



DISCRETIONARY APPLICATION

For Public Display

Applicant:

MC Planners (obo D C Pilcher)

Location:

Last Street, Bothwell (CT136445/1)

Proposal:

Water Treatment Plant & Associated Works

DA Number:

DA 2024 / 00066

Date Advertised:

31 January 2025

Date Representation Period Closes:

14 February 2025

Responsible Officer:

Louisa Brown (Planning Officer)

Viewing Documents:

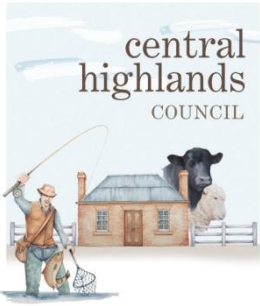
The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

development@centralhighlands.tas.gov.au



Development & Environmental Services
 19 Alexander Street
 BOTHWELL TAS 7030

Phone: (03) 6259 5503
 Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name MC Planners for JMG obo TasWater

Postal Address 2/129 Bathurst Street, Hobart Phone No:

 Fax No:

Email address planning@mcplanners.com.au

Owner/s Name D C Pilcher
(if not Applicant)

Postal Address 16 Schaw Street, Bothwell Phone No:

 Fax No:

Email address:

Proposed use and/or development: Water Treatment Plant

Address of new use and development: Last Street, Bothwell CT 136445/1

Certificate of Title No: Volume No Lot No:

Description of proposed use or development: Water Treatment Plant and associated works

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Current use of land and buildings: Grazing

Eg. Are there any existing buildings on this title? If yes, what is the main building used as?

Proposed Material

What are the proposed external wall colours What is the proposed roof colour

What is the proposed new floor area m². What is the estimated value of all the new work proposed: \$ 5 Million

Is proposed development to be staged: Yes No Tick ✓
 Is the proposed development located on land previously used as a tip site? Yes No
 Is the place on the Tasmanian Heritage Register? Yes No
 Have you sought advice from Heritage Tasmania? Yes No
 Has a Certificate of Exemption been sought for these works? Yes No

Signed Declaration



I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

- The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
- In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
- I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature"); ***Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.***

Applicant Signature



Applicant Name (Please print)

Peter Coney

Date

13 December 2024

(if not the Owner)

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

<p>Information</p> <p>If you provide an email address in this form then the Central Highlands Council (“the Council”) will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 (“the Act”).</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box</p>	<input type="checkbox"/>
<p>Heritage Tasmania</p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	
<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	
<p>Submission of Application</p> <p>Applications can be submitted in a number of ways as follows:</p> <ul style="list-style-type: none"> • Electronically: Email to development@centralhighlands.tas.gov.au • Post: 19 Alexander Street, BOTHWELL 7030 • In Person: Development & Environmental Services Office, 19 Alexander Street, Bothwell 7030 	



Planning Report

Water Treatment Plant
Last Street, Bothwell

For TasWater Pty Ltd
December 2024



Water Treatment Plant, Last Street, Bothwell



Table of Contents

Introduction..... 1

Site Location and Context 1

Proposed Use and Development 2

Policy Assessment 2

 Tasmanian Planning Scheme - Agriculture [21.0]..... 3

 Parking and Sustainable Transport Code [C2.0]..... 7

 Road and Railway Assets Code [C3.0] 12

 Bushfire-Prone Areas Code [13.0]..... 13

Conclusion 13

Appendix A - Title information

Appendix B - Proposal Plans

Appendix C - Notification/Consent Letters

VERSION CONTROL					
Version	Description	Author		Reviewer	
1.0	Draft Planning Report	BD	01/10/2024	PC	11/12/2024
2.0	Final for lodgment	PC	12/12/2024	MC	13/12/2024





Summary

Use:	Utilities
Development:	Water treatment plant
Location:	Last Street, Bothwell
Certificate of Title:	Volume 136445 Folio 1
Property ID:	2941306
Planning Authority:	Central Highlands Council
Planning Policy:	Tasmanian Planning Scheme - Central Highlands
GM/Crown Consent:	No - Works external to the site are either exempt or may proceed under <i>Water and Sewerage Industry Act 2008</i> without planning approval.
Applicant:	MC Planners for JMG obo TasWater Pty Ltd
Date of Assessment:	December 2024
Assessor:	Peter Coney

The development application relies on the Performance Criteria of the following provisions of the *Tasmanian Planning Scheme - Central Highlands*

- 21.3.1 Discretionary Uses P1, and P2

Whilst relying on the Performance Criteria of these clauses, the development meets the objectives and purpose of the Agriculture Zone and complies with the *Tasmanian Planning Scheme - Central Highlands Local Provisions Schedule*.

