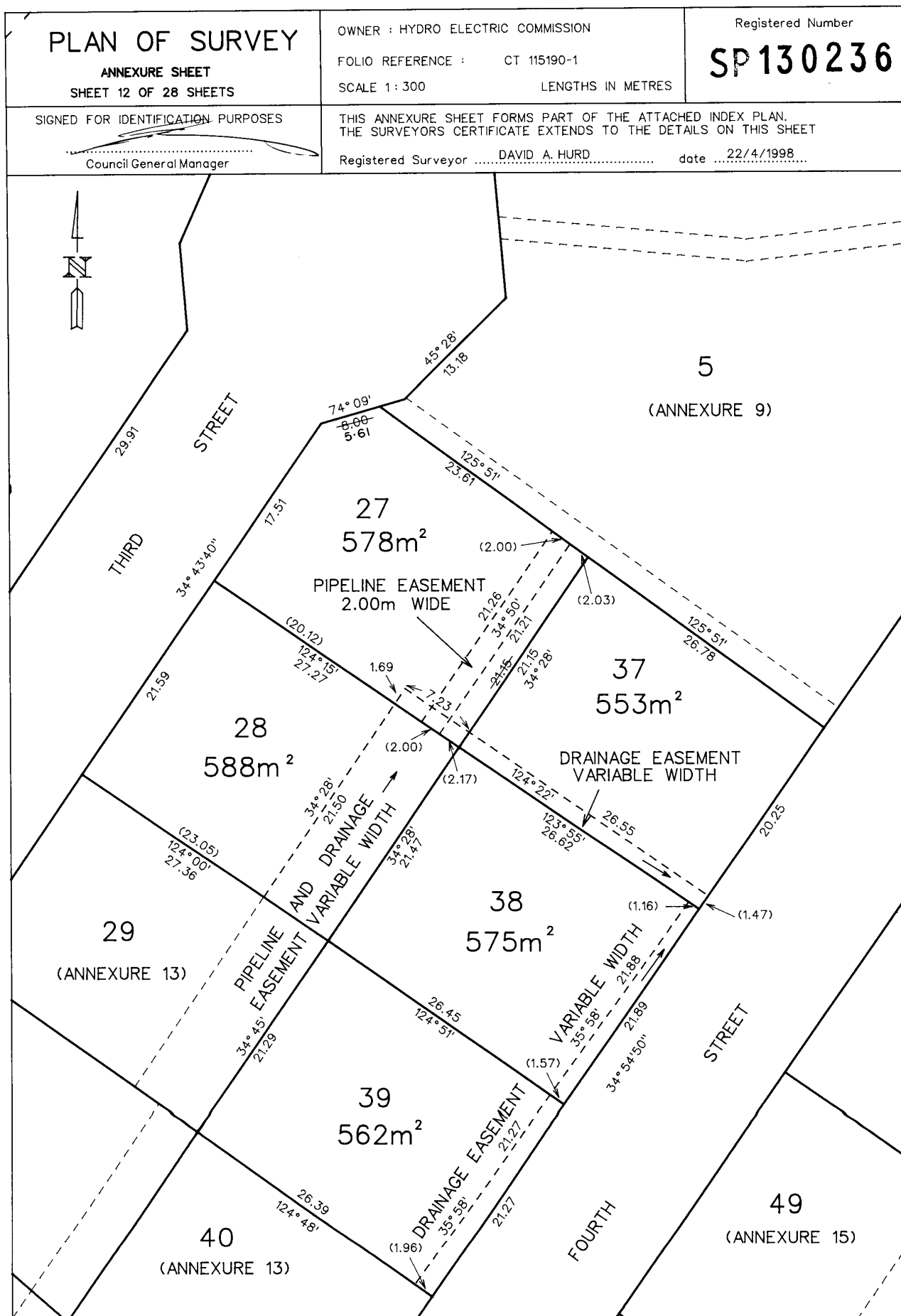


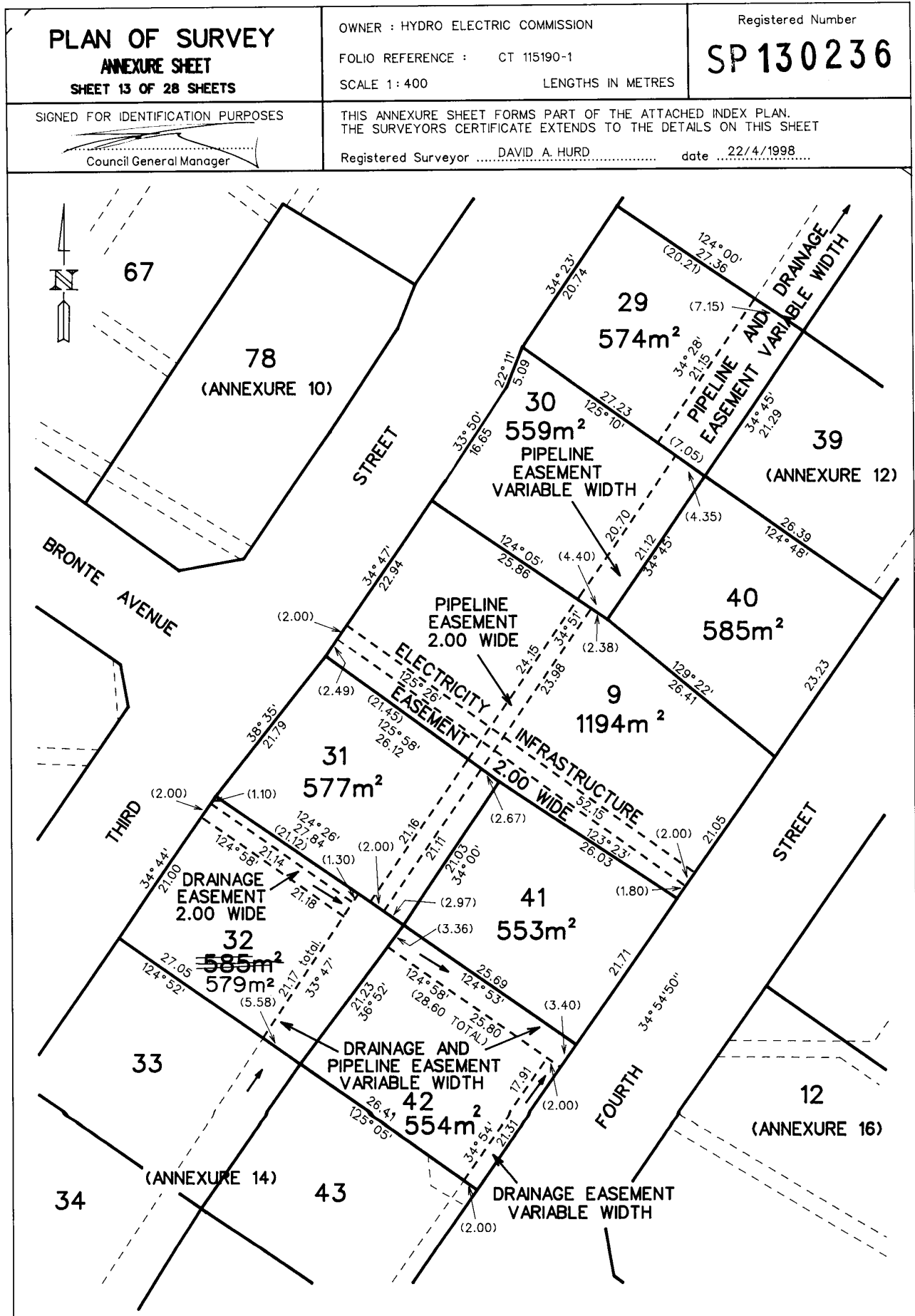


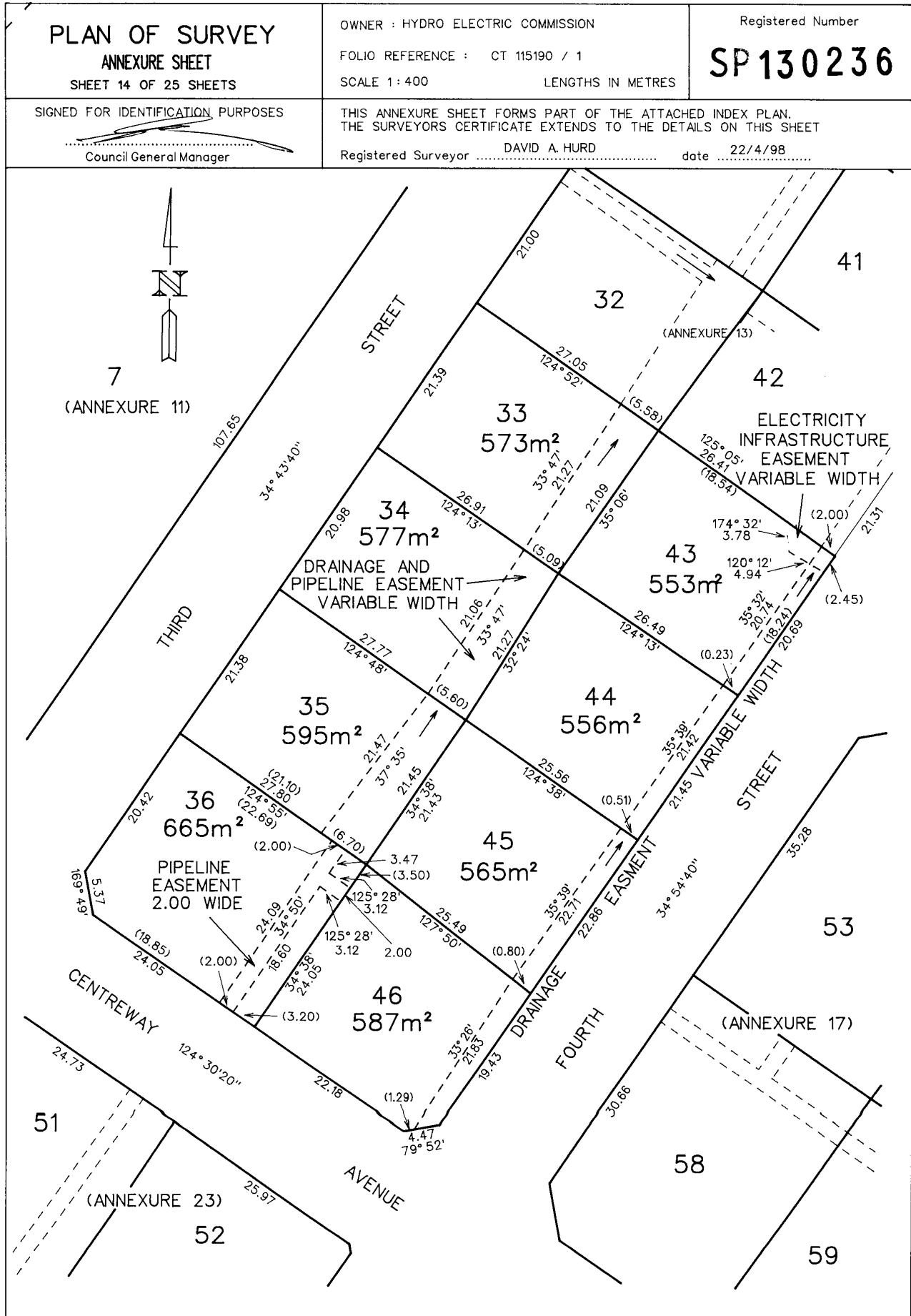


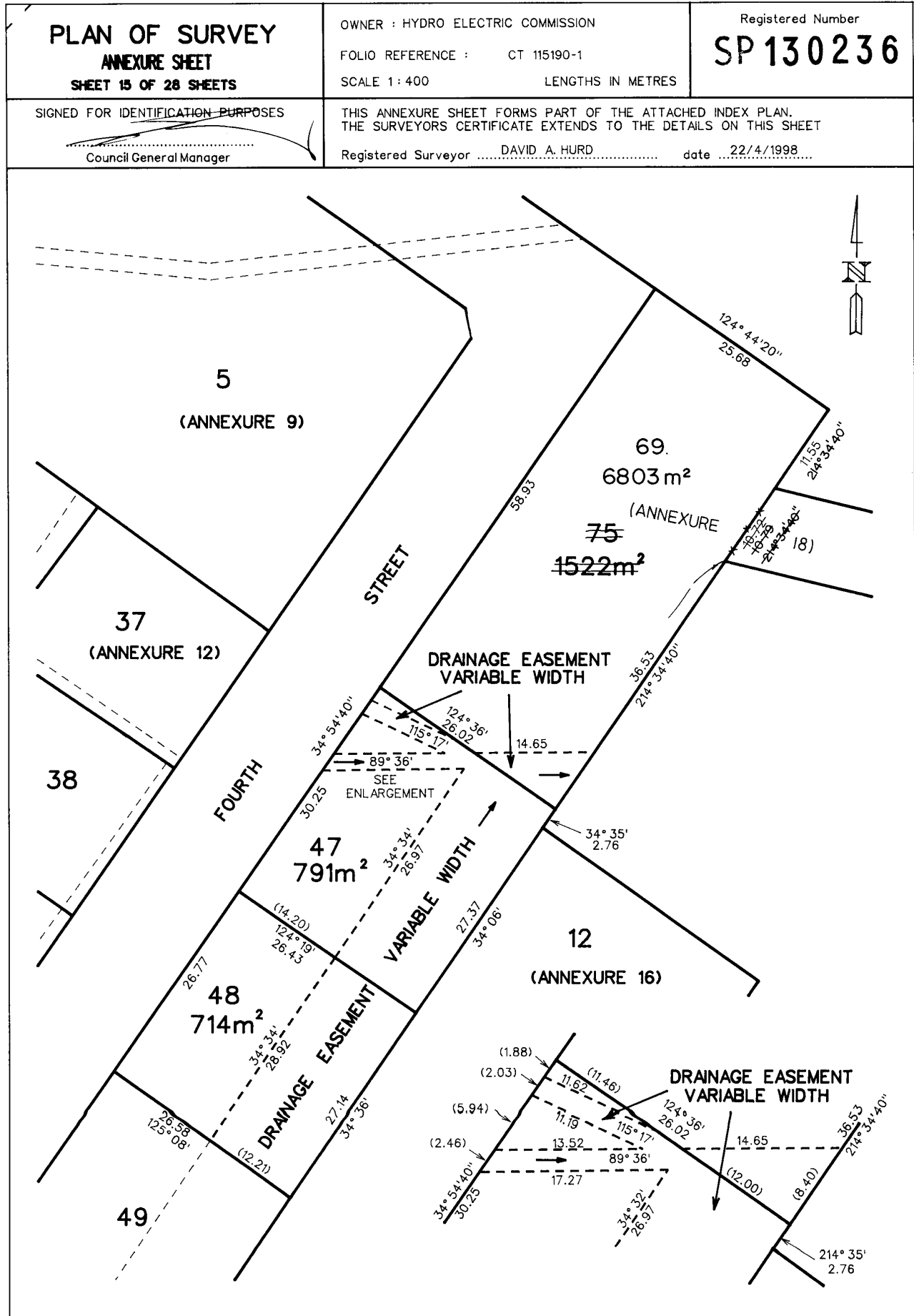


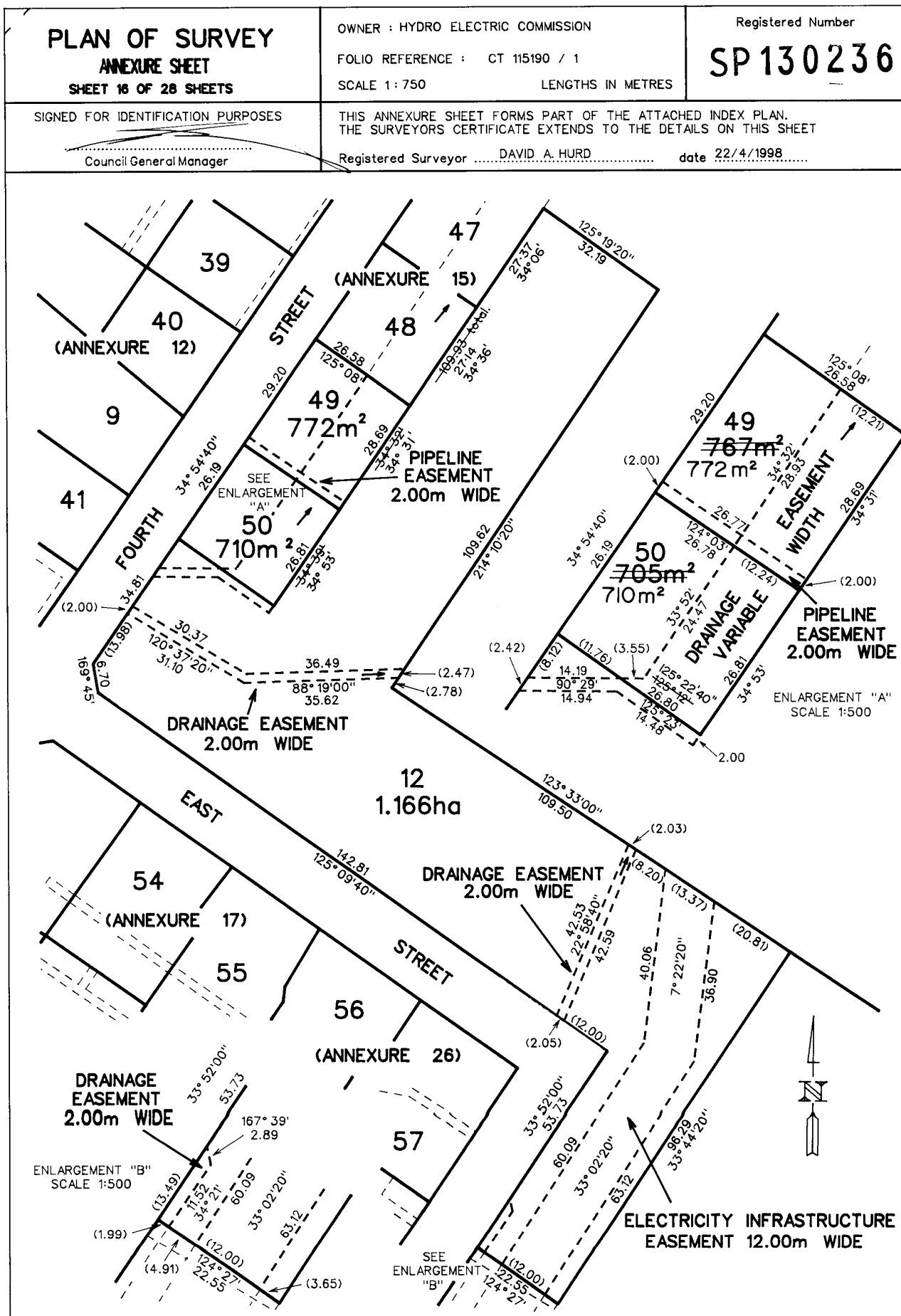


