



# **DISCRETIONARY APPLICATION**

## ***For Public Display***

**Applicant:**

Philip Lighton Architects Pty Ltd

**Location:**

14 Allport Road, Brandum

**Proposal:**

Demolition and Dwelling (Retrospective)

**DA Number:**

DA 2025/01

**Date Advertised:**

20 January 2025

**Date Representation Period Closes:**

04 February 2025

**Responsible Officer:**

Louisa Brown (Planning Officer)

**Viewing Documents:**

The relevant documents may be viewed at Council's website [www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au) or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

**Representations to:**

General Manager  
19 Alexander Street  
BOTHWELL TAS 7030

**Email:**

development@centralhighlands.tas.gov.au

# PHILP LIGHTON ARCHITECTS

49 Sandy Bay Road  
Hobart Tasmania 7004  
T +61(3) 6223 2333  
[hobart@philplighton.com.au](mailto:hobart@philplighton.com.au)

[www.philplighton.com.au](http://www.philplighton.com.au)  
Hobart/Launceston

General Manager

Planning Authority – Central Highlands Council

19 Alexander Street

Bothwell TAS 7030

mail: [development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au)

20 December 2024

Dear Mr Hoassack

## **Demolition and new house**

**14 Allport Road**

**Brandum Great Lake**

On behalf of the landowners of the property (J.W. Ford, J.J. Clingly and V.J. Lawson), please accept this *Application for Planning Approval* under the *Tasmanian Planning Scheme – Central Highlands Local Provision Schedules* for the demolition of an existing shack and the construction of a new house to existing property at 14 Allport Road Brandum, Great Lake, Certificate of Title no. CT154507/13

## **Proposal**

The proposal is for the demolition of an existing house and the construction of a new 3 bedroom 2 bathroom house with study, kitchen and associated decks with the existing outbuildings to remain “as is”.

It appears a *Planning Permit* was issued for an extension to a former shack on site. However, the scope of that *Permit* has been far extended with the demolition of the shack to floor level and a new house constructed.

### **Directors**

Peter Gaggin FRAIA  
Thomas Floyd AIA  
Anthony Dalgleish AIA

### **Associate Directors**

Mark Kukola AIA  
Richard Headlam AIA  
Kelsie Langley AIA

The works are the subject of a *Building Order EN2024/0008* issued by Council 27JUN24. Philp Lighton Architects have been brought in *after the fact* to assist in subsequently obtaining the necessary *Permits*.

This *Planning Permit* is the first stage of “*making things right*”. Following the (assumed) issue of the *Planning Permit*, PLA shall lodge the *Building and Plumbing Permit Applications*, and have engaged engineers and building surveyors to assist in this process.

Please refer to the attached documentation for more detail of the proposal.

### **Documents**

Enclosed are the *Planning Application* documents, comprising:

- a. This *Letter* to Central Highlands Council, dated 20 December 2024, describing the project history, use and development
- b. Completed Central Highlands *Planning Application* form, naming Philp Lighton Architects Pty Ltd as the Applicant, and Ford, Clingly and Lawson as the landowners;
- c. *Landowner Authorisation*
- d. CT154507/13Title *Folio text* and *Folio plan*
- e. PLA Drawings (all REV A):

DA-0000	Cover Sheet & Project information
DA-100	Site Plan – Demolition
DA-101	Site Plan
DA-102	Floor plan - Demolition
DA-103	Floor Plan
DA-104	Floor Framing Plan
DA105	Reflected Ceiling Plan
DA106	Roof Plan
DA-107	Roof Framing Plan
DA-200	Elevation- South

DA-201	Elevation- East
DA-202	Elevation- North
DA-203	Elevation- West
DA-300	Section 01
DA-301	Section 02
DA400	Site Images

### **Building & Plumbing Permits**

Detailed design documentation and certification shall be provided for *Building and Plumbing Permits* following the issue of the *Planning Permit*.

### **Application**

Please assess towards the issue of a *Planning Permit*. If Council would advise the applicable fees, payment will be organized. Should you have any queries regarding any of the above, please do not hesitate to contact me.

Yours faithfully

**Philp Lighton Architects Pty Ltd**

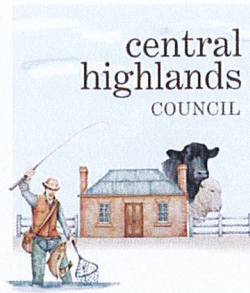


Peter Gaggin

Director + Principal Architect

Fellow Royal Australian Institute of Architects

CBOS ABSP 997A Architect



Development & Environmental Services  
 19 Alexander Street  
 BOTHWELL TAS 7030  
 Phone: (03) 6259 5503  
 Fax: (03) 6259 5722  
 www.centralhighlands.tas.gov.au

**OFFICE USE ONLY**  
 Application No.: \_\_\_\_\_  
 Property ID No.: \_\_\_\_\_  
 Date Received: \_\_\_\_\_

## Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

**Applicant / Owner Details:**

**Applicant Name** PHILP LIGHTON ARCHITECT PTY LTD

**Postal Address** 49 SANDY BAY RD  
 HOBART TAS 7000

**Phone No:** 03 6223 2333  
**Fax No:**

**Email address** pgaggin@philplighton.com.au

**Owner/s Name** (if not Applicant) J.W. FORD J.D. CLINGLY V.D. LAWSON (VIV)

**Postal Address** 14050 HIGHLAND LAKES RD  
 DELORAINIE TAS 7304

**Phone No:**  
**Fax No:**

**Email address:** vinrob1@bigpond.net.au

**Description of proposed use and/or development:**

**Address of new use and development:** DEMOLITION OF SHACK & NEW HOUSE

**Certificate of Title No:** Volume No: 154507 Lot No: 13

**Description of proposed use or development:** DEMOLITION & NEW HOUSE  
 REFER LETTER TO COUNCIL

**Current use of land and buildings:** HOUSE

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Eg. Are there any existing buildings on this title? If yes, what is the main building used as?

**Proposed Material** What are the proposed external wall colours: DARK GREY GREEN What is the proposed roof colour: SAME

What is the proposed new floor area m<sup>2</sup>: 105m<sup>2</sup> PLUS DECK What is the estimated value of all the new work proposed: \$ 4 00 000

Is proposed development to be staged:

Yes  No  Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes  No

Is the place on the Tasmanian Heritage Register?

Yes  No

Have you sought advice from Heritage Tasmania?

Yes  No

Has a Certificate of Exemption been sought for these works?

Yes  No

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature"); **Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.**

Applicant Signature



(if not the Owner)

Applicant Name (Please print)

PETER GARCIA

Date

20.12.24

REFER LETTER

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

## Information & Checklist sheet

		✓
1.	A completed Application for Planning Approval – Use and Development form. <i>Please ensure that the information provides an accurate description of the proposal, has the correct address and contact details and is signed and dated by the applicant.</i>	<input checked="" type="checkbox"/>
2.	A current copy of the Certificate of Title for all lots involved in the proposal. <i>The title details must include, where available, a copy of the search page, title plan, sealed plan or diagram and any schedule of easements (if any), or other restrictions, including covenants, Council notification or conditions of transfer.</i>	<input checked="" type="checkbox"/>
3.	Two (2) copies of the following information -	<input checked="" type="checkbox"/>
a)	An analysis of the site and surrounding area setting out accurate descriptions of the following -	<input checked="" type="checkbox"/>
(i)	topography and major site features including an indication of the type and extent of native vegetation present, natural drainage lines, water courses and wetlands, trees greater than 5 metres in height in areas of skyline or landscape importance and identification of any natural hazards including flood prone areas, high fire risk areas and land subject to instability;	
(ii)	soil conditions (depth, description of type, land capability etc);	
(iii)	the location and capacity of any existing services or easements on the site or connected to the site;	
(iv)	existing pedestrian and vehicle access to the site;	
(v)	any existing buildings on the site;	
(vi)	adjoining properties and their uses; and	
(vii)	soil and water management plans.	
b)	A site plan for the proposed use or development drawn, unless otherwise approved, at a scale of not less than 1:200 or 1:1000 for sites in excess of 1 hectare, showing -	<input checked="" type="checkbox"/>
(i)	a north point;	
(ii)	the boundaries and dimensions of the site;	
(iii)	Australian Height Datum (AHD) levels;	
(iv)	natural drainage lines, watercourses and wetlands;	
(v)	soil depth and type;	
(vi)	the location and capacity of any existing services or easements on the site or connected to the site;	
(vii)	the location of any existing buildings on the site, indicating those to be retained or demolished, and their relationship to buildings on adjacent sites, streets and access ways;	
(viii)	the use of adjoining properties;	
(ix)	shadow diagrams of the proposed buildings where development has the potential to cause overshadowing;	
(x)	the dimensions, layout and surfacing materials of all access roads, turning areas, parking areas and footpaths within and at the site entrance;	
(xi)	any proposed private or public open space or communal space or facilities;	
(xii)	proposed landscaping, indicating vegetation to be removed or retained and species and mature heights of plantings; and	
(xiii)	methods of minimizing erosion and run-off during and after construction and preventing contamination of storm water discharged from the site.	
c)	Plans and elevations of proposed and existing buildings, drawn at a scale of not less than 1:100, showing internal layout and materials to be used on external walls and roofs and the relationship of the elevations to natural ground level, including any proposed cut or fill.	<input checked="" type="checkbox"/>
4.	A written submission supporting the application that demonstrates compliance with the relevant parts of the Act, State Policies and the Central Highlands Interim Planning Scheme 2015, including for industrial and commercial uses, the hours of operation, number of employees, details of any point source discharges or emissions, traffic volumes generated by the use and a Traffic Impact Statement where the development is likely to create more than 100 vehicle movements per day.	<input checked="" type="checkbox"/>
5.	Prescribed fees payable to Council. An invoice for the fees payable will be issued once application has been received.	

<p><b>Information</b></p> <p>If you provide an email address in this form then the Central Highlands Council (“the Council”) will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 (“the Act”).</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, <b>please tick</b> <input checked="" type="checkbox"/> the box</p>	<p>TBA <input type="checkbox"/></p>
<p><b>Heritage Tasmania</b></p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	<p>MA</p>
<p><b>TasWater</b></p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	
<p><b>Submission of Application</b></p> <p>Applications can be submitted in a number of ways as follows:</p> <ul style="list-style-type: none"> <li>• Electronically: Email to <a href="mailto:development@centralhighlands.tas.gov.au">development@centralhighlands.tas.gov.au</a></li> <li>• Post: 19 Alexander Street, BOTHWELL 7030</li> <li>• In Person: Development &amp; Environmental Services Office, 19 Alexander Street, Bothwell 7030</li> </ul>	



**Peter Gaggin**

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**To:** Peter Gaggin  
**Subject:** FW: 14 Allport Road Brandum

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**From:** vivnrob1 <vivnrob1@bigpond.net.au>  
**Sent:** Sunday, 8 September 2024 9:37 AM  
**To:** Peter Gaggin <pgaggin@philplighton.com.au>  
**Subject:** RE: 14 Allport Road Brandum