Importantly, the assessment of development regarding the planning scheme is limited owed to the works external to the site being able to proceed as either exempt, or as they may where undertaken by TasWater.



Introduction

MC Planners have been engaged by JMG Engineers on behalf of TasWater to prepare a development application for a Water Treatment Plant at Last Street, Bothwell.

The report details the proposed development and provides an assessment against the provisions of the *Tasmanian Planning Scheme - Central Highlands* ('the Planning Scheme').

The proposal has been considered against the 'Agriculture Zone' [21.0].

Development on the site is subject to several Codes which it is required to be assessed against:

- Parking and Sustainable Transport Code [C2.0];
- Road and Railway Assets Code [C3.0] and;
- Bushfire-Prone Areas Hazard Code [13.0]

Site Location and Context

The subject site is located at Last Street (PID 2941306, CT 136445/1), Bothwell. The site has a total area of 6.2ha and is located adjacent to a dam on the Ratho Flats, and the west of the Barrack Hill reservoir which sits prominently above Bothwell.

The proposed water treatment plant is located on agricultural land, formed of unimproved pasture with remnant endemic vegetation to the east; though no vegetation is proposed to be removed.

Title information is provided in Appendix A to this report.



Figure 1. Subject Site (CT 136445/1) in dark blue (source: LISTmap, Accessed 01/10/2024).



Proposed Use and Development

The proposed development includes a water treatment plant to be housed in a 14m x 42m building. The building is designed to contain equipment and materials including pumps, blowers, air receivers and compressors, tanks, and filters. The purpose of water treatment plant is to receive both raw water and water from the River Clyde for treatment and distribution through the reticulated town network. The development will also include land filling to provide a level platform to varying depths not exceeding 1m at the building footprint, and works will be undertaken for provision of vehicle cross overs, parking areas, and associated driveways.

The total floor area is 588m², and the parking areas will have a capacity for six car parking spaces.

Though the proposed development relies on works within the Crown road reserve, including access roads, pipework and drainage external to the site, these works are either exempt or unregulated by reason of the Scheme or other legislation (see Policy Assessment below).

The proposed use of the site is for a water treatment, which is within the Utilities Use Class. The development is more fully set out in the proposal plans at Appendix B.

Policy Assessment

The development site is located on land zoned 'Agriculture' (refer to Figure 2).

The site is subject to the Bushfire Hazard Areas Overlay over the entire property.

The nature of the proposal and the location of the site requires that the proposal be considered against the following Scheme elements:

- Agriculture Zone [21.0];
- Parking and Sustainable Transport Code [2.0];
- Road and Railway Assets Code [3.0] and;
- Bushfire-Prone Areas Code [13.0].

Importantly, of the development shown on the plans under Appendix B, only that development undertaken within CT1364451 is relevant to an assessment under the applicable standards of the Scheme. This is because:

1. The provision of stormwater infrastructure over 16 Schaw Street (CT56/6284) is exempt under clause 4.0.1 of the scheme. This is because it meets the qualification as listed within the table at 4.2.2, being stormwater infrastructure provided by a State authority;
2. Pipework to be installed outside of CT 136445/1 meets the criteria of the prescribed works not to be regarded as development under the *Land use Planning and Approvals Act 1993*, as provided under the *Water and Sewerage Industry Regulations Regulation 11 'Prescribed works'*; and
3. Works for the extension of Last Street to provide access to the facility are able to be undertaken by TasWater per s56E of the *Water and Sewerage Industry Act 2008*, in that they are works on public land, carried out for the provision of a water service.