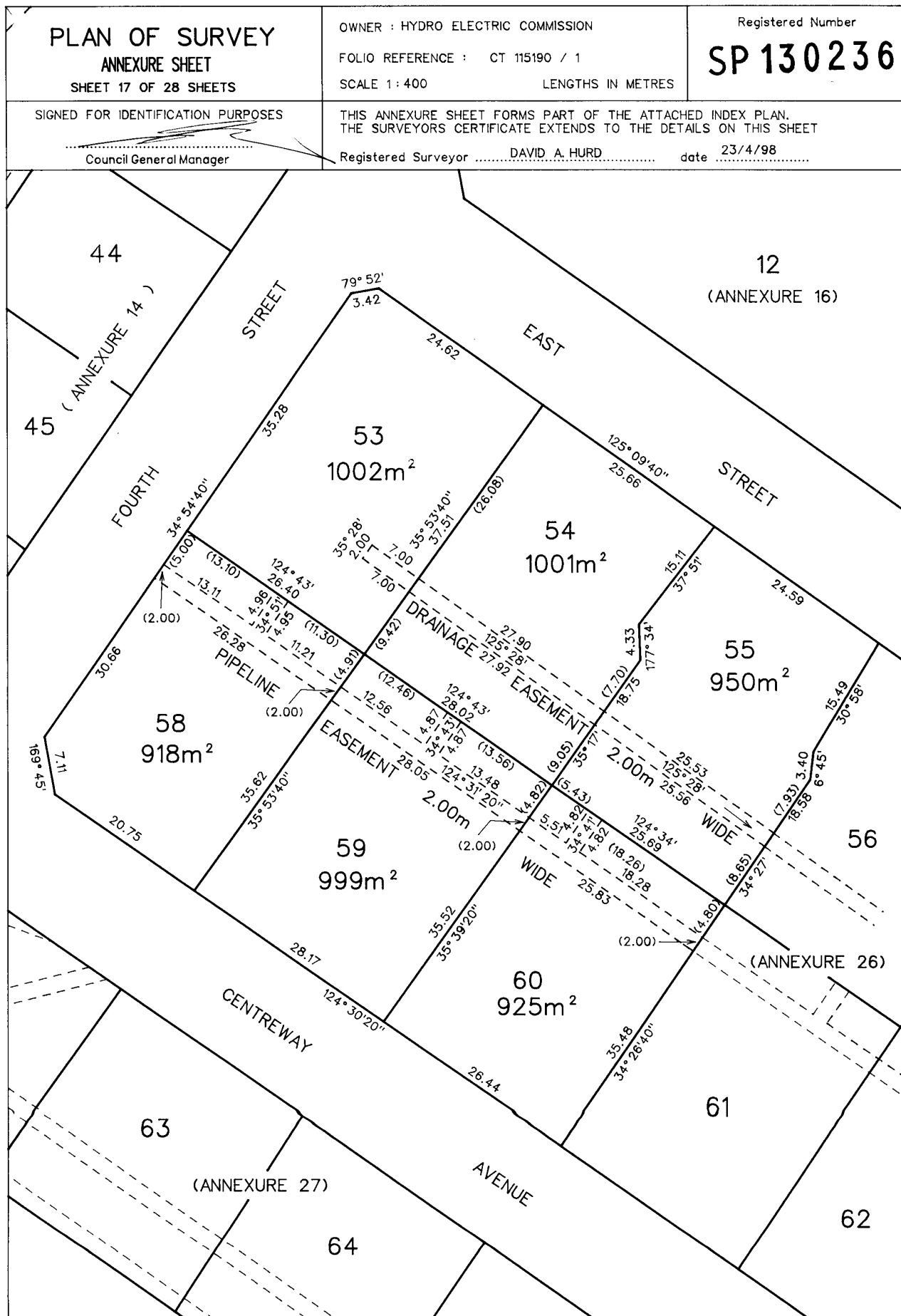


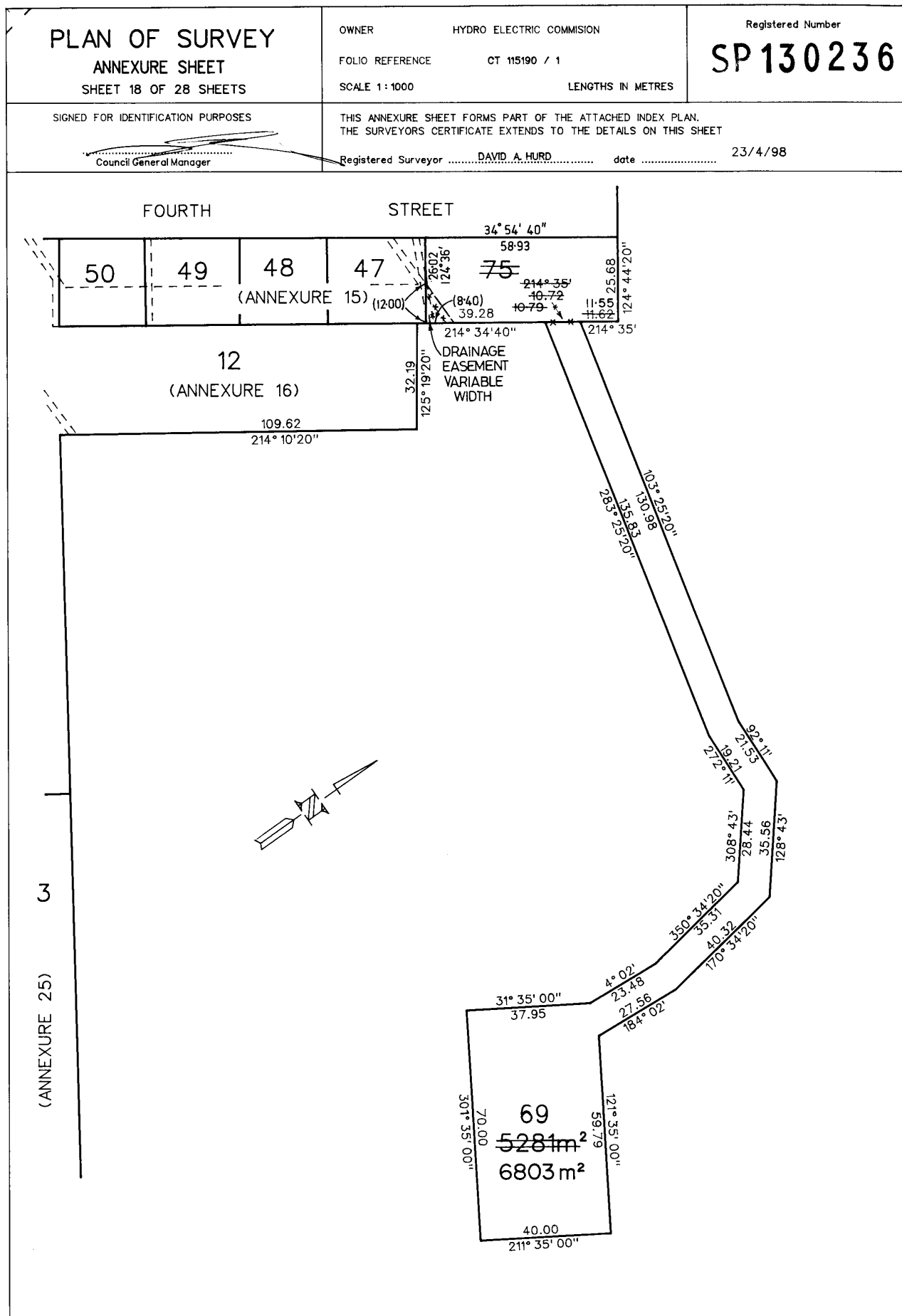


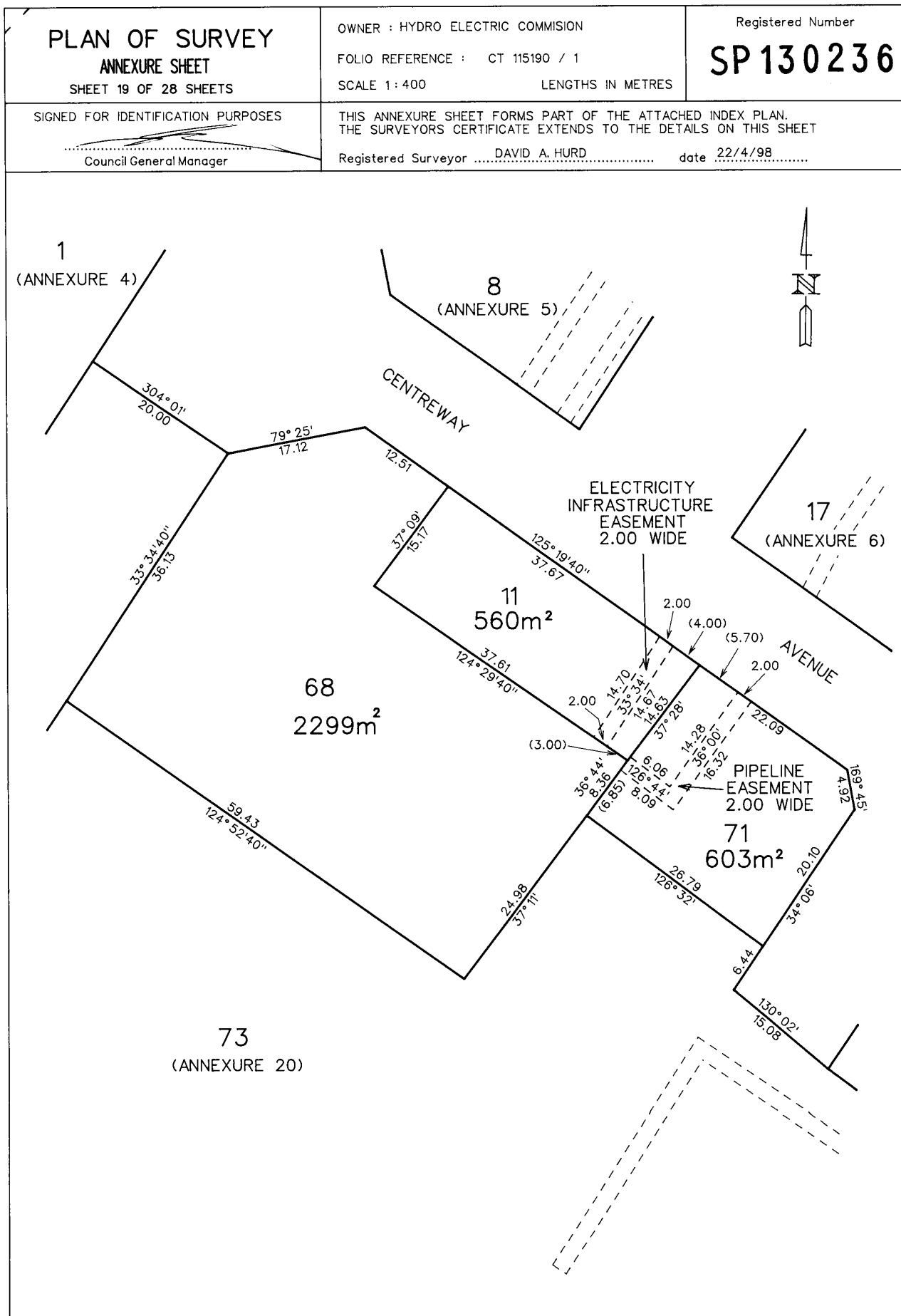


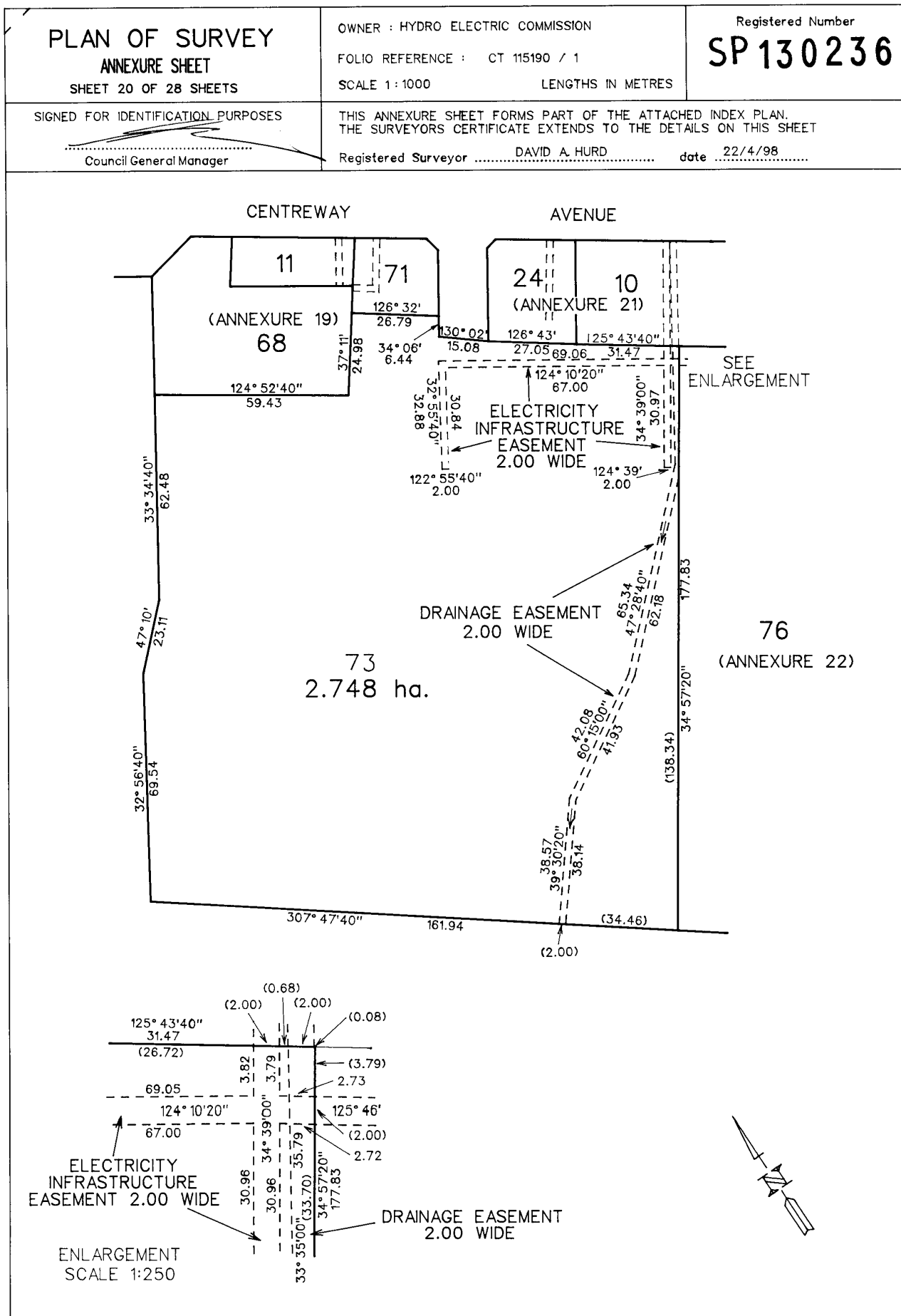


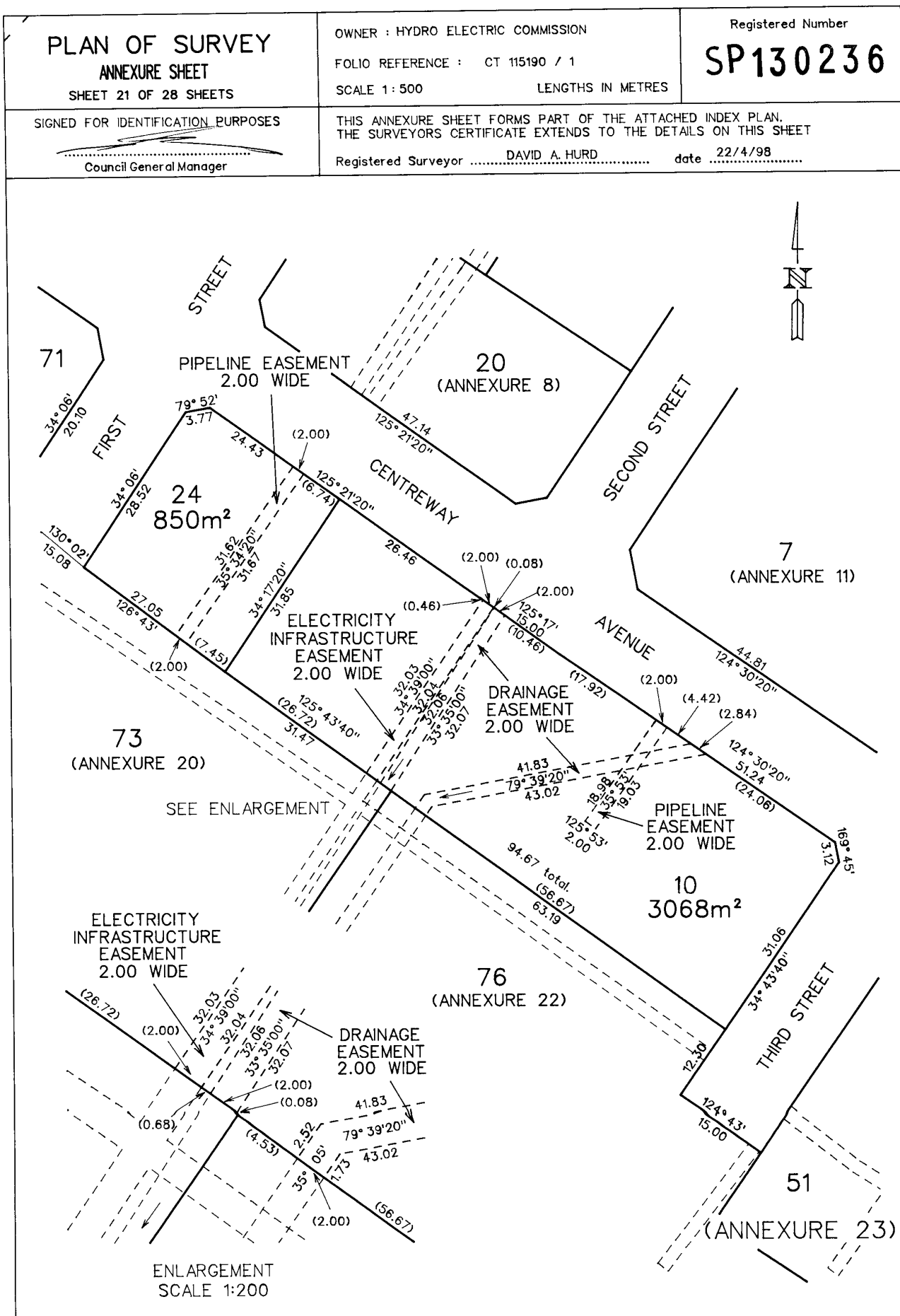


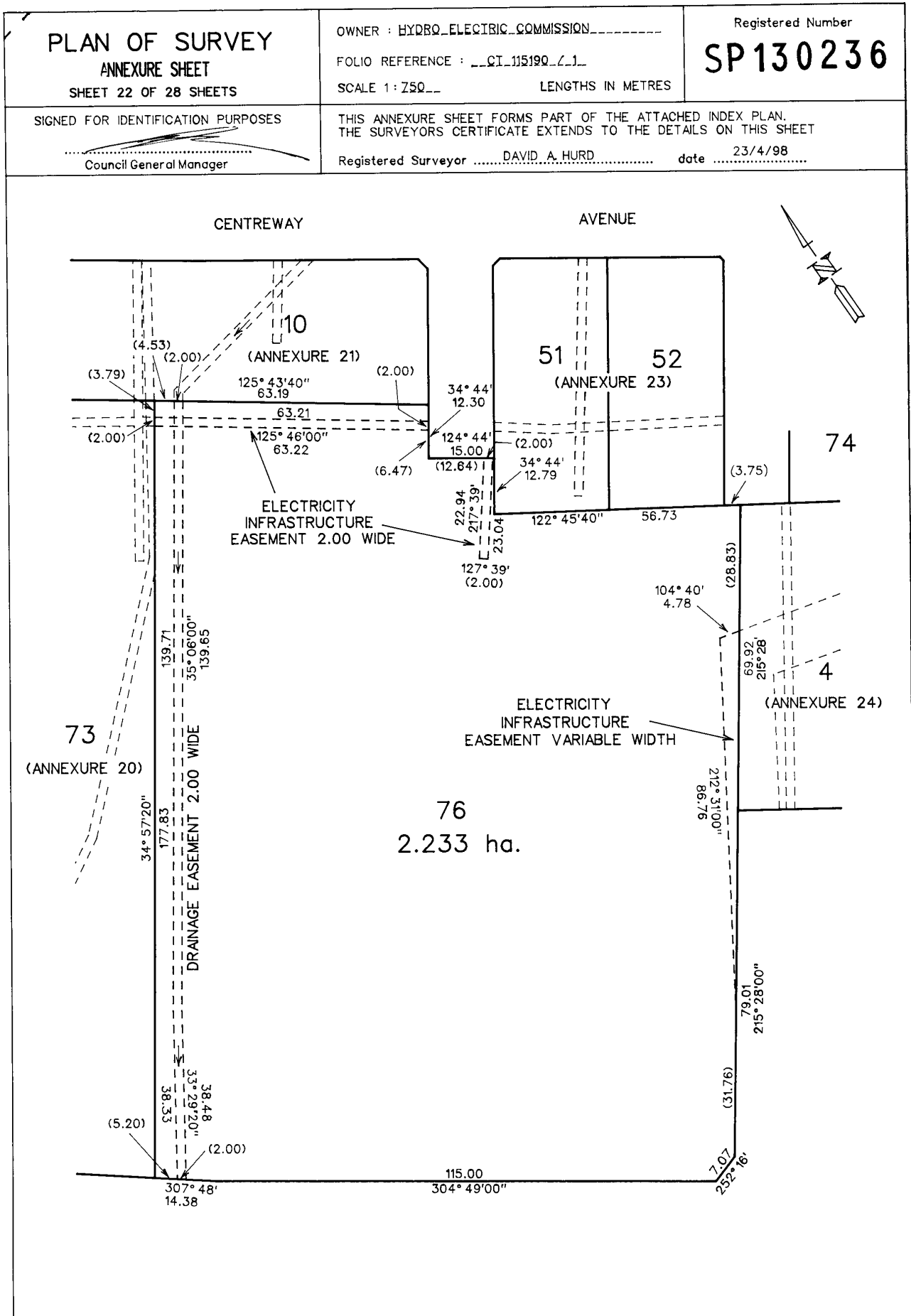