To whom it may concern

**14 Allport Road Brandum great lake**

**New House**

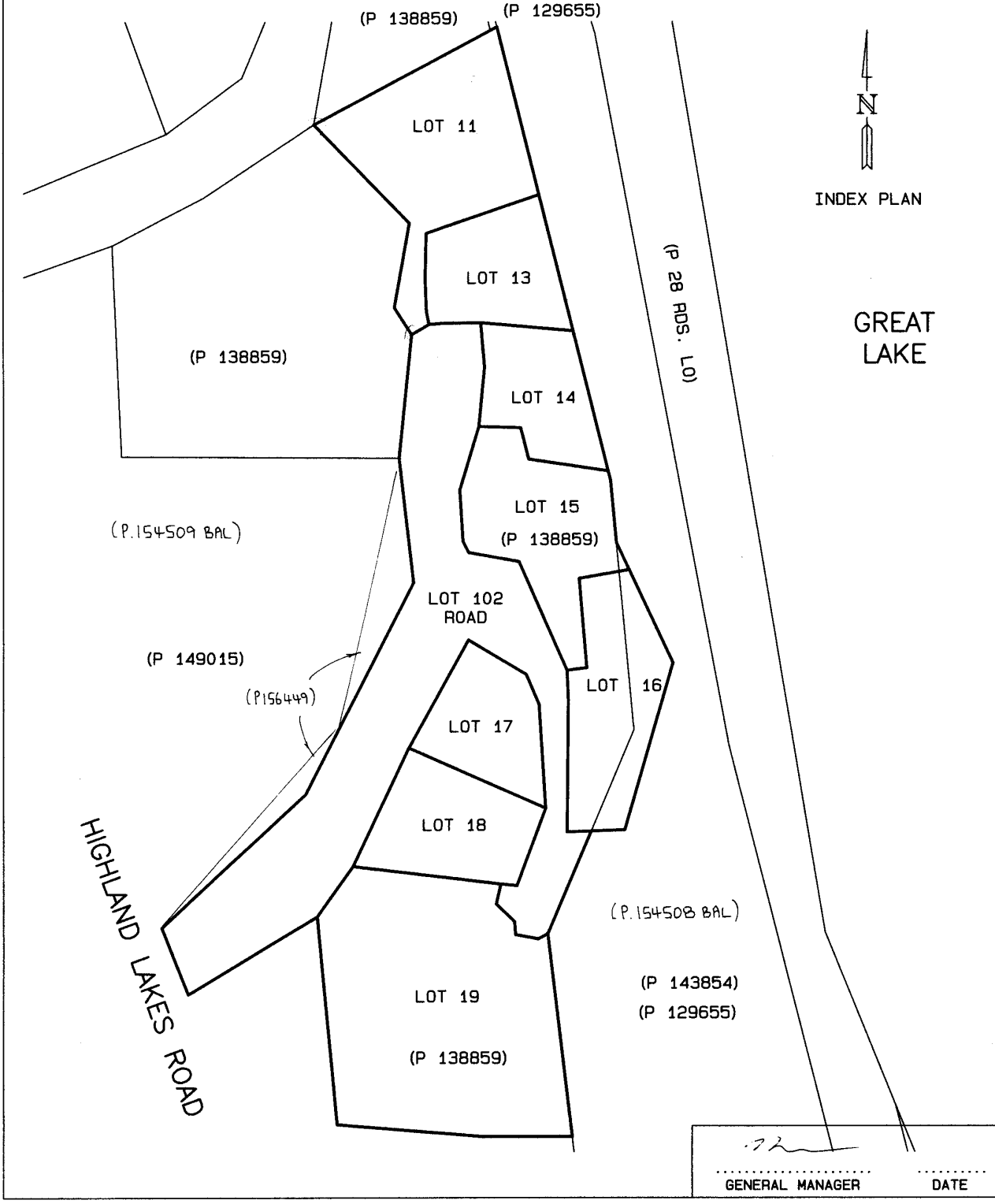
As landowners for the above property, please accept this as authority for Philp Lighton Architects Pty Ltd (Peter Gaggin, Director ABSP CC997A to act on our behalf for the purposes of all Statutory Permit Applications

Signed

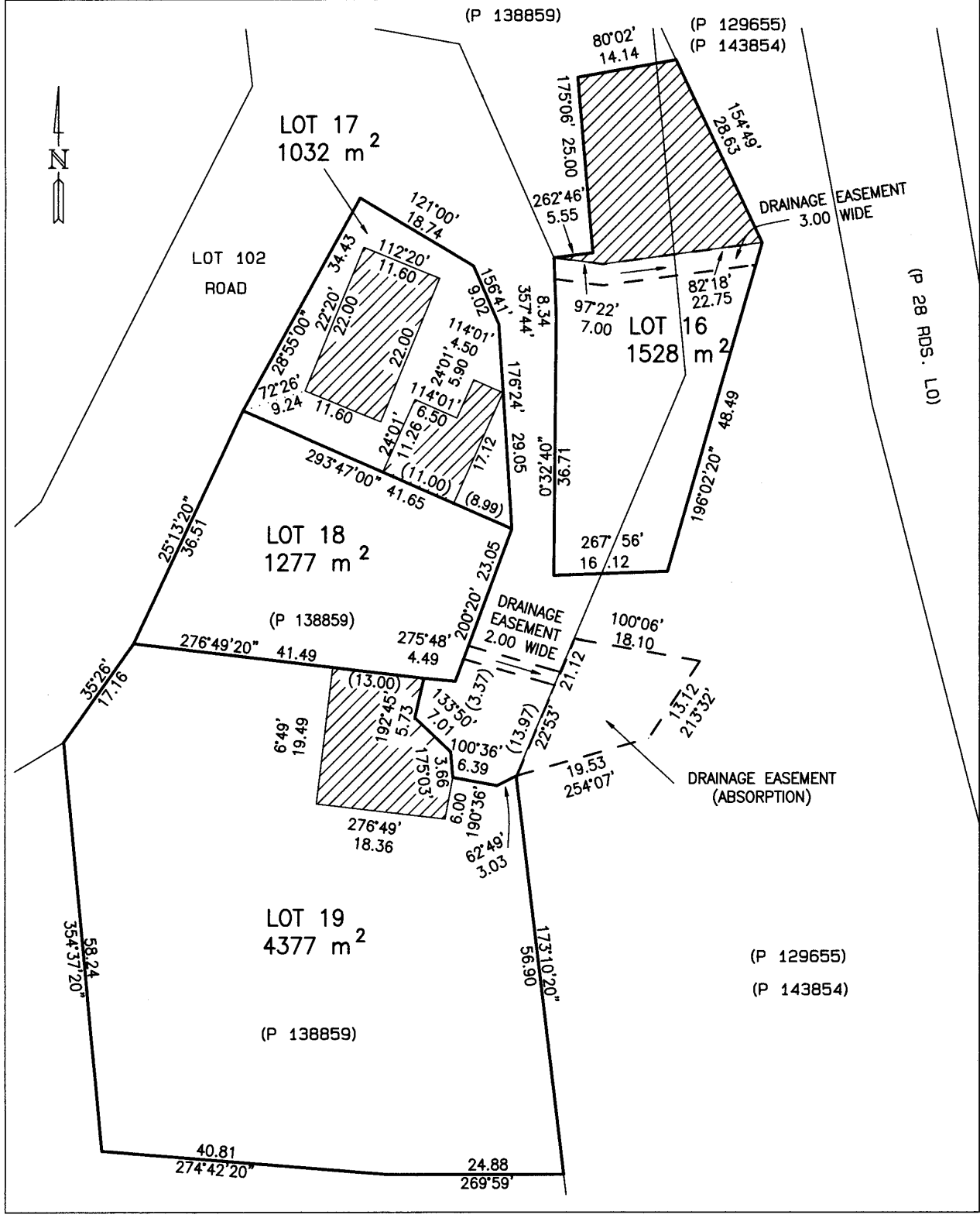
V Lawson.....

Date: 8/9/24

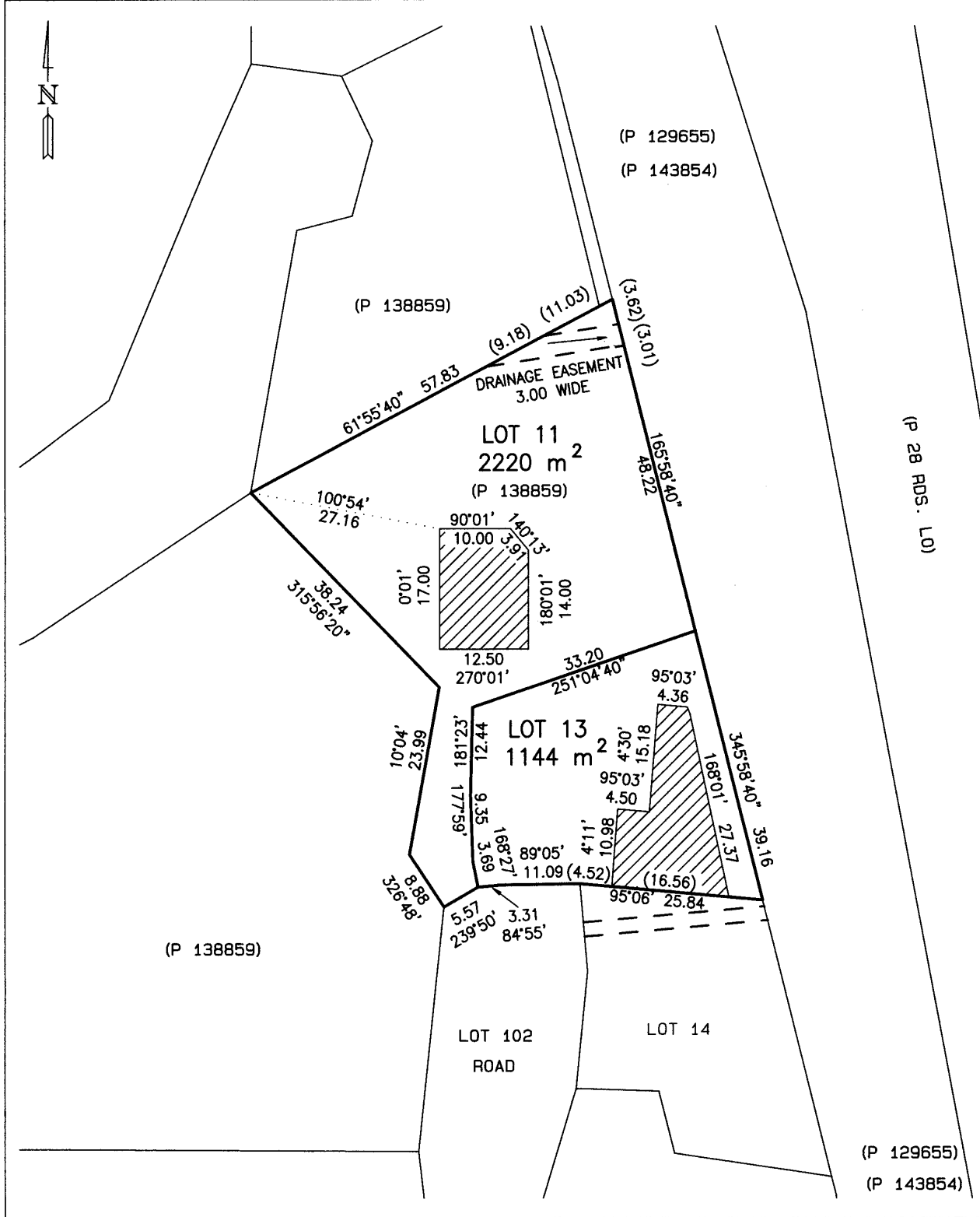
OWNER. THE CROWN, HYDRO ELECTRIC COMMISSION  FOLIO REFERENCE. CT 138859/11,13,14,15,16,17, 18,19,102; CT 149015/1; CT 143854/1.		<b>PLAN OF SURVEY</b> BY SURVEYOR NEVILLE CHARLES McGUIRE of 19 John Street, Kingston.  LOCATION <b>WESTMORLAND                  TIAGARRA</b>  SCALE 1: 1000      LENGTHS IN METRES		REGISTERED NUMBER <b>SP154507</b>
GRANTEE. PART OF LOT 928 BEING 600 ACRES AND PART OF LOT 927 BEING 576 ACRES GRANTED TO CHARLES HEADLAM.		APPROVED      28 SEP 2009 EFFECTIVE FROM ..... <i>Alice Kawa</i> Recorder of Titles		
MAPSHEET MUNICIPAL CODE No. 105 (4636)	LAST FXY61 FXY56 UPI No 4500004	LAST PLAN No. P138859 P143854, P149015	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