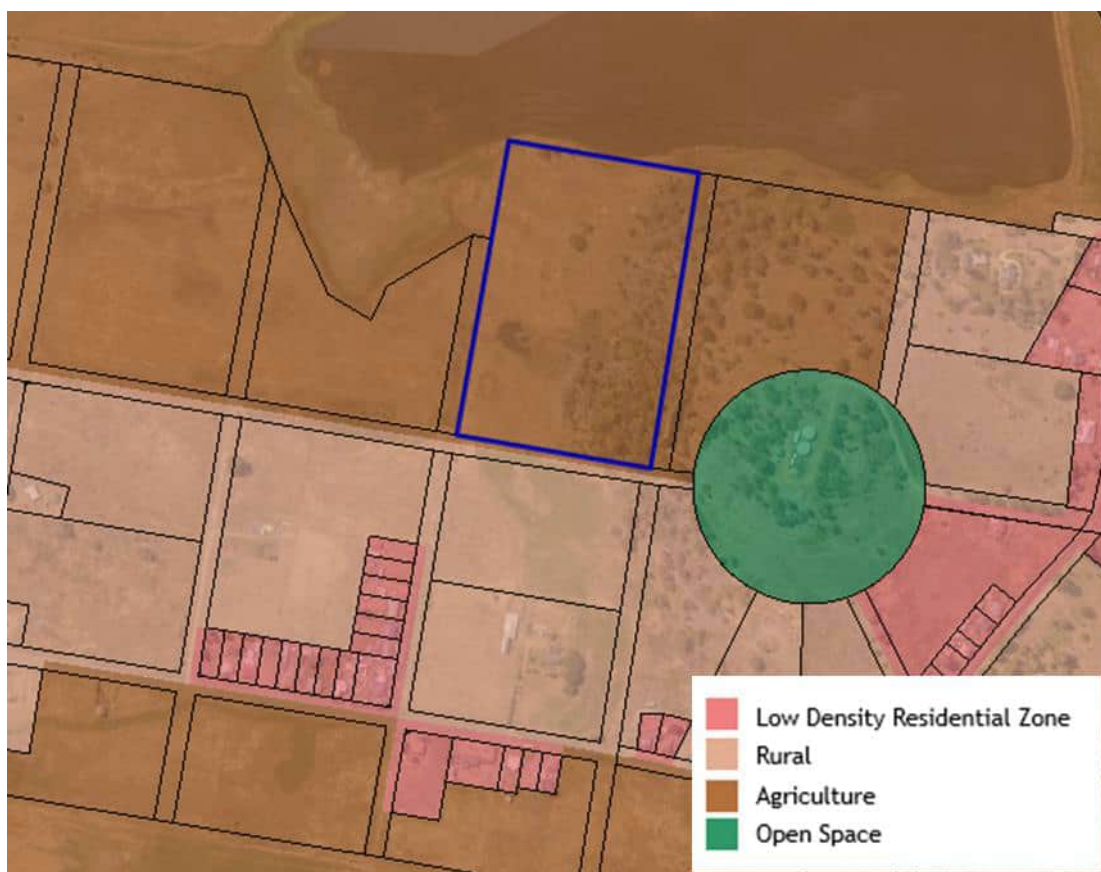


Figure 2. Land use zones (source: LIST map - accessed on 18.04.24).

Tasmanian Planning Scheme - Agriculture [21.0]

The site is zoned *Agriculture* in the *Tasmanian Planning Scheme - Central Highlands*.

21.2 Use Table

The proposed use of the land is Utilities. As the proposed development is not for minor utilities, the use is categorised as Discretionary.

21.3 Use Standards

21.3.1 Discretionary uses

<p>A1</p> <p><i>No Acceptable Solution.</i></p>	<p>P1</p> <p><i>A use listed as Discretionary, excluding Residential or Resource Development, must be required to locate on the site, for operational or security reasons or the need to contain or minimise impacts arising from the operation such as noise, dust, hours of operation or traffic movements, having regard to:</i></p>
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	<p><i>(a) access to a specific naturally occurring resource on the site or on land in the vicinity of the site;</i></p> <p><i>(b) access to infrastructure only available on the site or on land in the vicinity of the site;</i></p> <p><i>(c) access to a product or material related to an agricultural use;</i></p> <p><i>(d) service or support for an agricultural use on the site or on land in the vicinity of the site;</i></p> <p><i>(e) the diversification or value adding of an agricultural use on the site or in the vicinity of the site; and</i></p> <p><i>(f) provision of essential Emergency Services or Utilities.</i></p>
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As there is no Acceptable Solution (A1) as such P1 must be addressed.

The site has been chosen for operational reasons, namely access to water resources from the Clyde River pump station, as well as provision for irrigation supply water in the future. The site also benefits from being located in proximity to the Barrack Hill reservoir, thereby linking with other infrastructure for the reticulated water system for the town per (a) and (b).

The proposed use does not require access to a product or material located on the site, or in the vicinity under (c), nor does it service or support an agricultural use per (d) and (e).

The proposal is for a strategically important Utilities use per (f).

Having regard for the relevant criteria, and noting the importance of siting the utility in proximity to existing water infrastructure, it is considered appropriate to undertake the use on agricultural land.

The proposal is considered to comply with the Performance Criteria (P1).

<p>A2</p> <p><i>No Acceptable Solution.</i></p>	<p>P2</p> <p><i>A use listed as Discretionary, excluding Residential, must minimise the conversion of agricultural land to non-agricultural use, having regard to:</i></p> <p><i>(a) the area of land being converted to non-agricultural use;</i></p> <p><i>(b) whether the use precludes the land from being returned to an agricultural use;</i></p> <p><i>(c) whether the use confines or restrains existing or potential agricultural use on the site or adjoining sites.</i></p>
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As there is no Acceptable Solution (A2) as such P2 must be addressed.