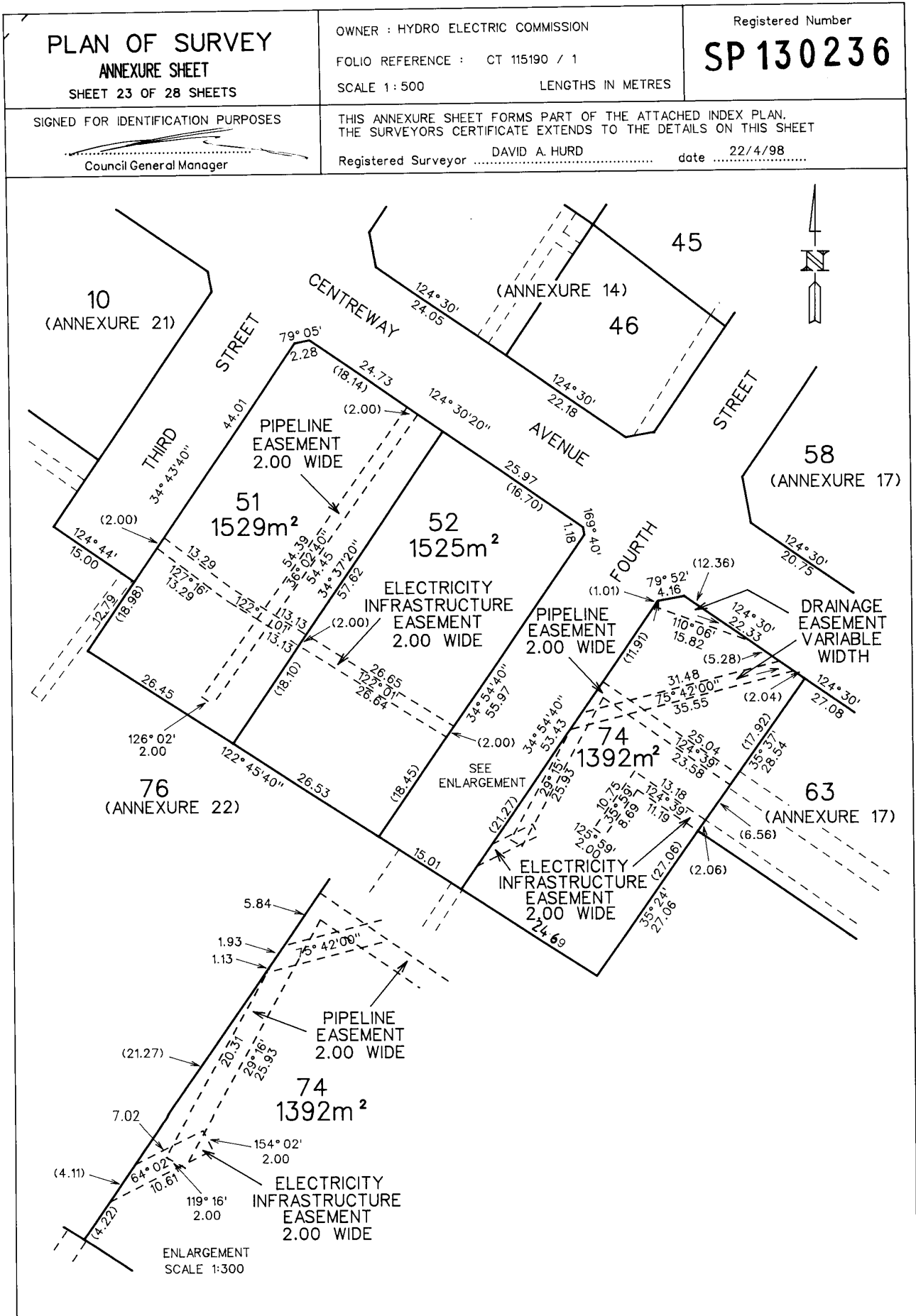


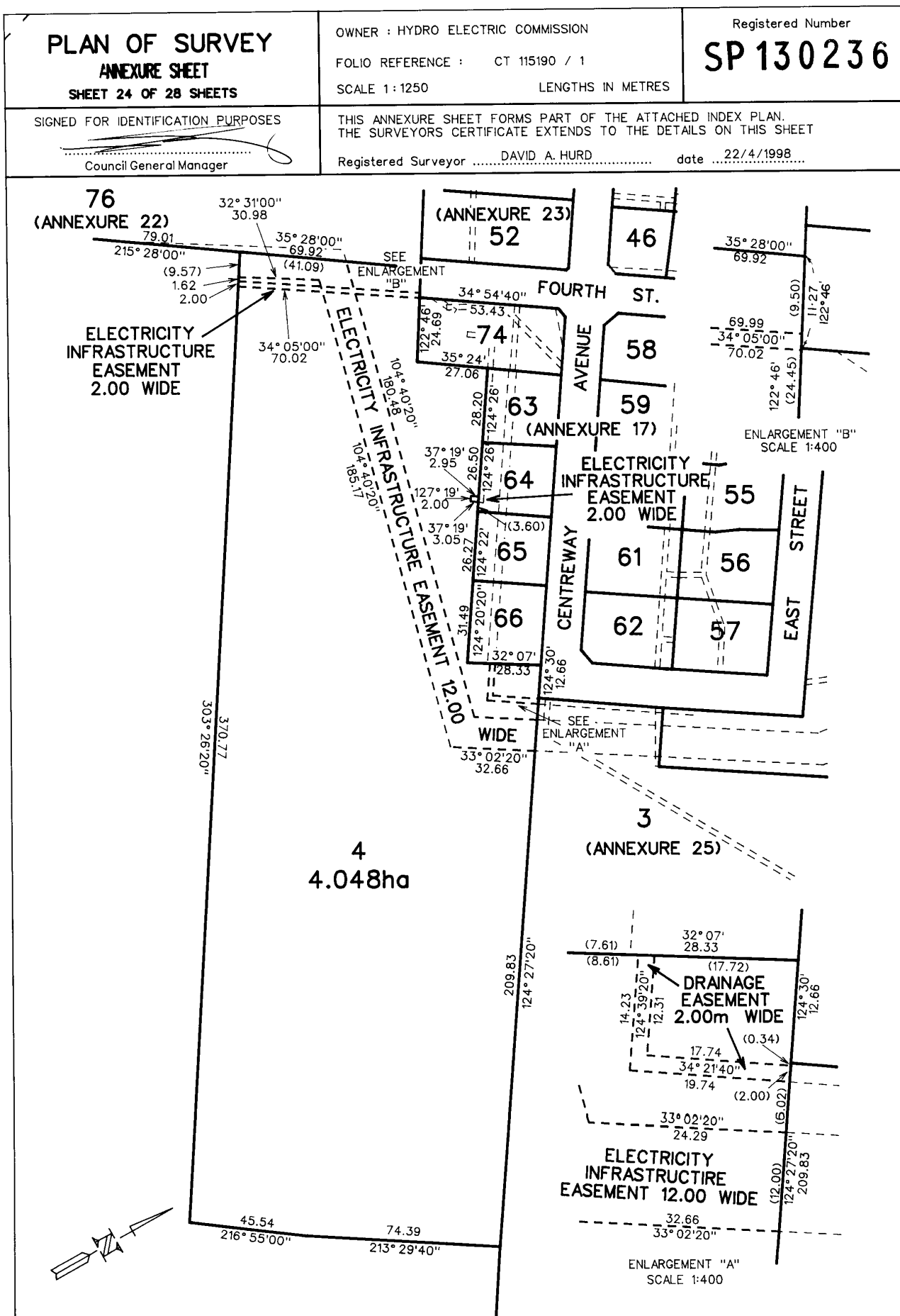


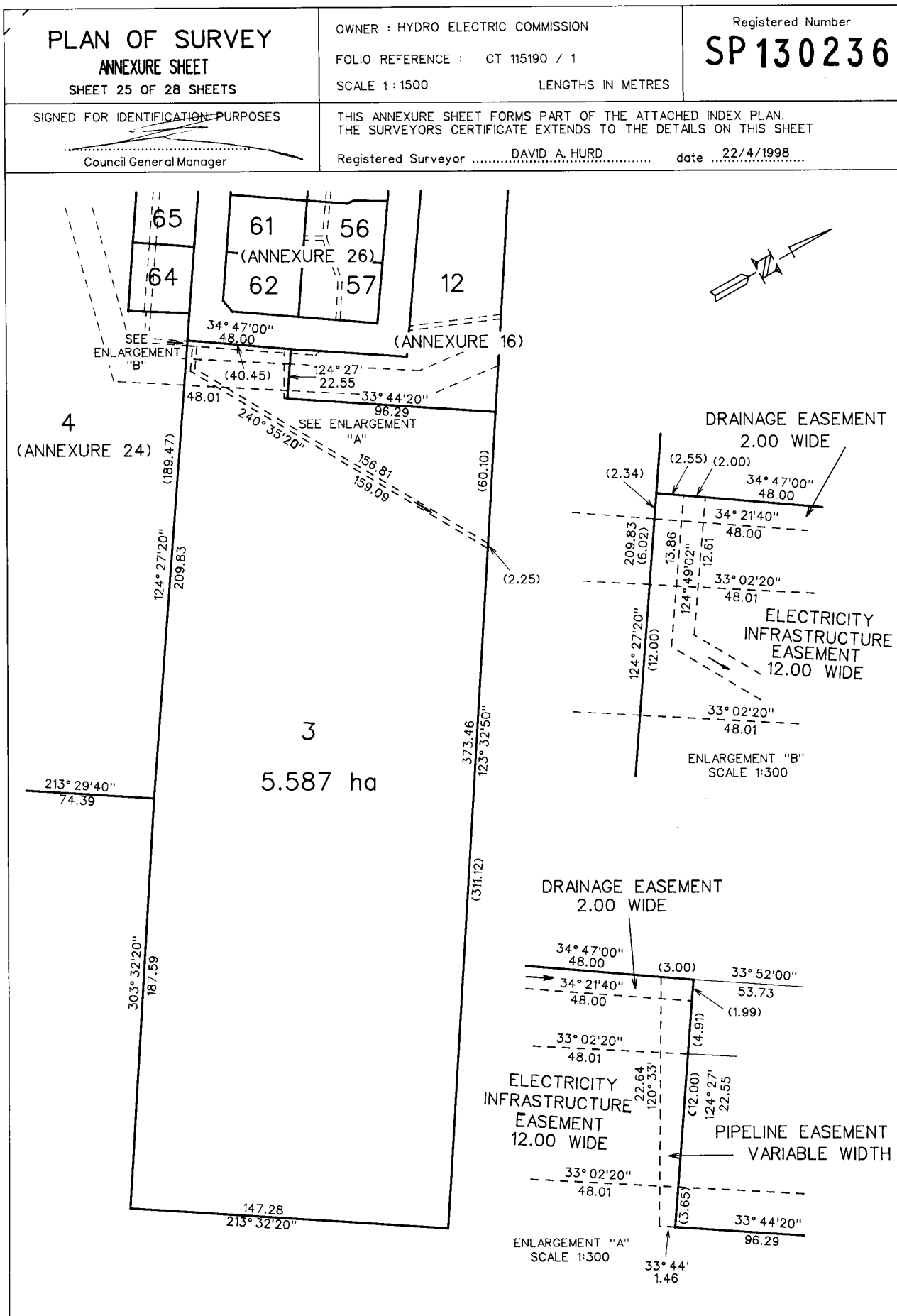


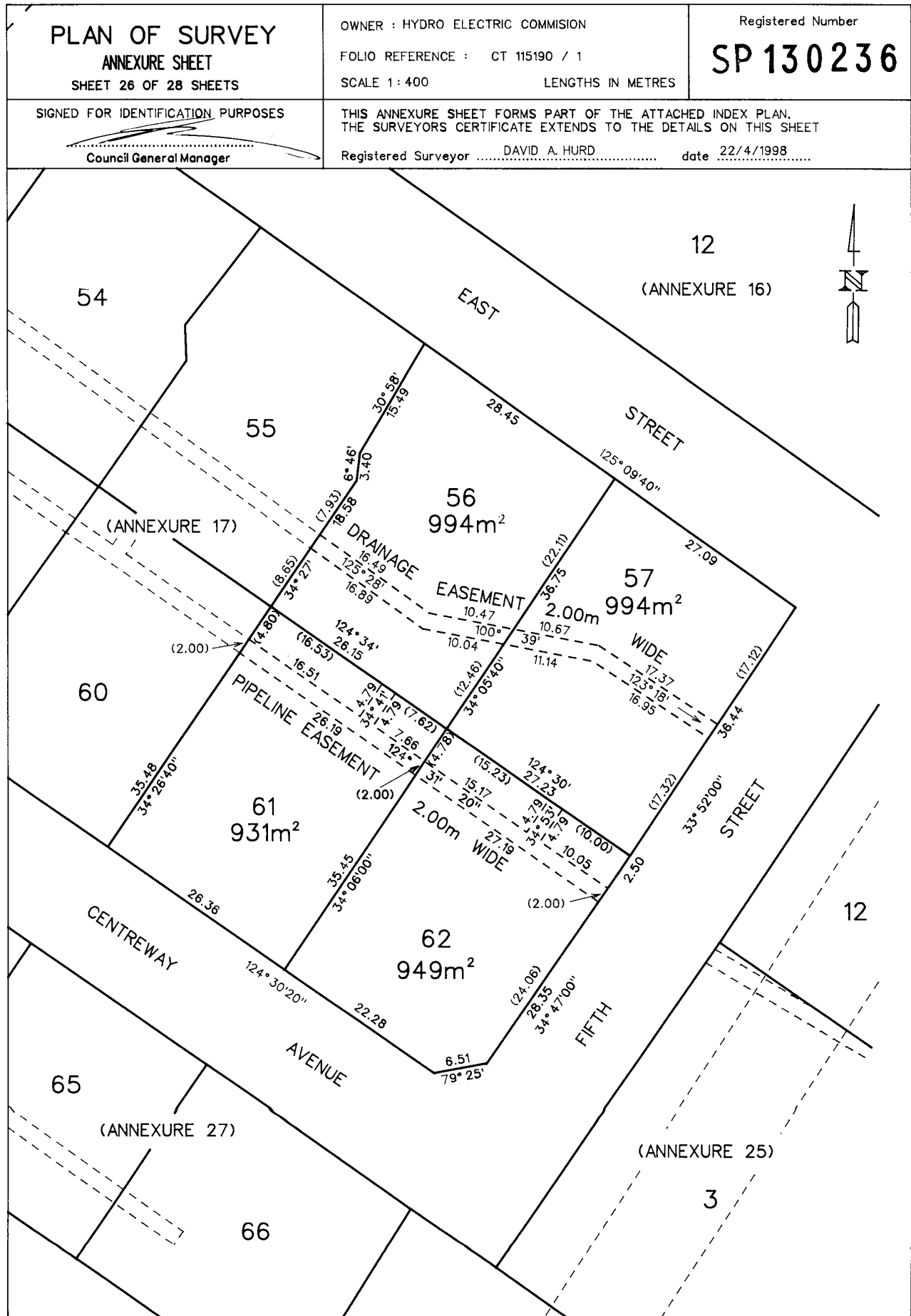


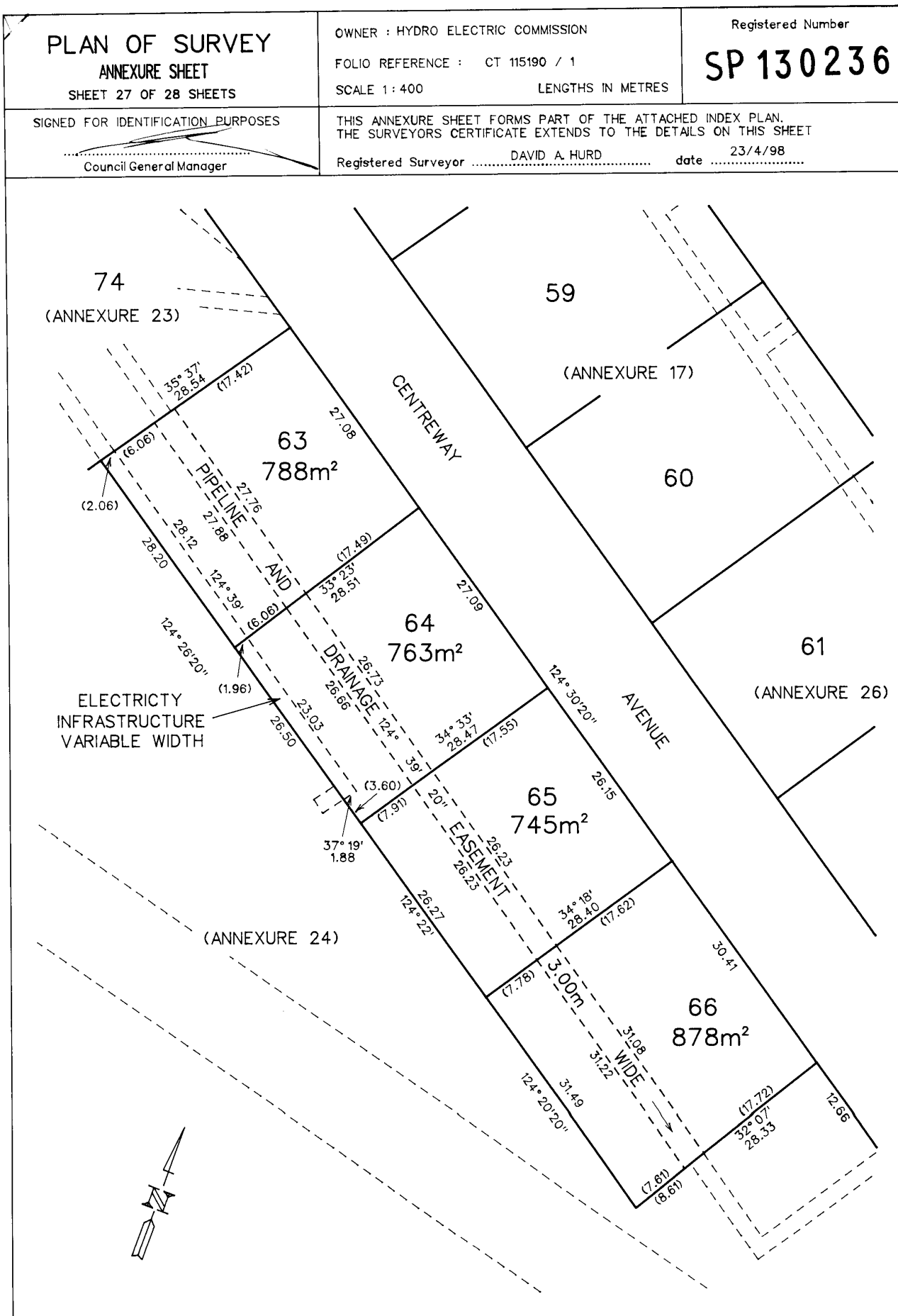