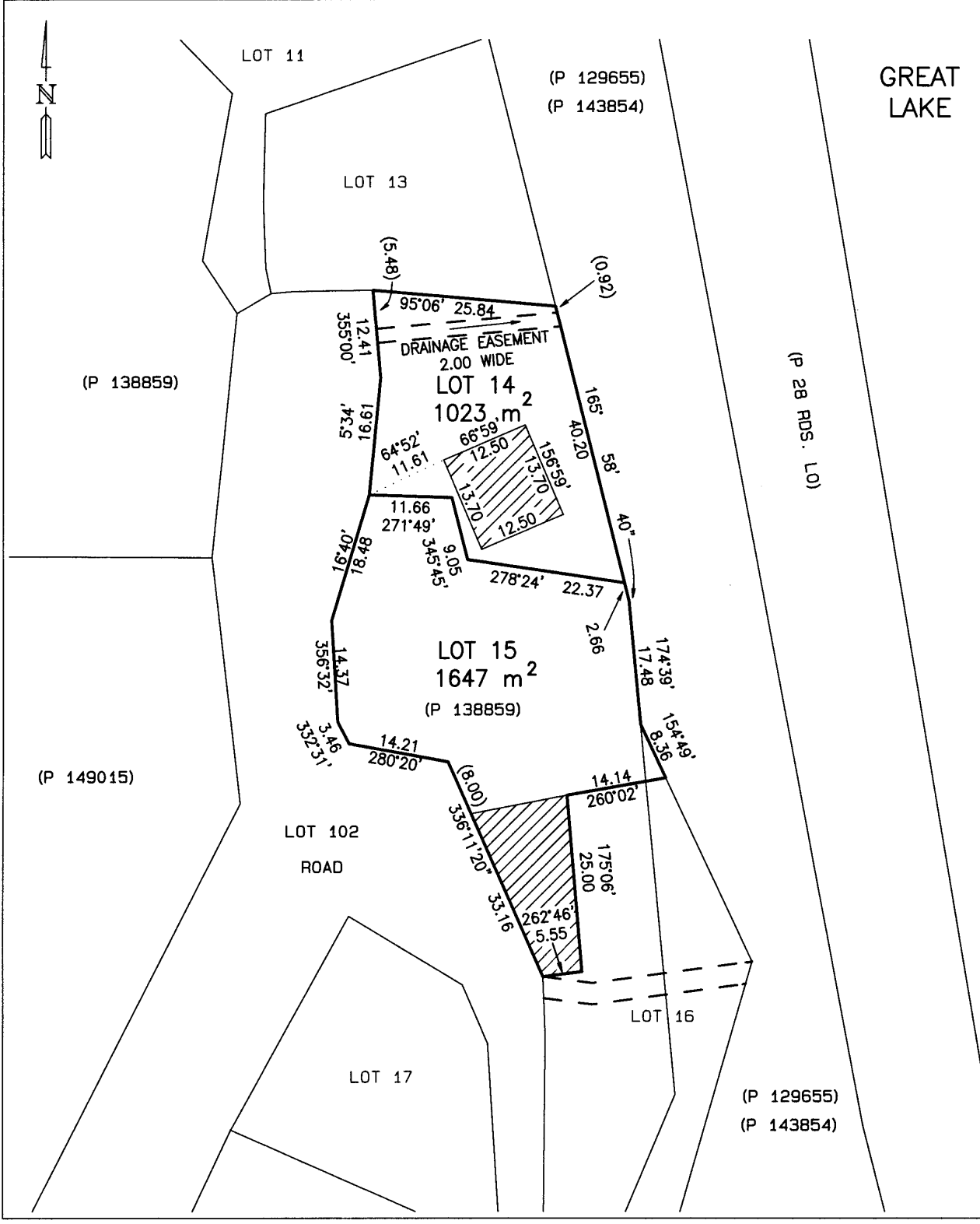
<p><b>PLAN OF SURVEY</b> <b>ANNEXURE SHEET</b></p> <p>SHEET 1 OF 4 SHEETS</p>	<p>OWNER. THE CROWN, HYDRO ELECTRIC COMMISSION</p> <p>FOLIO REFERENCE. CT 138859/11, 13, 14, 15, 16, 17, 18, 19, 102; CT 149015/1; CT 143854/1.</p> <p>SCALE 1: 500                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 154507</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>.....                      .....</p> <p>Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>Willie McLeish</i> .....                      28/4/2008</p> <p>Registered Land Surveyor                      Date</p>	<p>APPROVED</p> <p>EFFECTIVE FROM 28 SEP 2009</p> <p><i>Miss Lane</i></p> <p>Recorder of Titles</p>



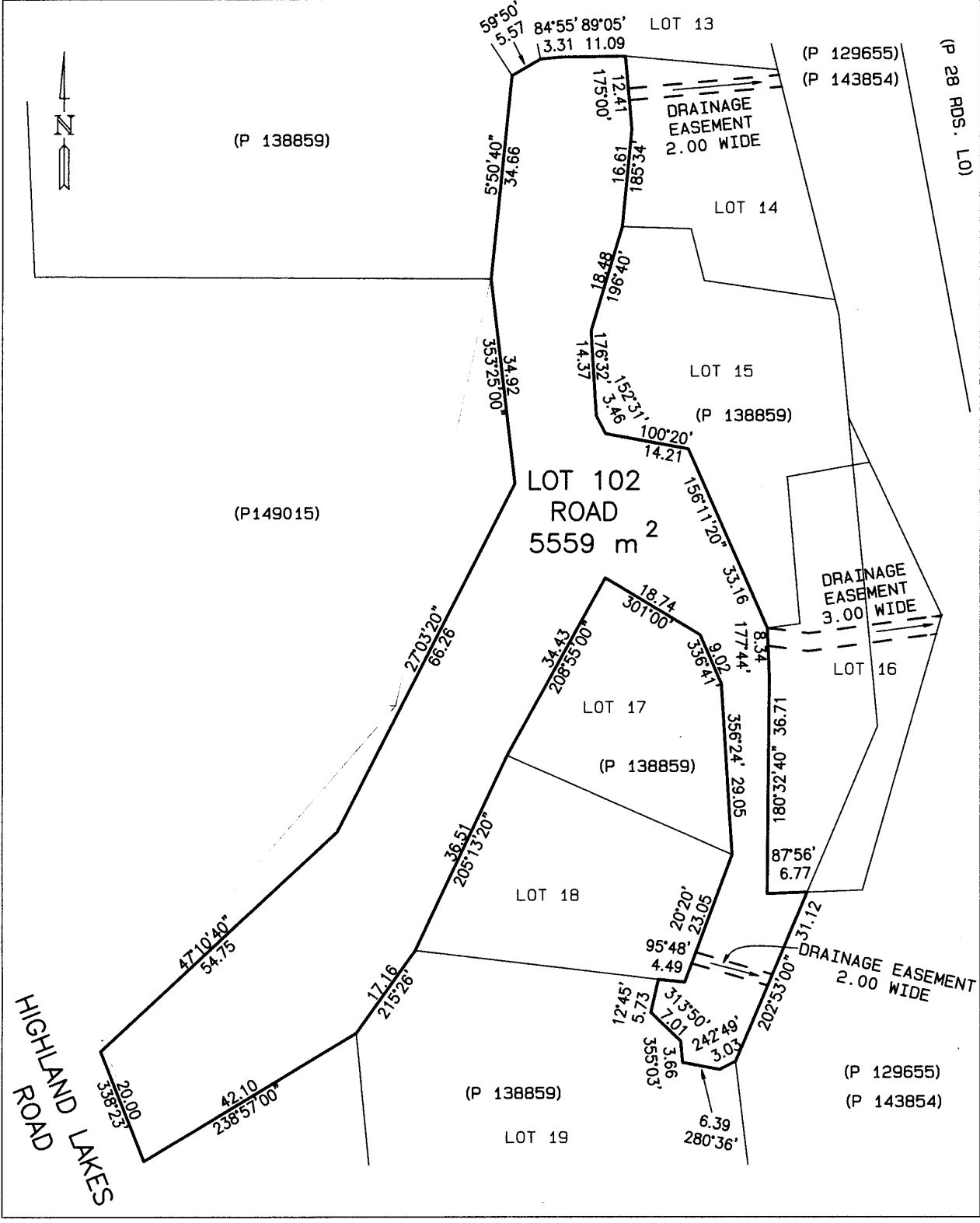
<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 2 OF 4 SHEETS</p>	<p>OWNER. THE CROWN, HYDRO ELECTRIC COMMISSION</p> <p>FOLIO REFERENCE. CT 138859/11, 13, 14, 15, 16, 17, 18, 19, 102; CT 149015/1; CT 143854/1.</p> <p>SCALE 1: 500                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 154507</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>..... Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>Wille M. Lurie</i> .....                      <i>28/4/2008</i> Registered Land Surveyor                      Date</p>	<p>APPROVED                      <b>28 SEP 2009</b> EFFECTIVE FROM .....</p> <p><i>Miss Lane</i> Recorder of Titles</p>



<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 3 OF 4 SHEETS</p>	<p>OWNER. THE CROWN, HYDRO ELECTRIC COMMISSION</p> <p>FOLIO REFERENCE. CT 138859/11, 13, 14, 15, 16, 17, 18, 19, 102; CT 149015/1; CT 143854/1.</p> <p>SCALE 1: 500                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 154507</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>.....                      .....</p> <p>Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>Shiville M. Squire</i>.....                      28/4/2008</p> <p>Registered Land Surveyor                      Date</p>	<p>APPROVED                      28 SEP 2009</p> <p>EFFECTIVE FROM .....</p> <p><i>Alice Lanza</i></p> <p>Recorder of Titles</p>



<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 4 OF 4 SHEETS</p>	<p>OWNER. THE CROWN, HYDRO ELECTRIC COMMISSION</p> <p>FOLIO REFERENCE. CT 138859/11, 13, 14, 15, 16, 17, 18, 19, 102; CT 149015/1; CT 143854/1.</p> <p>SCALE 1: 600                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 154507</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>..... Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p><i>Neville M. Harris</i> .....                      28/4/2008 Registered Land Surveyor                      Date</p>	<p>APPROVED</p> <p>EFFECTIVE FROM 28 SEP 2009</p> <p><i>Alice Hara</i> Recorder of Titles</p>



SEARCH OF TORRENS TITLE

VOLUME 154507	FOLIO 13
EDITION 5	DATE OF ISSUE 04-May-2024

SEARCH DATE : 20-Dec-2024

SEARCH TIME : 08.33 AM

DESCRIPTION OF LAND

Parish of TIAGARRA Land District of WESTMORLAND  
 Lot 13 on Sealed Plan 154507  
 Derivation : Part of Lot 928 600 Acres and Part of Lot 927 576  
 Acres Gtd. to Charles Headlam  
 Prior CTs 138859/13, 149015/1 and 138859/11

SCHEDULE 1

N187465 TRANSFER to JENNIFER JEAN CLINGLY, JEREMY WILLIAM  
 FORD and VIVIENNE LOUISE LAWSON as tenants in common  
 in equal shares Registered 04-May-2024 at noon

SCHEDULE 2

C946988 Land is limited in depth to 15 metres, excludes  
 minerals and is subject to reservations relating to  
 drains sewers and waterways in favour of the Crown  
 SP154507 COVENANTS in Schedule of Easements  
 C946988 FENCING PROVISION in Transfer  
 C603358 NOTICE to Record Bar to Action Section 30 Crown Lands  
 (Shack Sites) Act 1997 Registered 21-Dec-2004 at noon  
 C934191 AGREEMENT pursuant to Section 71 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 14-Jan-2010 at noon  
 E379461 MORTGAGE to Suncorp-Metway Ltd Registered  
 04-May-2024 at 12.01 PM  
 C585676 COVENANTS SET FORTH IN ORDER  
 C892485 APPLICATION under section 84(c) of the Conveyancing  
 and Law of Property Act 1884 to extinguish Covenant  
 No.8 in Order C585676