The proposed area of use and development will covert approximately 4,000m² of land to a non-agricultural use. The remaining site area may continue to have an agricultural use, such as grazing, undertaken.

Though development of Utilities infrastructure may preclude the return of the land to an agricultural use, the area is the minimum required for a strategically important utility (b).

The proposed use of the development is Utilities, which will not restrain or confine the use of adjoining sites. This is because water treatment does not introduce a sensitive use with potential to be impacted by agricultural uses (c).





The proposal is considered to comply with the Performance Criteria (P2).

<p>A3 No Acceptable Solution.</p>	<p>P3 A use listed as Discretionary, excluding Residential, located on prime agricultural land must:</p> <p>(a) be for Extractive Industry, Resource Development or Utilities, provided that:</p> <p>(i) the area of land converted to the use is minimised;</p> <p>(ii) adverse impacts on the surrounding agricultural use are minimised; and</p> <p>(iii) the site is reasonably required for operational efficiency; or</p> <p>(b) be for a use that demonstrates a significant benefit to the region, having regard to the social, environmental and economic costs and benefits of the proposed use.</p>
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The site is on land classed as 4 and 5, neither of which are defined as prime agricultural land. A3/P3 are therefore not applicable.

<p>A4 No Acceptable Solution.</p>	<p>P4 A Residential use listed as Discretionary must:</p> <p>(a) be required as part of an agricultural use, having regard to:</p> <p>(i) the scale of the agricultural use;</p> <p>(ii) the complexity of the agricultural use;</p> <p>(iii) the operational requirements of the agricultural use;</p> <p>(iv) the requirement for the occupier of the dwelling to attend to the agricultural use; and</p> <p>(v) proximity of the dwelling to the agricultural use; or</p> <p>(b) be located on a site that:</p> <p>(i) is not capable of supporting an agricultural use;</p> <p>(ii) is not capable of being included with other agricultural land (regardless of ownership) for agricultural use; and</p> <p>(iii) does not confine or restrain agricultural use on adjoining properties.</p>
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The proposal does not include a residential use. A4/P4 are therefore not applicable.





21.4 Development Standards for Building and Works

21.4.1 Building height

<p>A1</p> <p><i>Building height must be not more than 12m.</i></p>	<p>P1</p> <p>***</p>
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At its maximum the proposal will be 10.96m above ground level. This building height therefore does not exceed 12m and so complies with the Acceptable Solution.

21.4.2 Setbacks

<p>A1</p> <p><i>Buildings must have a setback from all boundaries of:</i></p> <p><i>(a) not less than 5m; or</i></p> <p><i>(b) if the setback of an existing building is within 5m, not less than the existing building.</i></p>	<p>P1</p> <p><i>Buildings must be sited to provide adequate vehicle access and not cause an unreasonable impact on existing use on adjoining properties, having regard to:</i></p> <p><i>(a) the bulk and form of the building;</i></p> <p><i>(b) the nature of existing use on the adjoining properties;</i></p> <p><i>(c) separation from existing use on the adjoining properties; and</i></p> <p><i>(d) any buffers created by natural or other features.</i></p>
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The proposed development will not have setbacks less than 5m. As such, the proposal complies with A1.

<p>A2</p> <p><i>Buildings for a sensitive use must have a setback from all boundaries of:</i></p> <p><i>(a) not less than 200m; or</i></p> <p><i>(b) if the setback of an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building.</i></p>	<p>P2</p> <p><i>Buildings for a sensitive use must be sited so as not to conflict or interfere with an agricultural use, having regard to:</i></p> <p><i>(a) the size, shape and topography of the site;</i></p> <p><i>(b) the prevailing setbacks of any existing buildings for sensitive uses on adjoining properties;</i></p> <p><i>(c) the location of existing buildings on the site;</i></p> <p><i>(d) the existing and potential use of adjoining properties;</i></p> <p><i>(e) any proposed attenuation measures; and</i></p> <p><i>(f) any buffers created by natural or other features.</i></p>
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The proposal is not for a sensitive use, therefore A2/P2 is not applicable.





21.4.3 Access for new dwellings

<p>A1</p> <p><i>New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.</i></p>	<p>P1</p> <p><i>New dwellings must have legal access, by right of carriageway, to a road maintained by a road authority, that is appropriate having regard to:</i></p> <ul style="list-style-type: none"> <i>(a) the number of users of the access;</i> <i>(b) the length of the access;</i> <i>(c) the suitability of the access for use by the occupants of the dwelling;</i> <i>(d) the suitability of the access for emergency services vehicles;</i> <i>(e) the topography of the site;</i> <i>(f) the construction and maintenance of the access; (g) the construction, maintenance and usage of the road; and</i> <i>(h) any advice from the road authority.</i>
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As the proposed development does not involve a new dwelling, clause 21.4.3 is not applicable.