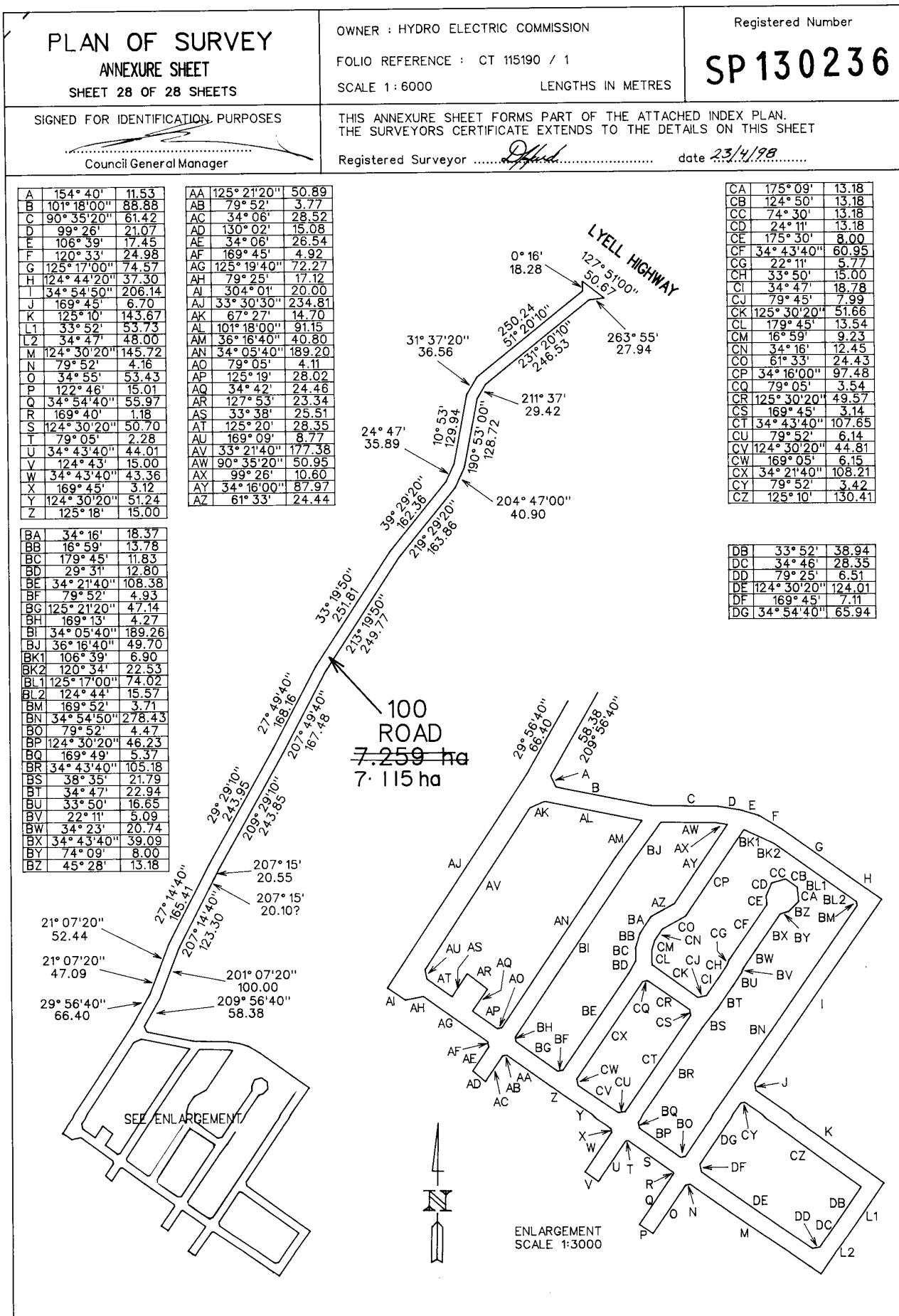


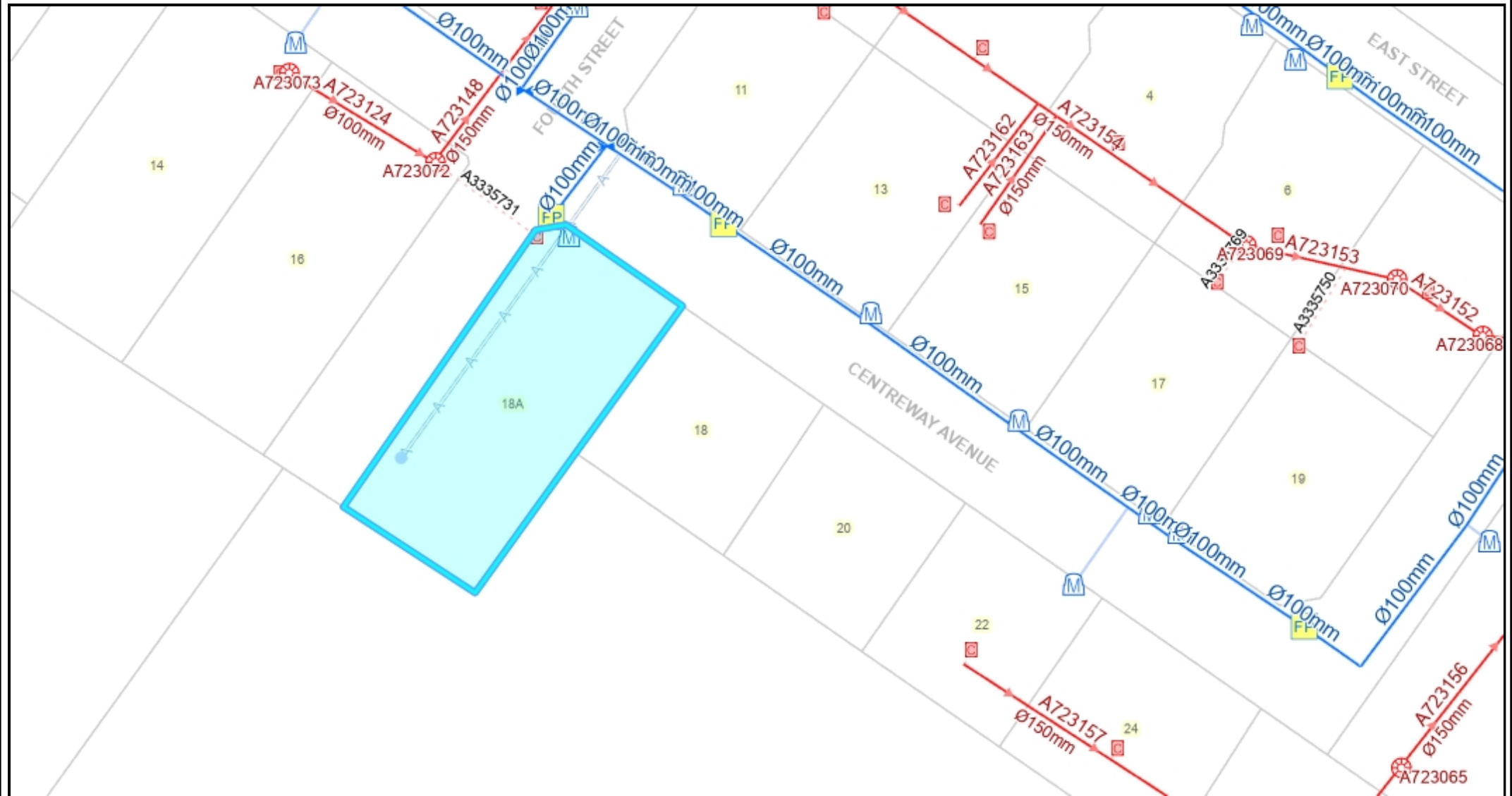












TasWater Infrastructure

- Water Reticulation Main
- P— Sewer Pressure Reticulation Main
- R — Sewer Rising Main
- Sewer Gravity Reticulation Main
- R — Stormwater Rising Main
- Stormwater Gravity Reticulation Main
- Recycled Water Distribution Main

Private Infrastructure

- P— Water Mains - Private
- P— Sewer Pressurised Main - Private
- P— Sewer Gravity Main - Private
- P— Stormwater Gravity Main - Private
- P— Recycled Water Main - Private

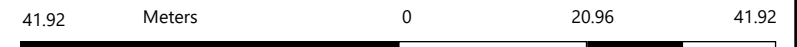
Abandoned Infrastructure

- A— Water Abandoned Line
- A— Sewer Abandoned Line
- A— Recycled Water Abandoned Line

NOTE:

The representation of the TasWater assets shown on this map was derived from data supplied by TasWater. TasWater makes no representation as to the accuracy or completeness of the assets shown on this map.