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



PROJECT				
SHEET	Sheet Name	Current Revision	Current Revision Date	Current Revision Description
DA000	COVER SHEET	A	20-12-2024	Development Application
DA100	SITE PLAN DEMOLITION	A	20-12-2024	Development Application
DA101	SITE PLAN	A	20-12-2024	Development Application
DA102	FLOOR PLAN DEMOLITION	A	20-12-2024	Development Application
DA103	FLOOR PLAN	A	20-12-2024	Development Application
DA104	FLOOR FRAMING PLAN	A	20-12-2024	Development Application
DA105	REFLECTED CEILING PLAN	A	20-12-2024	Development Application
DA106	ROOF PLAN	A	20-12-2024	Development Application
DA107	ROOF FRAMING PLAN	A	20-12-2024	Development Application
DA200	ELEVATION - SOUTH	A	20-12-2024	Development Application
DA201	ELEVATION - EAST	A	20-12-2024	Development Application
DA202	ELEVATION - NORTH	A	20-12-2024	Development Application
DA203	ELEVATION - WEST	A	20-12-2024	Development Application
DA300	SECTIONS 01	A	20-12-2024	Development Application
DA301	SECTIONS 02	A	20-12-2024	Development Application
DA400	SITE IMAGES	A	20-12-2024	Development Application

**001.24171 FORD CLINGLY AND LAWSON  
BRANDUM DWELLING  
14 ALLPORT ROAD BRANDUM TAS 7304**

**PHILP  
LIGHTON  
ARCHITECTS**  
DA000 REVISION: A



16 ALLPORT ROAD  
BRANDUM TAS 7304  
TITLE: 154507/11

DEMOLISH EXISTING HOUSE  
MAINTAIN FLOOR AND UNDERFLOOR STRUCTURE

EXISTING  
SHED

14 ALLPORT ROAD BRANDUM TAS 7304  
PROPERTY ID: 50015630  
TITLE: 154507/13

EXISTING  
SHED

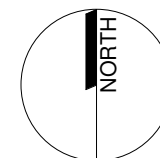
12 ALLPORT ROAD  
BRANDUM TAS 7304  
TITLE: 154507/14

**PHILP  
LIGHTON  
ARCHITECTS**

**BRANDUM DWELLING**

CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668



**SITE PLAN DEMOLITION**

DRAWING No: DA100

PROJECT No 001.24171

© This drawing is copyright and remains the property of  
Philp Lighton Architects Pty Ltd

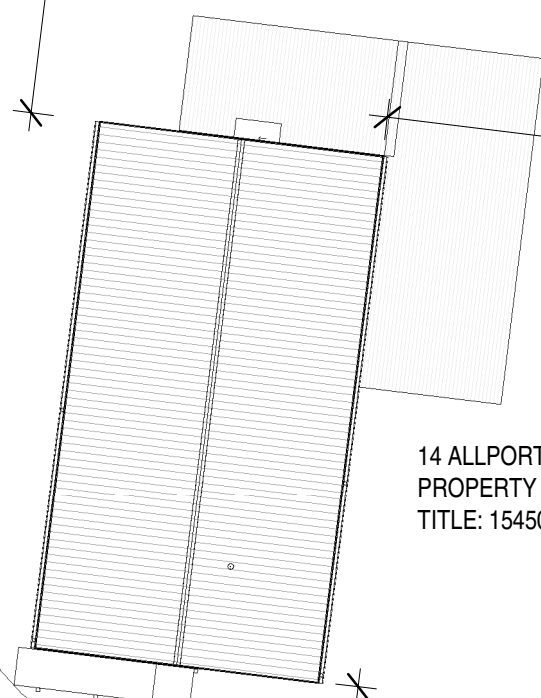
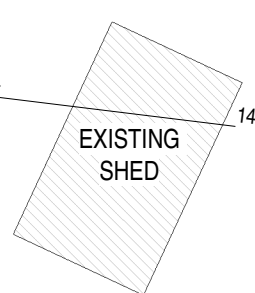
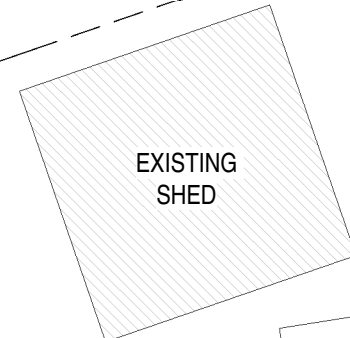
SCALE: 1 : 200 @ A3

DATE: 20-12-2024

REVISION: A

P:\PROJECTS\001.24171 LAWSON - 11 ALLPORT ROAD BRANDUM\CAD\CURRENT\REVIT\001-24171 Lawson.rvt  
20/12/2024 8:31:18 AM

16 ALLPORT ROAD  
BRANDUM TAS 7304  
TITLE: 154507/11



14 ALLPORT ROAD BRANDUM TAS 7304  
PROPERTY ID: 50015630  
TITLE: 154507/13

12 ALLPORT ROAD  
BRANDUM TAS 7304  
TITLE: 154507/14

9368

11611

14551

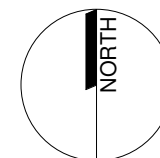
7445

**PHILP  
LIGHTON  
ARCHITECTS**

**BRANDUM DWELLING**

CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dalglish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668



**SITE PLAN**

DRAWING No: DA101

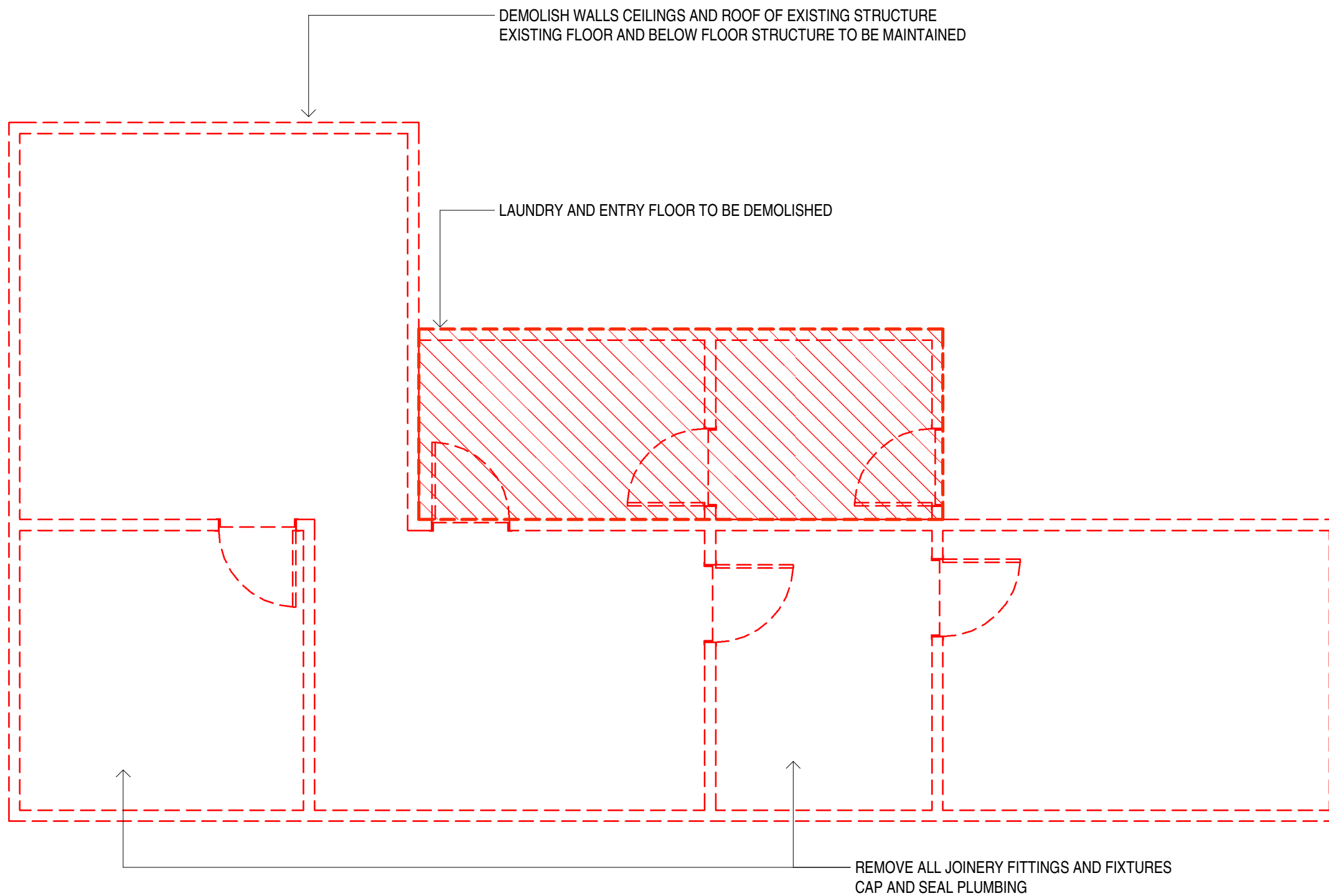
PROJECT No 001.24171

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SCALE: 1 : 200 @ A3

DATE: 20-12-2024

REVISION: A

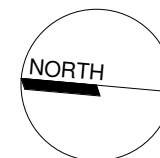


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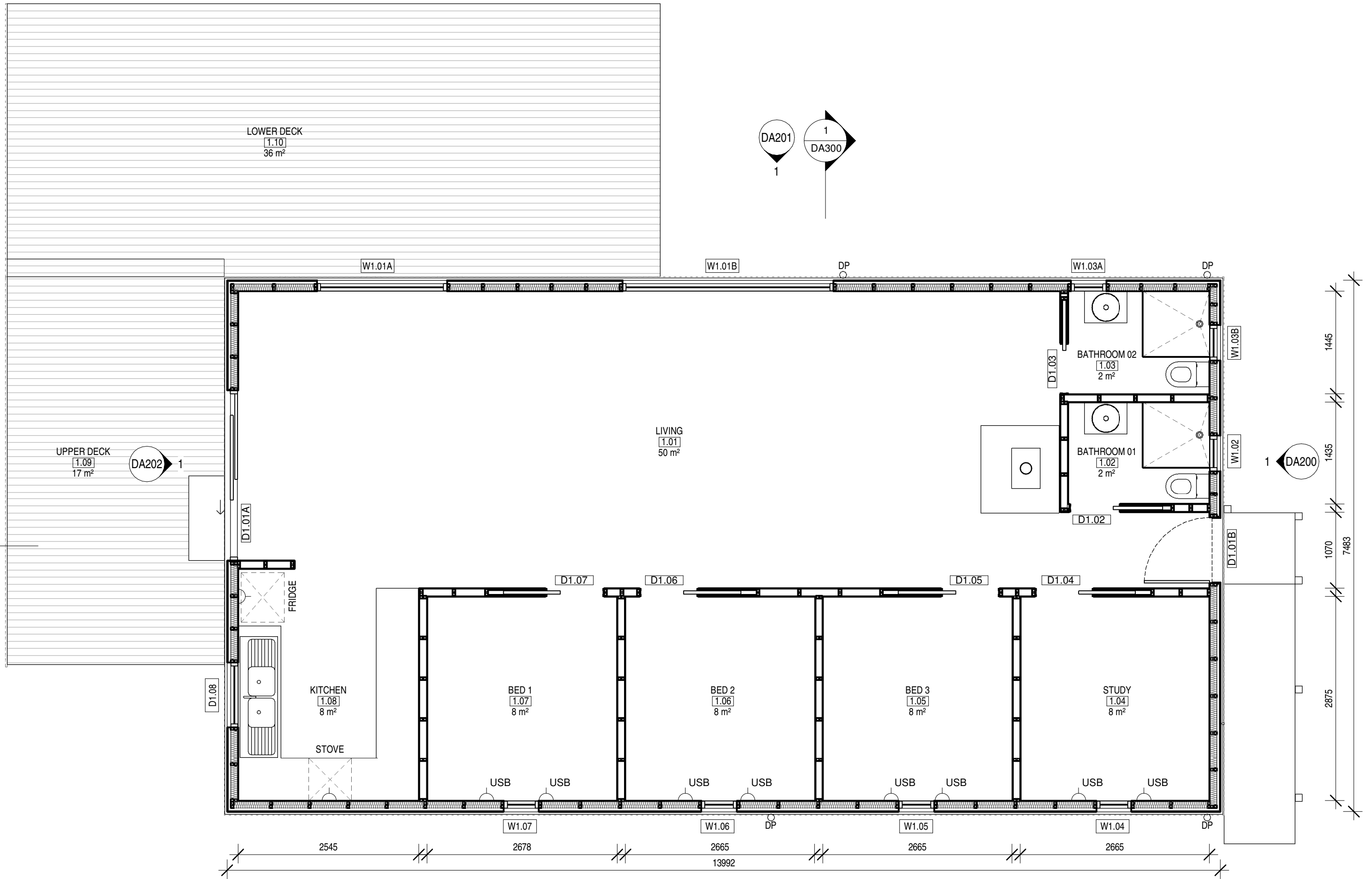
**BRANDUM DWELLING**

CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668



<b>FLOOR PLAN DEMOLITION</b>		DRAWING No: DA102
		PROJECT No 001.24171
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	DATE: 20-12-2024	

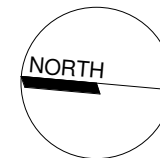


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ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668



**FLOOR PLAN**

DRAWING No: DA103

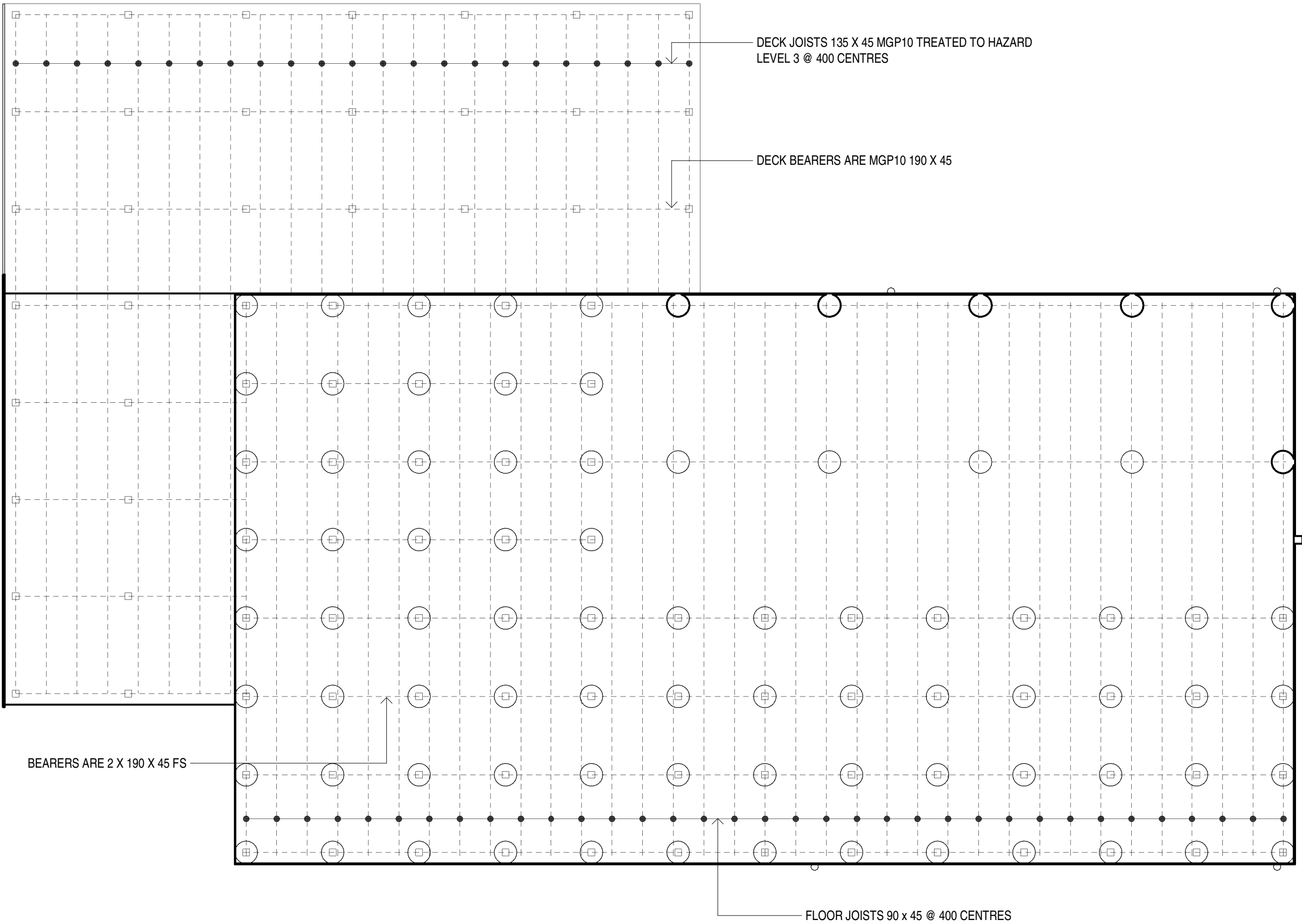
PROJECT No 001.24171

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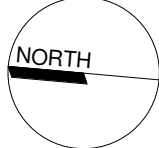


DECK JOISTS 135 X 45 MGP10 TREATED TO HAZARD LEVEL 3 @ 400 CENTRES

DECK BEARERS ARE MGP10 190 X 45

BEARERS ARE 2 X 190 X 45 FS

FLOOR JOISTS 90 x 45 @ 400 CENTRES



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ARCHITECTS**

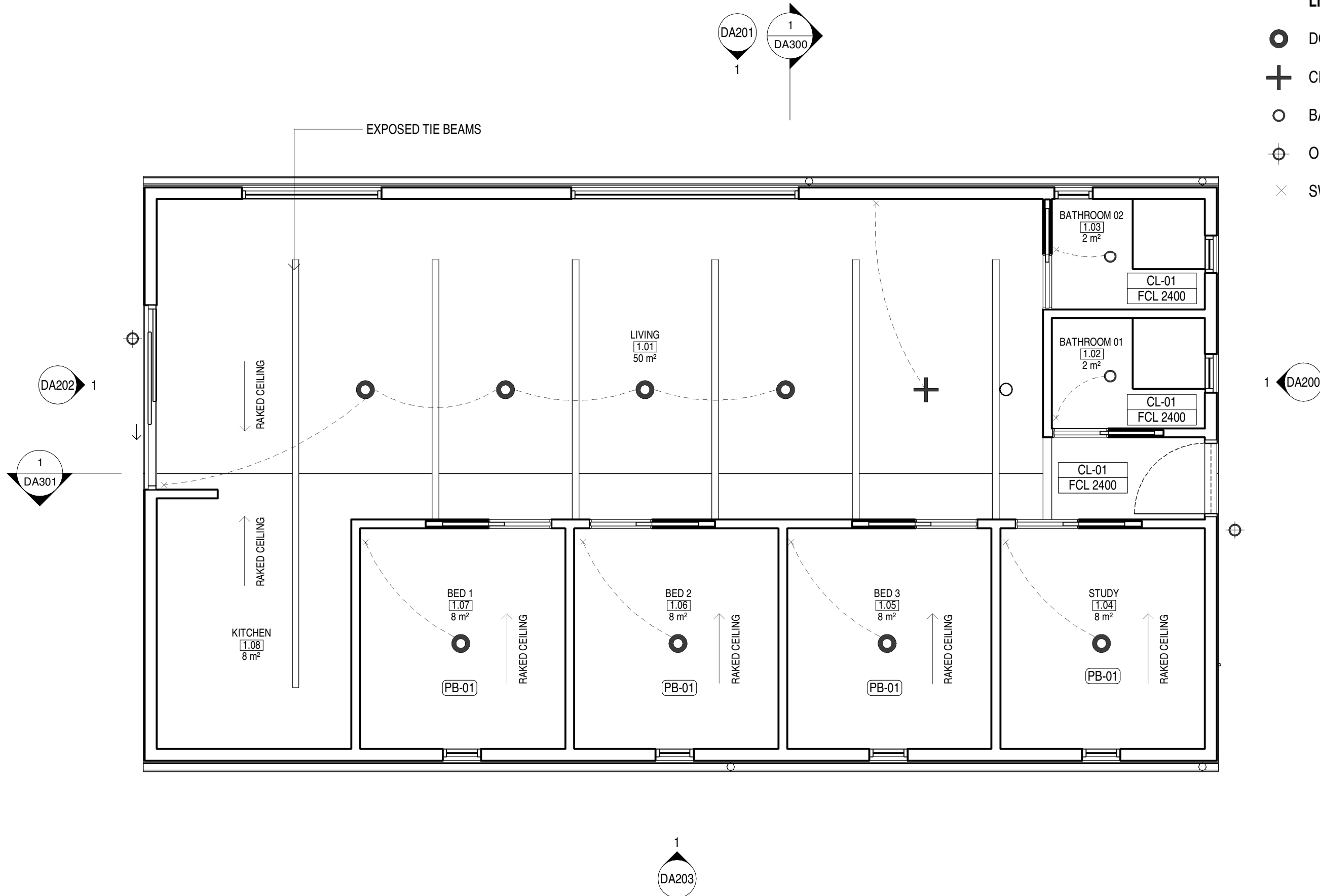
**BRANDUM DWELLING**  
 CLIENT: FORD CLINGLY AND LAWSON  
 ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304  
 Accredited Designers: Anthony Dalglish: 567913835  
 Peter Gaggin: CC997A  
 Thomas Floyd: 611728668

<b>FLOOR FRAMING PLAN</b>		DRAWING No:	DA104
		PROJECT No:	001.24171
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		DATE:	20-12-2024
		REVISION:	A