21.5 Development Standards for Subdivision

The proposed development does not involve subdivision. As such, clause 21.5 and all sub-clauses are not applicable.

Parking and Sustainable Transport Code [C2.0]

No use or development is exempt from assessment against this code (C2.1.1).

C2.5.1 Car Parking numbers

<p>A1</p> <p><i>The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if:</i></p> <ul style="list-style-type: none"> <i>(a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</i> <i>(b) the site is contained within a parking precinct plan and subject to Clause C2.7;</i> <i>(c) the site is subject to Clause C2.5.5; or (d) it relates to an intensification of an existing use or development or a change of use where:</i> <ul style="list-style-type: none"> <i>(i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the</i> 	<p>P1.1</p> <p>***</p>
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<p><i>proposed use or development, in which case no additional on-site car parking is required; or</i></p> <p><i>(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows: $N = A + (C - B)$ N = Number of on-site car parking spaces required A = Number of existing on site car parking spaces B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1 C= Number of on-site car parking spaces required for the proposed use or development specified in Table C2.1.</i></p>	
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Under Table C2.1 Parking Space Requirements there is no requirement for car parking spaces for a Utilities use. Therefore the proposal complies with the Acceptable Solution, whilst providing six spaces in any event.

C2.5.2 Bicycle parking numbers

Under Table C2.1 Parking Space Requirements, there is no requirement for bicycle parking spaces in the Utilities Zone. As such, clause C2.5.2 is not applicable.

C2.5.3 Motorcycle parking numbers

Clause C2.5.3 does not apply to a use within the Utilities Use Class.

C2.5.4 Loading bays

As a Utilities use, C2.5.4 is not an applicable standard per clause C2.2.3.

C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone

As the proposed development is not located within the General Residential Zone or the Inner Residential Zone, clause C2.5.5 is not applicable.

C2.6.1 Construction of parking areas

<p>A1</p> <p><i>All parking, access ways, manoeuvring and circulation spaces must:</i></p> <p><i>(a) be constructed with a durable all weather pavement;</i></p> <p><i>(b) be drained to the public stormwater system, or contain stormwater on the site; and</i></p> <p><i>(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete,</i></p>	<p>P1</p> <p>***</p>
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<p><i>pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.</i></p>	
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The proposal is for parking, access ways and circulation spaces to be paved with concrete, as well as a gravel vehicle access. Stormwater generated by these surfaces is to be contained on-site. Therefore, the proposal complies with the Acceptable Solution.

C2.6.2 Design and layout of parking areas

<p>A1.1</p> <p><i>Parking, access ways, manoeuvring and circulation spaces must either:</i></p> <p><i>(a) comply with the following:</i></p> <p><i>(i) have a gradient in accordance with Australian Standard AS 2890 - Parking facilities, Parts 1-6;</i></p> <p><i>(ii) provide for vehicles to enter and exit the site in a forward direction where providing for more than 4 parking spaces;</i></p> <p><i>(iii) have an access width not less than the requirements in Table C2.2;</i></p> <p><i>(iv) have car parking space dimensions which satisfy the requirements in Table C2.3;</i></p> <p><i>(v) have a combined access and manoeuvring width adjacent to parking spaces not less than the requirements in Table C2.3 where there are 3 or more car parking spaces;</i></p> <p><i>(vi) have a vertical clearance of not less than 2.1m above the parking surface level; and</i></p> <p><i>(vii) excluding a single dwelling, be delineated by line marking or other clear physical means; or</i></p> <p><i>(b) comply with Australian Standard AS 2890- Parking facilities, Parts 1-6.</i></p>	<p>P1</p> <p><i>All parking, access ways, manoeuvring and circulation spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, having regard to:</i></p> <p><i>(a) the characteristics of the site;</i></p> <p><i>(b) the proposed slope, dimensions and layout;</i></p> <p><i>(c) useability in all weather conditions;</i></p> <p><i>(d) vehicle and pedestrian traffic safety;</i></p> <p><i>(e) the nature and use of the development;</i></p> <p><i>(f) the expected number and type of vehicles;</i></p> <p><i>(g) the likely use of the parking areas by persons with a disability;</i></p> <p><i>(h) the nature of traffic in the surrounding area;</i></p> <p><i>(i) the proposed means of parking delineation; and</i></p> <p><i>(j) the provisions of Australian Standard AS 2890.1:2004 - Parking facilities, Part 1: Off-street car parking and AS 2890.2 -2002 Parking facilities, Part 2: Off-street commercial vehicle facilities.</i></p>
<p>A1.2</p> <p><i>Parking spaces provided for use by persons with a disability must satisfy the following:</i></p> <p><i>(a) be located as close as practicable to the main entry point to the building;</i></p> <p><i>(b) be incorporated into the overall car park design; and</i></p> <p><i>(c) be designed and constructed in accordance with Australian/New Zealand Standard AS/NZS 2890.6:2009 Parking facilities, Off-street parking for people with disabilities. 1</i></p>	