1: 838



SCHEDULE OF EASEMENTS	REGISTERED NUMBER
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 130236

PAGE 1 OF 2 PAGE/S
3**EASEMENTS AND PROFITS**

Each lot on the plan is together with:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and

(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and

(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS CONTINUED

Lots 7 and 53 to 57 on the plan are each subject to a right of drainage for Central Highlands Council over such portion of the Drainage Easement shown on the plan

LOTS 5, 6, 8-10, 13-20, 24, 27-36, 49, 51, 58-67, 71 and 74 on the Plan are each **SUBJECT TO** a 'Pipeline Easement' (hereinafter defined) for the Central Highlands Council over such portion of the Pipeline Easement shown on the plan passing through such lot.

LOTS 3-6, 8-12, 43, 51, 52, 63, 64, 67, 73, 74, 76-78 are each **SUBJECT TO** an 'Electricity Infrastructure Easement' (hereinafter defined) over such portion of the 'Electricity Infrastructure Easement' shown on the Plan passing through such lot for the Hydro-Electric Corporation.

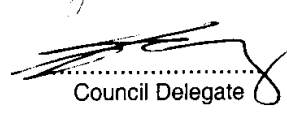
DEFINITION

Easement on page 3 herein

'Electricity Infrastructure Easement' means Electricity Infrastructure/ as defined by Section 3 of the ~~Electricity Supply Industry Restructuring (Savings and Transitional Provisions) Act 1995.~~

'Pipeline Easement' means the full and free right and liberty for the Central Highlands Council to lay and forever maintain water pipes of such size and number as the Council may from time to time require in over and through the land marked on the Plan as subject to the Pipeline Easement (hereinafter called 'the said land') and to use such water pipes for the purposes of carrying and supplying water to such parts of the lots as the Council may from time to time determine and to enter onto the said land from time to time and at all times with surveyors workmen and others to inspect the condition of the said water pipes and to repair alter and amend and cleanse the same and from time to time for the purposes aforesaid or any of them to bring and place upon the said land or any part thereof such materials machinery and other things as the Council may think proper and to dig up the surface of the same removing and carrying away all surplus soil and rock and doing as little damage and injury as possible to the surface of the said land and the crops for the time being thereon.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Hydro-Electric Corporation FOLIO REF: 115190/1 SOLICITOR & REFERENCE: R.A. Kimber File 61492	PLAN SEALED BY: <i>Central Highlands Council</i> DATE: <i>27 April 1995</i> <i>ck(a) 27/4/95</i> REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

PIN OR STAPLE HERE
DO NOT GUM THIS
FORM TO THE INSTRUMENT

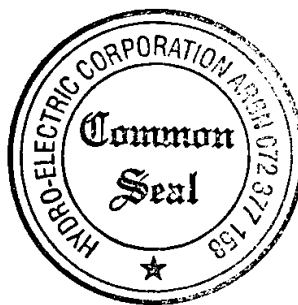
ANNEXURE PAGE

PAGE 2 OF 2 PAGES
Vol. 115190 Fol. ³1.....

FENCING COVENANT

each lot
The Owners of ~~Lots 1-78 and 100~~ on the plan covenant with the Hydro-Electric Corporation (hereinafter called 'the Vendor') that the Vendor shall not be required to fence.

The Common Seal of the)
HYDRO-ELECTRIC CORPORATION)
ARBN 072 377 158 as Registered Proprietor)
of the land comprised in Certificate)
of Title Volume 115190 Folio 1)
was hereunto affixed)
in the presence of)



D.J. Nairn
Director

F.B. Campbell
Secretary

NOTE:- Every annexed page shall be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing.

Version 1

THE BACK OF THIS PAGE MUST NOT BE USED

<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 3 OF 3 PAGES</p>	<p align="center">Registered Number</p> <p align="center">130236</p>
<p>SUBDIVIDER: - HYRDO-ELECTRIC CORPORATION</p> <p>FOLIO REFERENCE: - 115190/1</p>	
<p>ELECTRICITY INFRASTRUCTURE EASEMENT MEANS:</p> <p>FIRSTLY all the full and free right and liberty for the Hydro-Electric Corporation and its successors and its and their servants agents and contractors(herinafter called “the Corporation”) at all times hereafter:</p> <ul style="list-style-type: none"> a) TO maintain, lay, erect and install anything used for, or in connection with the generation, transmission or distribution of electricity including powerlines (overhead or underground), substations for converting electricity, substations for transforming or controlling electricity and equipment for metering, monitoring or controlling electricity (herinafter called “electricity infrastructure”) of such materials and type as the Corporation may determine above, on or under the land respectively marked “Electricity Infrastructure Easement” on the plan (herinafter called the “servient land”). b) TO enter into and upon the servient land for the purpose of examining, operating, maintaining, repairing, modifying , adding to or replacing electricity infrastructure without doing unnecessary damage to the said servient land and making good all damage occasioned thereby. c) TO erect fencing, signs, barriers or other protective structures upon the servient land if in the opinion of the Corporation these are necessary for reasons of safety. d) TO cause or permit electrical energy to flow or be transmitted or distributed through the said electricity infrastructure. e) TO enter into and upon the servient land for all or any of the above purposes with or without all necessary plant equipment and machinery and the means of transporting the same and if necessary to cross the remainder of the said land of the registered proprietor/s for the purpose of access and regress to and from the servient land. f) NOTHING herein contained shall prevent the registered proprietor/s for themselves and their successors in title from using the servient PROVIDED THAT such use does not derogate from this grant, or in the opinion of the Corporation, compromise the safe operation of the Corporation’s electricity infrastructure located on, above or under the servient land. <p>SECONDLY the benefit of a covenant for the Hydro-Electric Corporation and its successors with the registered proprietor/s for themselves and their successors in title of the servient land not to erect any buildings or place any structures or objects within the said easement without the prior written consent of the Corporation to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easementherinbefore described.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

SEARCH OF TORRENS TITLE

VOLUME 130236	FOLIO 74
EDITION 8	DATE OF ISSUE 24-Feb-2025

SEARCH DATE : 05-Jun-2025

SEARCH TIME : 09.37 AM

DESCRIPTION OF LAND

Parish of LOUTH, Land District of LINCOLN
Lot 74 on Sealed Plan 130236
Derivation : Part of Lot 1 49.22 Ha. vested in the Hydro
Electric Commission by Proclamation under Section 35 of the
Hydro Electric Commission Act 1944 gazetted on 9th
October 1946
Prior CT 115190/1

SCHEDULE 1

M864447 TRANSFER to WILLIAM JOHN JACKSON and LINDA LOUISE
CROSSWELL Registered 28-Jan-2021 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 130236 EASEMENTS in Schedule of Easements
SP 130236 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER HYDRO ELECTRIC CORPORATION</p> <p>FOLIO REFERENCE C.T 115190/1</p> <p>GRANTEE WHOLE OF LOT 1 (49.22ha) VESTED IN THE H.E.C. BY PROCLAMATION UNDER SEC. 35 OF THE H.E.C. ACT 1944 1929 GAZETTED ON 22ND NOV. 1939 54</p>	<p>PLAN OF SURVEY</p> <p>BY SURVEYOR DAVID A. HURD</p> <p>LOCATION LAND DISTRICT OF LINCOLN PARISH OF LOUTH</p> <p>SCALE 1 : 10000 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP130236</p> <p>APPROVED 31 AUG 1998 EFFECTIVE FROM <i>Mudhupin</i> Recorder of Titles</p>
<p>MAPSHEET MUNICIPAL 4430 CODE No. 105 -20</p>	<p>LAST UPINo.EXT29 -1200-</p>	<p>LAST PLAN No. P. 115190</p>
<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>		

LOT NUMBER INDEX

ENLARGEMENT
NOT TO SCALE

THE GRANTEE DETAILS HEREON HAVE BEEN
AMENDED UNDER SECTION 139 OF
THE LAND TITLES ACT 1980

Alice Kawa
RECORDER OF TITLES
11 OCTOBER 2001

**LYELL
HIGHWAY**

<p style="text-align: center;">PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 28 SHEETS</p>	<p>OWNER : HYDRO ELECTRIC COMMISSION</p> <p>FOLIO REFERENCE : CT 115190 / 1</p> <p>SCALE 1 : 7500 LENGTHS IN METRES</p>	<p style="text-align: center;">Registered Number</p> <p style="font-size: 1.5em; text-align: center;">SP130236</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p style="text-align: center;"> Council General Manager </p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p>Registered Surveyor DAVID A. HURD date 23/4/98</p>	

ANNEXURE SHEET INDEX