P:\PROJECTS\001.24171 LAWSON - 11 ALLPORT ROAD BRANDUM\CAD\CURRENT\REVIT\001-24171 Lawson.rvt  
20/12/2024 8:31:19 AM

**LIGHTING LEGEND:**

- DOWNLIGHT
- ⊕ CEILING FAN
- BATHROOM FAN
- ⊕ OUTDOOR LIGHT
- × SWITCH



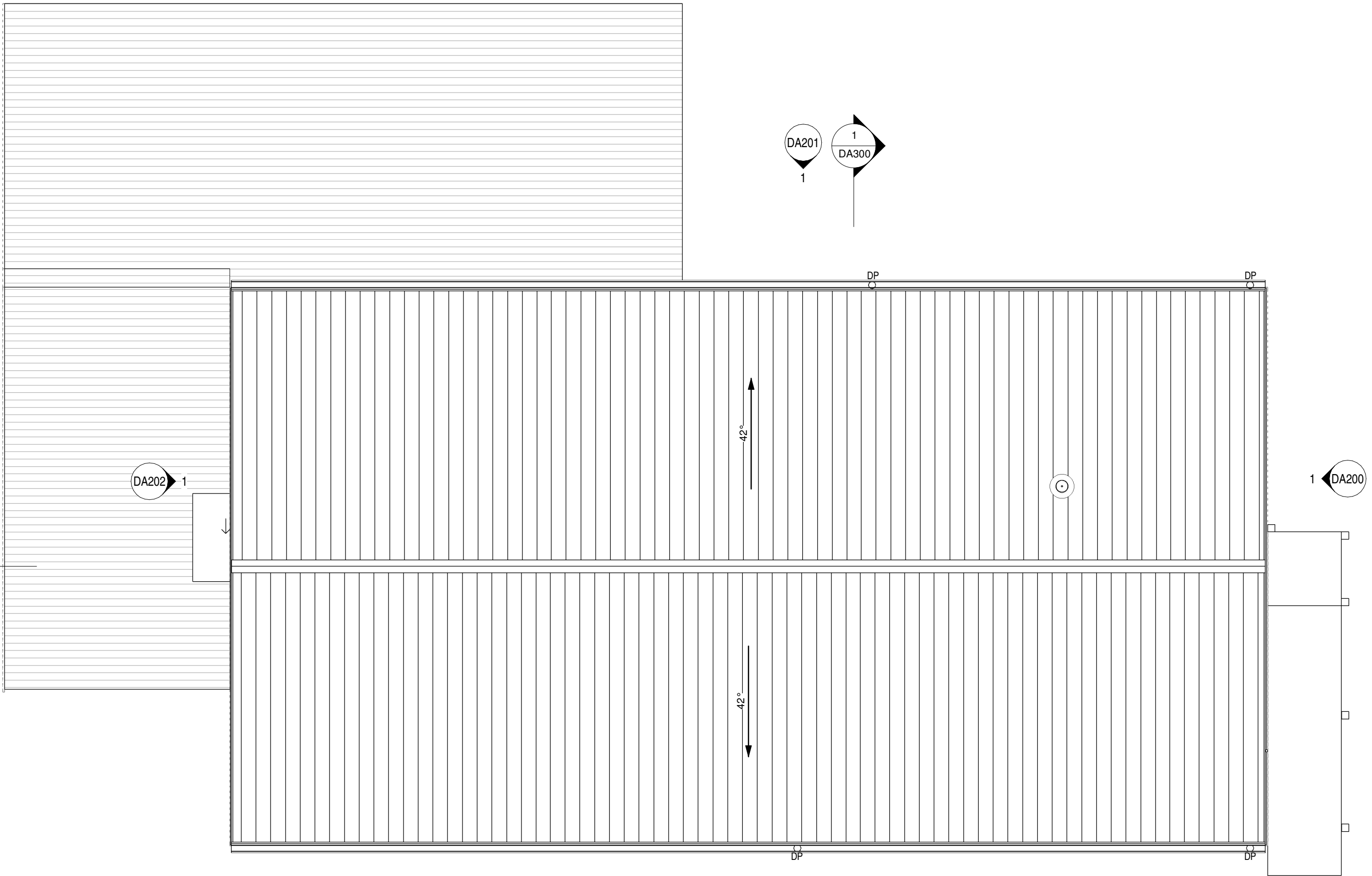
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CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668

<b>REFLECTED CEILING PLAN</b>		DRAWING No: DA105
		PROJECT No 001.24171
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	DATE: 20-12-2024	

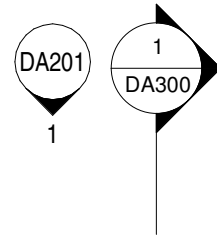


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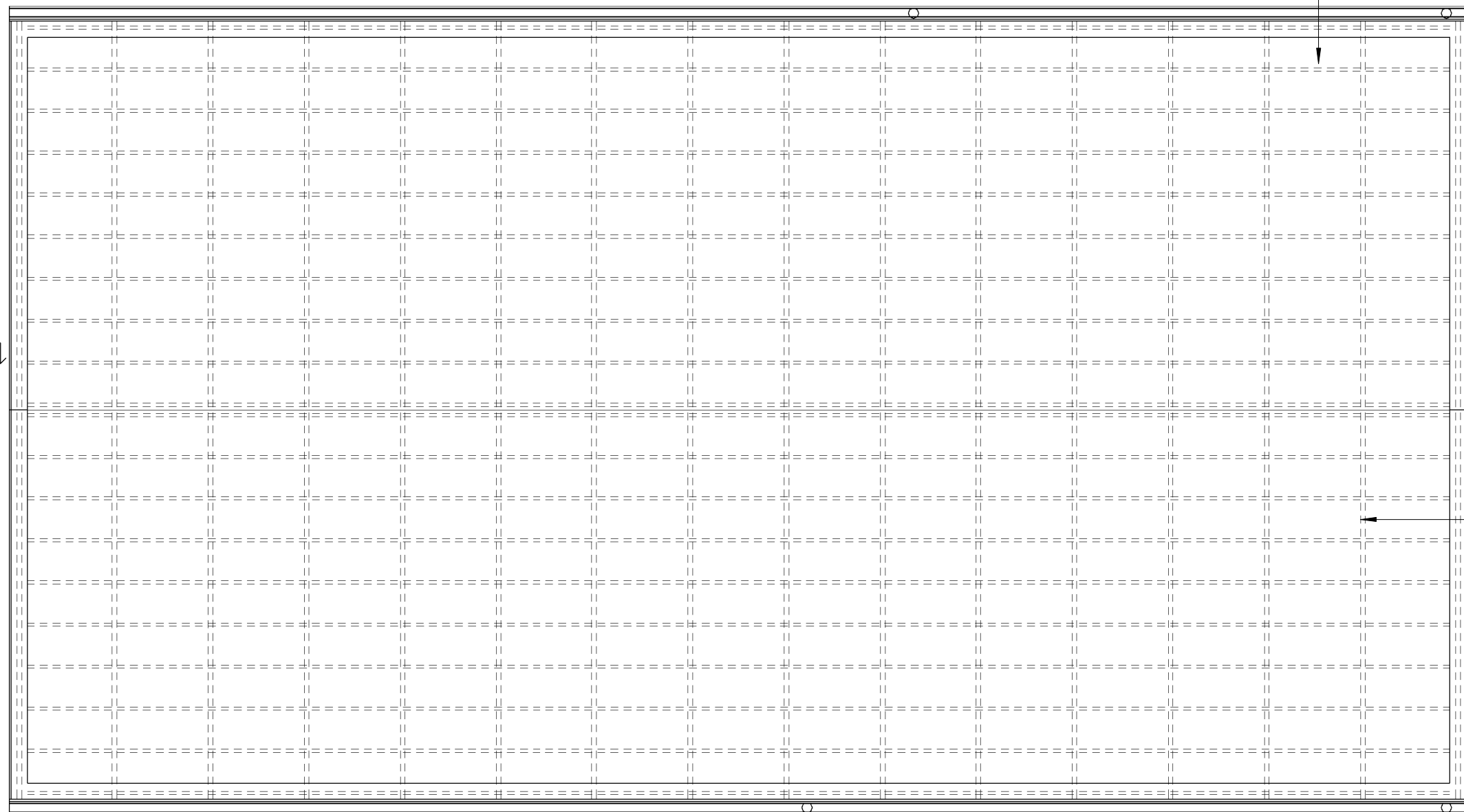
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 CLIENT: FORD CLINGLY AND LAWSON  
 ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304  
 Accredited Designers: Anthony Dagleish: 567913835  
 Peter Gaggin: CC997A  
 Thomas Floyd: 611728668



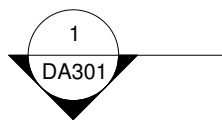
<b>ROOF PLAN</b>	DRAWING No:	DA106
	PROJECT No:	001.24171
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	DATE:	20-12-2024
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ROOF BATTENS MGP12 90  
X 35 AT 400 CENTRES



190 x 45 F5 ROOF FRAMING  
AT 900 CENTRES



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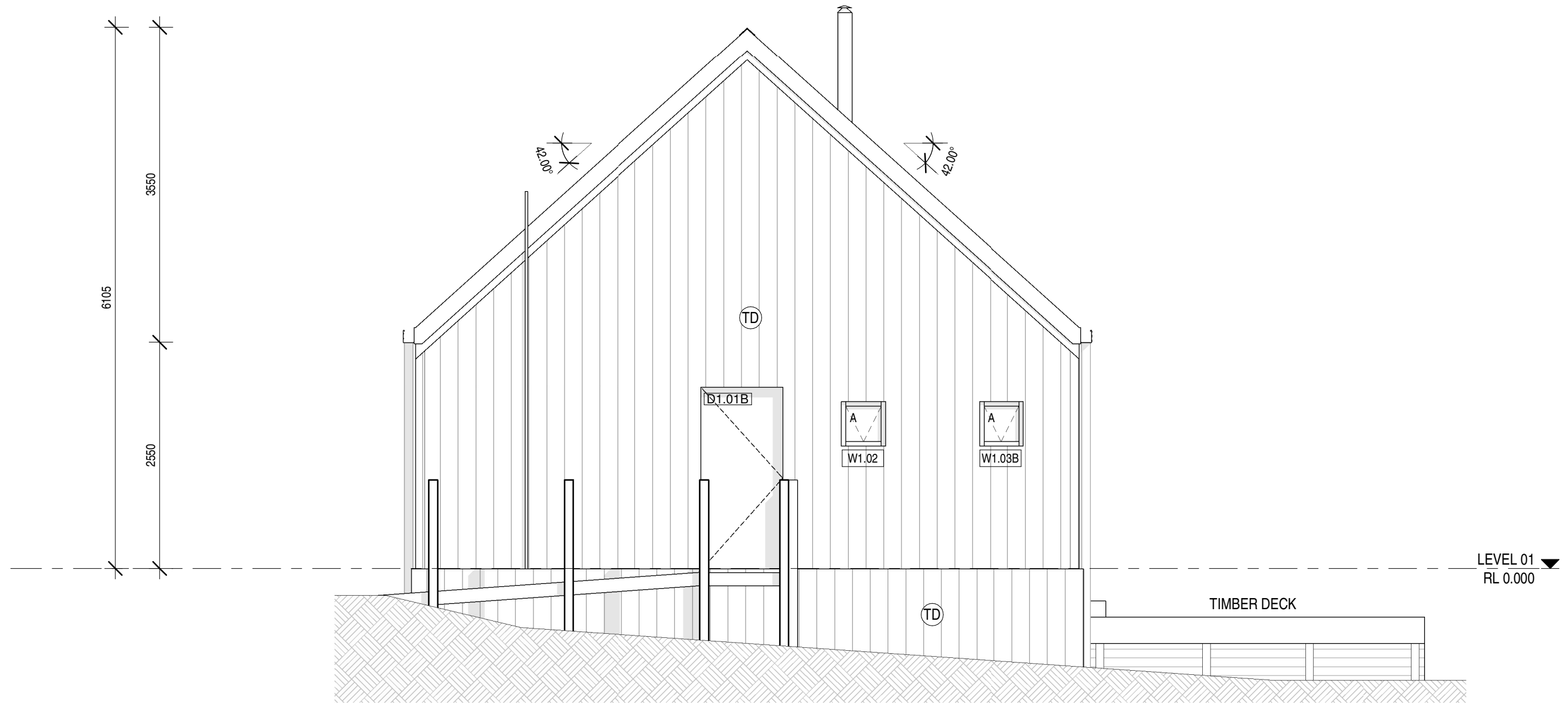
**BRANDUM DWELLING**  
 CLIENT: FORD CLINGLY AND LAWSON  
 ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304  
 Accredited Designers: Anthony Dalglish: 567913835  
 Peter Gaggin: CC997A  
 Thomas Floyd: 611728668

<b>ROOF FRAMING PLAN</b>		DRAWING No: <b>DA107</b>
		PROJECT No <b>001.24171</b>
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	DATE: 20-12-2024	