Car parking and access ways will not exceed 12.5% for the access way, and are relatively flat internally (i). There is sufficient space for onsite turning for ordinary vehicles, and the design of accessways will allow for continuous movements for service vehicles (ii). Access widths are proposed at 5m, which exceeds the requirements of Table C2.3, inclusive of sufficient passing width within the site (iii).





Car parks are provided at 90° from the internal access. These spaces have a width of 3m and length of 5.5m, thereby requiring a combined access and manoeuvring width of 5.2m per the Table C2.1. The proposal provides for approximately 8.3m which complies (v).

For (vi) the carparks are open and vertical clearance is not relevant.

The proposal complies with the Acceptable Solution.

C2.6.3 Number of accesses for vehicles

<p>A1</p> <p><i>The number of accesses provided for each frontage must:</i></p> <p><i>(a) be no more than 1; or</i></p> <p><i>(b) no more than the existing number of accesses, whichever is the greater.</i></p>	<p>P1</p> <p><i>The number of accesses for each frontage must be minimised, having regard to:</i></p> <p><i>(a) any loss of on-street parking; and</i></p> <p><i>(b) pedestrian safety and amenity;</i></p> <p><i>(c) traffic safety;</i></p> <p><i>(d) residential amenity on adjoining land; and</i></p> <p><i>(e) the impact on the streetscape.</i></p>
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The proposal is for a single vehicle cross over at each frontage, thereby compliant with A1.

<p>A2</p> <p><i>Within the Central Business Zone or in a pedestrian priority street no new access is provided unless an existing access is removed.</i></p>	<p>P2</p> <p><i>Within the Central Business Zone or in a pedestrian priority street, any new accesses must:</i></p> <p><i>(a) not have an adverse impact on:</i></p> <p style="padding-left: 40px;"><i>(i) pedestrian safety and amenity; or</i></p> <p style="padding-left: 40px;"><i>(ii) traffic safety; and</i></p> <p><i>(b) be compatible with the streetscape.</i></p>
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The site is not within the Central Business Zone, or a pedestrian priority street, therefore A2/P2 is not applicable.

C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone

The subject site is not located within either the General Business Zone or the Central Business Zone, as such, clause 2.6.4 is not applicable.

C2.6.5 Pedestrian access

<p>A1.1</p> <p><i>Uses that require 10 or more car parking spaces must:</i></p> <p><i>(a) have a 1m wide footpath that is separated from the access ways or parking aisles, excluding where crossing access ways or parking aisles, by:</i></p>	<p>P1</p> <p>***</p>
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<p>(i) a horizontal distance of 2.5m between the edge of the footpath and the access way or parking aisle; or</p> <p>(ii) protective devices such as bollards, guard rails or planters between the footpath and the access way or parking aisle; and</p> <p>(b) be signed and line marked at points where pedestrians cross access ways or parking aisles.</p> <p>A1.2</p> <p>In parking areas containing accessible car parking spaces for use by persons with a disability, a footpath having a width not less than 1.5m and a gradient not steeper than 1 in 14 is required from those spaces to the main entry point to the building.</p>	
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The proposal does not require or provide for more than 10 car parking spaces therefore C2.6.5 is not an applicable standard.

C2.6.6 Loading bays

No loading bays are proposed with this application, therefore, sub-clauses under C2.5.4 are not applicable. Notwithstanding the absence of a loading bay, commercial vehicles are able to enter and exit the site in a forward direction.

C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

The subject site is not located within either the General Business Zone or the Central Business Zone, as such, clause 2.6.4 is not applicable.

C2.6.8 Siting of parking and turning areas

The site is within the Agriculture Zone and so C2.6.8 is not an applicable standard.

C2.7 Parking Precinct Plan

There is no parking precinct plan on the subject site, as such clause 2.7 and sub clauses are not applicable to the proposal.





Road and Railway Assets Code [C3.0]

There are no exemptions from Road and Railway Assets Code, therefore provisions under C3.0 need to be considered.