**MATERIAL LEGEND:**

- (TD) TRIMDEK CLADDING IN MONUMENT
- A - GLAZING - AWNING
- F - GLAZING - FIXED



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**BRANDUM DWELLING**

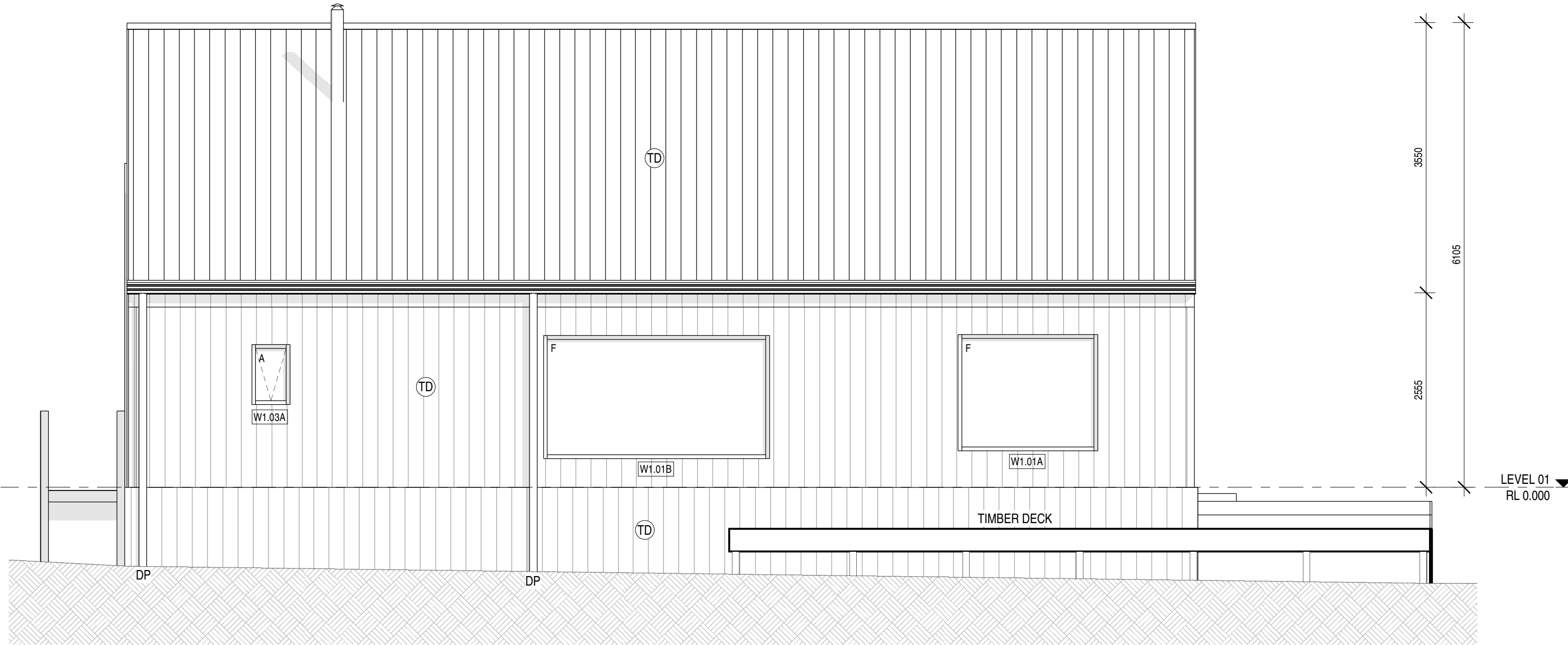
CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dalglish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668

<b>ELEVATION - SOUTH</b>	DRAWING No:	DA200
	PROJECT No:	001.24171
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	DATE:	20-12-2024
	REVISION:	A

**MATERIAL LEGEND:**

- (TD) TRIMDEK CLADDING IN MONUMENT
- A - GLAZING - AWNING
- F - GLAZING - FIXED



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ARCHITECTS**

**BRANDUM DWELLING**

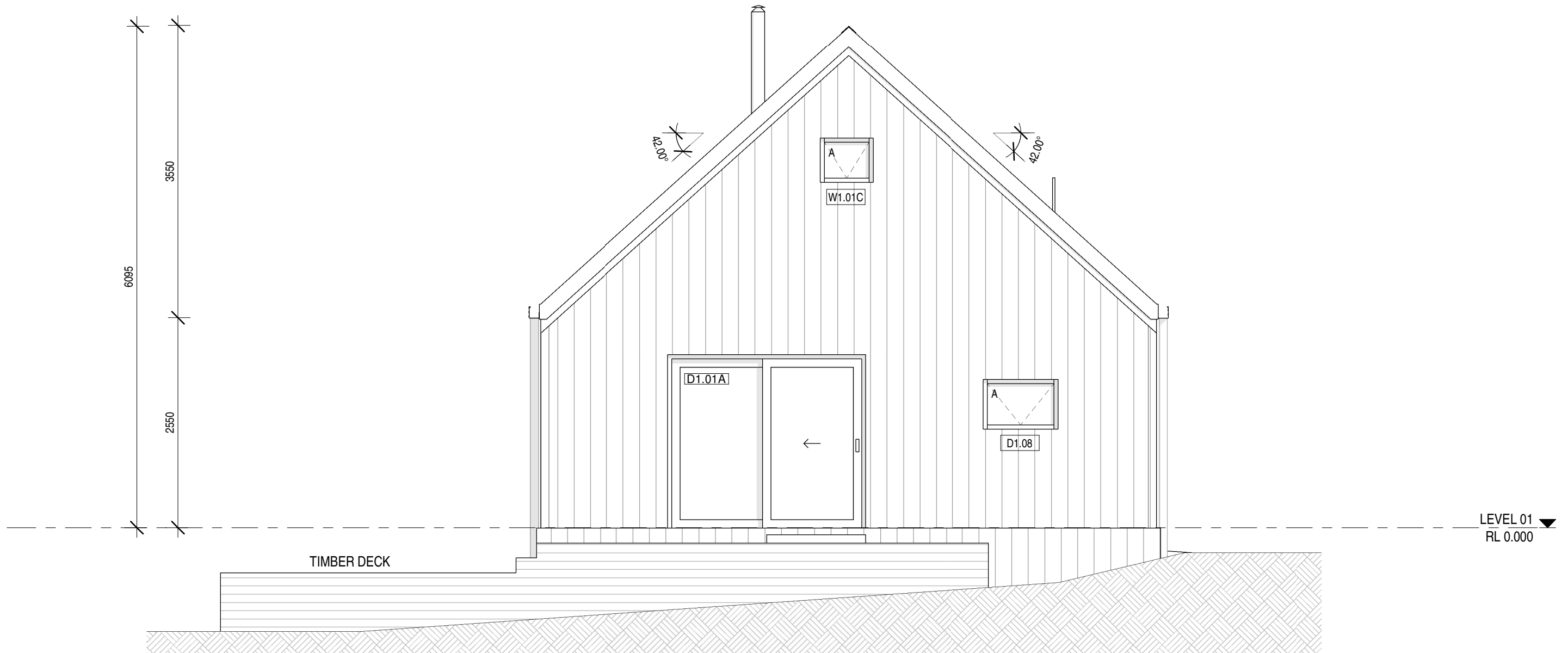
CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668

<b>ELEVATION - EAST</b>	DRAWING No:	DA201
	PROJECT No:	001.24171
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	DATE:	20-12-2024
	REVISION:	A

**MATERIAL LEGEND:**

- ⓉD TRIMDEK CLADDING IN MONUMENT
- A - GLAZING - AWNING
- F - GLAZING - FIXED



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**BRANDUM DWELLING**

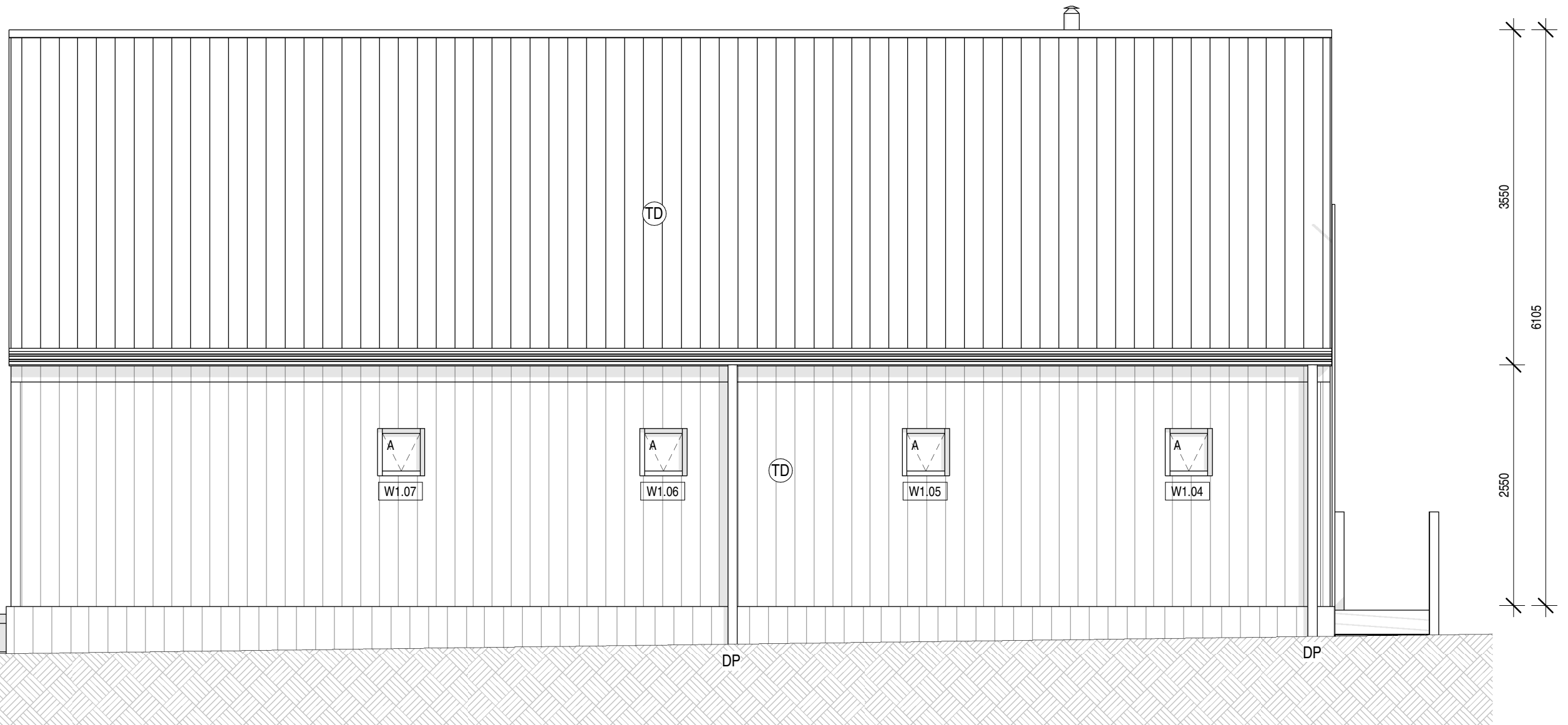
CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668

<b>ELEVATION - NORTH</b>	DRAWING No:	DA202
	PROJECT No:	001.24171
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	DATE:	20-12-2024
	REVISION:	A

**MATERIAL LEGEND:**

- ⓉD TRIMDEK CLADDING IN MONUMENT
- A - GLAZING - AWNING
- F - GLAZING - FIXED



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ARCHITECTS**

**BRANDUM DWELLING**

CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668

<b>ELEVATION - WEST</b>	DRAWING No:	DA203
	PROJECT No:	001.24171
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	REVISION:	A

# CONSTRUCTION NOTES

## FOOTINGS

FOOTINGS ARE 300MM X 900 DN300 CONCRETE PIERS AT A DEPTH OF 900MM. PIERS CONNECTED TO BEARERS WITH GALVANISED FOOT STIRRUPS AND BOLTED WITH 12MM GALVANISED BOLTS

## FLOOR FRAMING

BEARERS ARE 2 X 190 X 45 FS AT 1800 CENTRES  
 JOISTS ARE 90 X 45 AT 400 CENTRES  
 FLOOR SHEET IS 19MM YELLOW TOUGUE CHIPBOARD FIXED WITH FASTGRIP GLUE AND 75MM FRAMING NAILS

## WALL FRAMING

STUDS ARE MGP10 75MM FRAMING NAILS  
 BRACING IS 4MM F27 HARDWOOD 1200MM WIDE FROM TOP PLATE TO BOTTOM PLATE ON ALL CORNERS BATHROOM WALLS AND BEDROOM AND KITCHEN WALLS