C3.5.1 Traffic generation at a vehicle crossing, level crossing or new junction

<p>A1.1 <i>For a category 1 road or a limited access road, vehicular traffic to and from the site will not require:</i></p> <p>(a) a new junction; (b) a new vehicle crossing; or (c) a new level crossing.</p> <p>A1.2 <i>For a road, excluding a category 1 road or a limited access road, written consent for a new junction, vehicle crossing, or level crossing to serve the use and development has been issued by the road authority.</i></p> <p>A1.3 <i>For the rail network, written consent for a new private level crossing to serve the use and development has been issued by the rail authority.</i></p> <p>A1.4 <i>Vehicular traffic to and from the site, using an existing vehicle crossing or private level crossing, will not increase by more than:</i></p> <p>(a) the amounts in Table C3.1; or (b) allowed by a licence issued under Part IVA of the Roads and Jetties Act 1935 in respect to a limited access road.</p> <p>A1.5 <i>Vehicular traffic must be able to enter and leave a major road in a forward direction.</i></p>	<p>P1 <i>Vehicular traffic to and from the site must minimise any adverse effects on the safety of a junction, vehicle crossing or level crossing or safety or efficiency of the road or rail network, having regard to:</i></p> <p>(a) any increase in traffic caused by the use; (b) the nature of the traffic generated by the use; (c) the nature of the road; (d) the speed limit and traffic flow of the road; (e) any alternative access to a road; (f) the need for the use; (g) any traffic impact assessment; and (h) any advice received from the rail or road authority.</p>
---	---

The proposal includes provision of vehicle accesses to a road extension within the Last Street Road Reserve. There is however, in the absence of a formed road, not considered to be a 'road authority'. The extension to Last Street is being undertaken by TasWater as it may under the WASI Act, and so clause C3.5.1 is not considered to be an applicable standard.





Bushfire-Prone Areas Code [13.0]

The site is subject to a bushfire-prone area overlay. As the proposal is not for subdivision, nor for a vulnerable or hazardous use, the Bushfire-prone areas code does not apply. On whether the site will be for a hazardous use, it has been confirmed with TasWater that the chemicals stored on site are not of a manifest quantity as considered against Schedule 11 of the *Work Health and Safety Regulations 2022*.

Conclusion

This report has been prepared in support of a Planning Application for the development of a Water treatment plant at Last Street, Bothwell (CT 136445/1).

The application is to be lodged with Central Highlands Council for assessment.

The proposal has been considered against the development standards of Agriculture Zone, Parking and Sustainable Transport Code and the Road and Railway Assets Code. The proposal generates the following discretions under the *Tasmanian Planning Scheme -Central Highlands*:

- 21.3.1 Discretionary Uses P1, P2, & P3

The proposal has been assessed against all relevant scheme criteria and is found to either comply with the Acceptable Solutions or satisfy the relevant Performance Criteria.

The application is considered to be acceptable with respect to the Planning Scheme requirements and therefore ought to be supported by the Planning Authority.





APPENDIX A

Title Information



SEARCH OF TORRENS TITLE

VOLUME 136445	FOLIO 1
EDITION 5	DATE OF ISSUE 23-Sep-2008

SEARCH DATE : 11-Dec-2024

SEARCH TIME : 03.13 PM

DESCRIPTION OF LAND

Town of BOTHWELL
 Lot 1 on Plan 136445
 Being the land formerly described Sixthly in Indenture of
 Conveyance No. 24/582
 Derivation : Whole of 15A 0R 39P (Sec Jj) Granted to Maria Lord
 Derived from A18104