## WALL / ROOF CLADDING

ROOF AND WALL CLADDING IS TRIMDEK IN COLORBOND MONUMNET  
 GUTTERS ARE COLORBOND RESIDENTIAL SQUARE TO MATCH ROOF  
 100MM DOWNPIPES PAINT TO MATCH WALL CLADDING

## ROOF FRAMING

ROOF PITCH 42° ROOF FRAMING 190 X 45 F5 900 SPACING  
 ROOF BATTENS ARE MGP12 90 X 45  
 LINING 10MM PLASTERBOARD

## BUILDING MEMBRANE

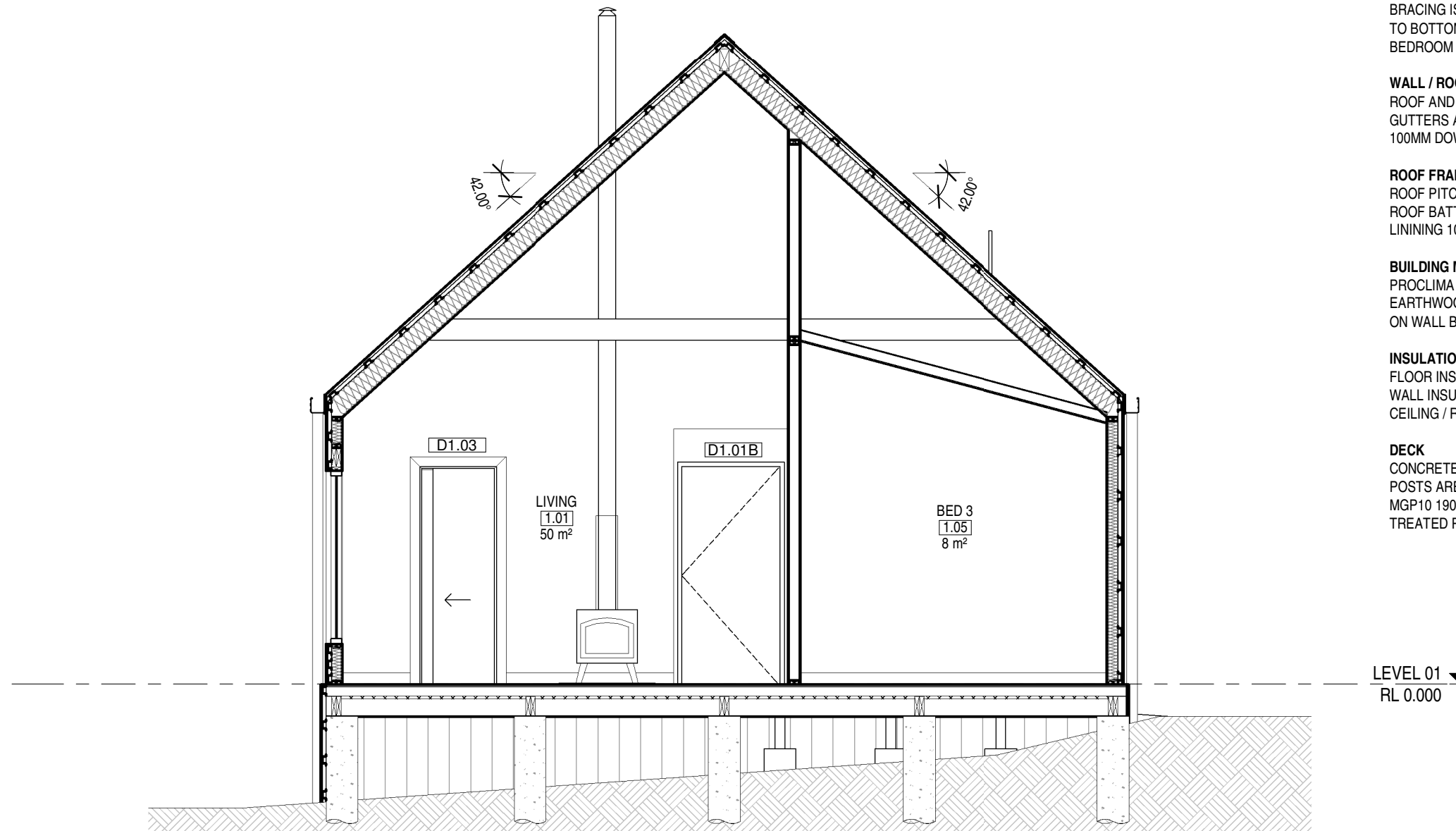
PROCLIMA SOLATEX MENTO ON RAFTERS UNDER BATTENS  
 EARTHWOOL THERMASTOP SPACE BLANKET FOR AND FIRBERGLASS ON WALL BATTENS

## INSULATION

FLOOR INSULATION IS 25MM R3.5 STYROFOAM WITH FOIL  
 WALL INSULATION IS R3 PINK BATTS  
 CEILING / ROOF INSULATION IS R5 PINK BATTS

## DECK

CONCRETE PADS 300 X 300 900 DEEP  
 POSTS ARE 90 X 90 TREATED PINE  
 MGP10 190 X 45 BEARERS WITH MGP10 H3 135 X 45 JOISTS  
 TREATED PINE 90 X 22 DECK BOARDS



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### BRANDUM DWELLING

CLIENT: FORD CLINGLY AND LAWSON  
 ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
 Peter Gaggin: CC997A  
 Thomas Floyd: 611728668

SECTIONS 01	DRAWING No:	DA300
	PROJECT No:	001.24171
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	DATE:	20-12-2024
	REVISION:	A

# CONSTRUCTION NOTES

## FOOTINGS

FOOTINGS ARE 300MM X 900 DN300 CONCRETE PIERS AT A DEPTH OF 900MM. PIERS CONNECTED TO BEARERS WITH GALVANISED FOOT STIRRUPS AND BOLTED WITH 12MM GALVANISED BOLTS

## FLOOR FRAMING

BEARERS ARE 2 X 190 X 45 FS AT 1800 CENTRES  
 JOISTS ARE 90 X 45 AT 400 CENTRES  
 FLOOR SHEET IS 19MM YELLOW TOUGUE CHIPBOARD FIXED WITH FASTGRIP GLUE AND 75MM FRAMING NAILS

## WALL FRAMING

STUDS ARE MGP10 75MM FRAMING NAILS  
 BRACING IS 4MM F27 HARDWOOD 1200MM WIDE FROM TOP PLATE TO BOTTOM PLATE ON ALL CORNERS BATHROOM WALLS AND BEDROOM AND KITCHEN WALLS

## WALL / ROOF CLADDING

ROOF AND WALL CLADDING IS TRIMDEK IN COLORBOND MONUMNET  
 GUTTERS ARE COLORBOND RESIDENTIAL SQUARE TO MATCH ROOF  
 100MM DOWNPIPES PAINT TO MATCH WALL CLADDING

## ROOF FRAMING

ROOF PITCH 42° ROOF FRAMING 190 X 45 F5 900 SPACING  
 ROOF BATTENS ARE MGP12 90 X 45  
 LINING 10MM PLASTERBOARD

## BUILDING MEMBRANE

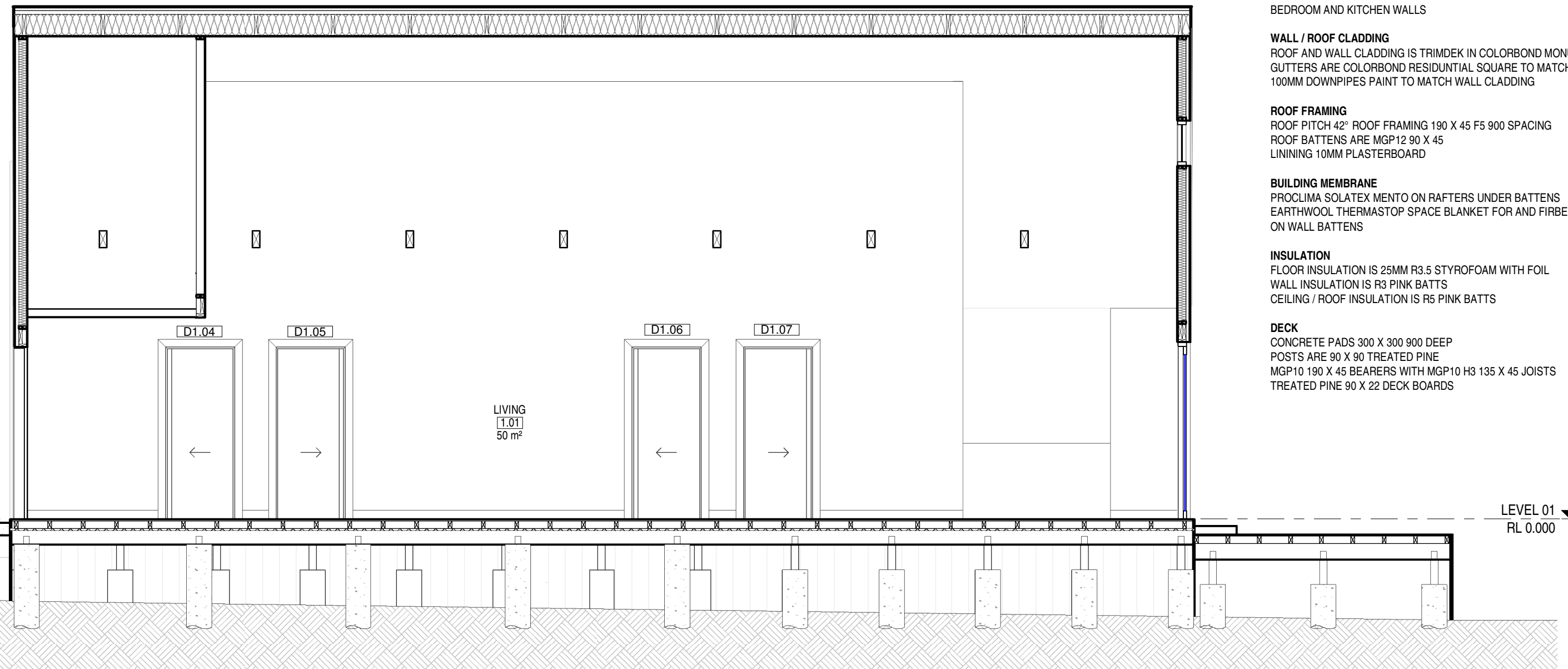
PROCLIMA SOLATEX MENTO ON RAFTERS UNDER BATTENS  
 EARTHWOOL THERMASTOP SPACE BLANKET FOR AND FIRBERGLASS ON WALL BATTENS

## INSULATION

FLOOR INSULATION IS 25MM R3.5 STYROFOAM WITH FOIL  
 WALL INSULATION IS R3 PINK BATTES  
 CEILING / ROOF INSULATION IS R5 PINK BATTES

## DECK

CONCRETE PADS 300 X 300 900 DEEP  
 POSTS ARE 90 X 90 TREATED PINE  
 MGP10 190 X 45 BEARERS WITH MGP10 H3 135 X 45 JOISTS  
 TREATED PINE 90 X 22 DECK BOARDS



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**BRANDUM DWELLING**  
 CLIENT: FORD CLINGLY AND LAWSON  
 ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304  
 Accredited Designers: Anthony Dagleish: 567913835  
 Peter Gaggin: CC997A  
 Thomas Floyd: 611728668

<b>SECTIONS 02</b>	DRAWING No: DA301
	PROJECT No: 001.24171
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CLIENT: FORD CLINGLY AND LAWSON  
ADDRESS: 14 ALLPORT ROAD BRANDUM TAS 7304

Accredited Designers: Anthony Dagleish: 567913835  
Peter Gaggin: CC997A  
Thomas Floyd: 611728668

**SITE IMAGES**

DRAWING No: DA400

PROJECT No 001.24171

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