SCHEDULE 1

C862687 TRANSFER to DAVID COLIN PILCHER Registered
 23-Sep-2008 at noon

SCHEDULE 2

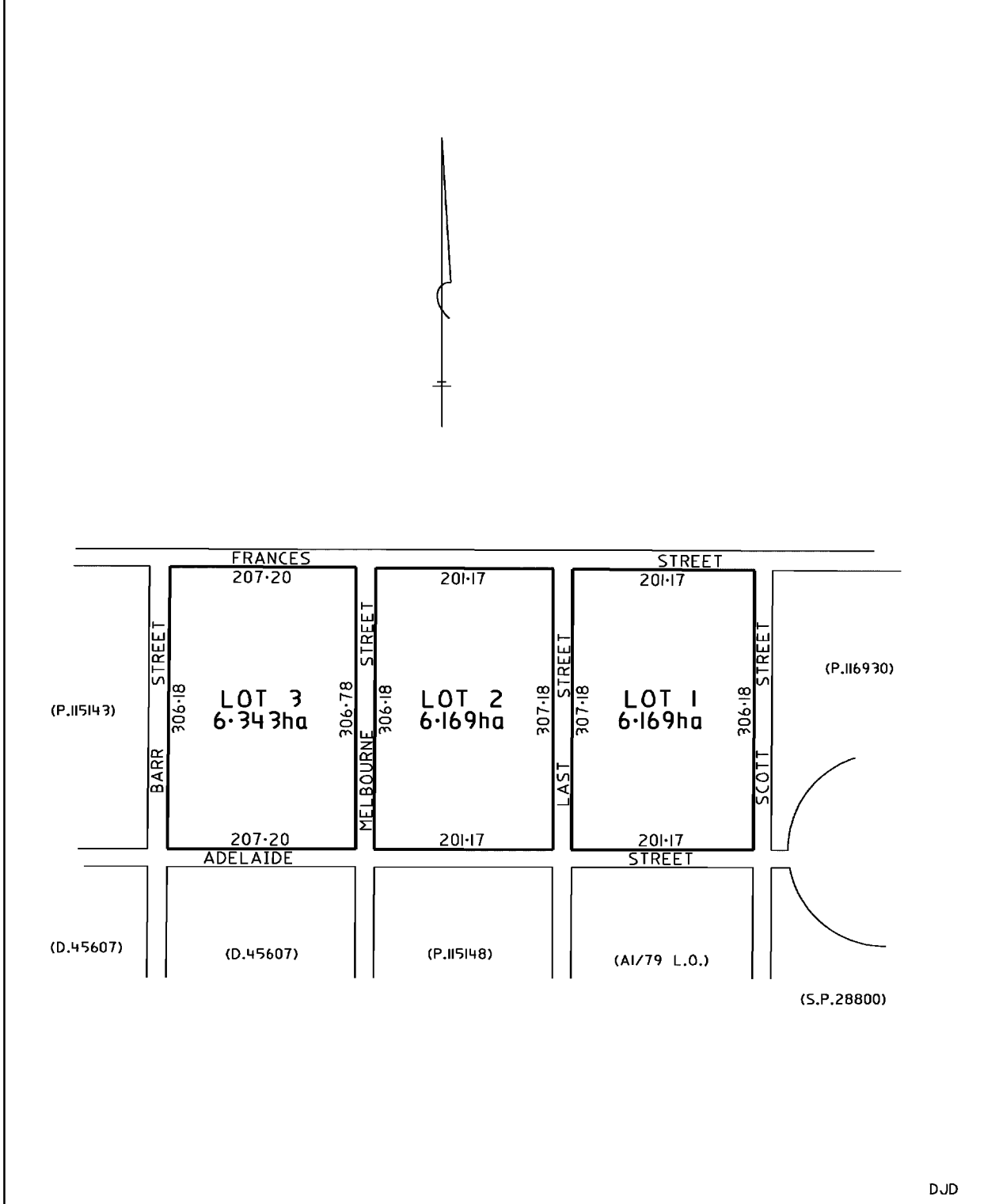
Reservations and conditions in the Crown Grant if any

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER L.T. ACT 1980 FOLIO REFERENCE A.I8104 GRANTEE WHOLE OF 15-0-39 (SEC JJ), 15-0-39 (SEC KK) & 15-2-28 (SEC LL) GTD TO MARIA LORD	PLAN OF TITLE		Registered Number P.136445
	LOCATION TOWN OF BOTHWELL (SECS. JJ, KK, LL)	FIRST SURVEY PLAN No. A1/79 L.O. COMPILED BY LDRB SCALE 1: 4000 LENGTHS IN METRES	APPROVED <u>12 OCT 2001</u> <i>Alice Kawa</i> Recorder of Titles

MAPSHEET MUNICIPAL CODE No. I10 (4830)	LAST I101800, I101801 UPI No I101808	LAST PLAN No.	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
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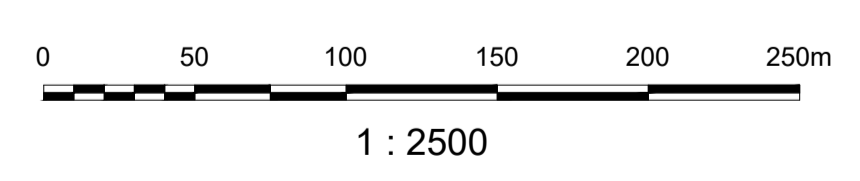


APPENDIX B

Proposal Plans



BOTHWELL WATER TREATMENT PLAN 0172 - REGIONAL TOWNS STAGE 4



SITE PLAN
SCALE : 1:2500

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A	ISSUED FOR PRELIMINARY DESIGN	14.08.24	PH		
Rev.No.	Amendment	Date	Authorised		
1		2			

XR

Taswater

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Designed	Y. MARTINEZ	GANDEN	14.08.24	Approved	P.HUDSON
					P.HUDSON
					14.08.24

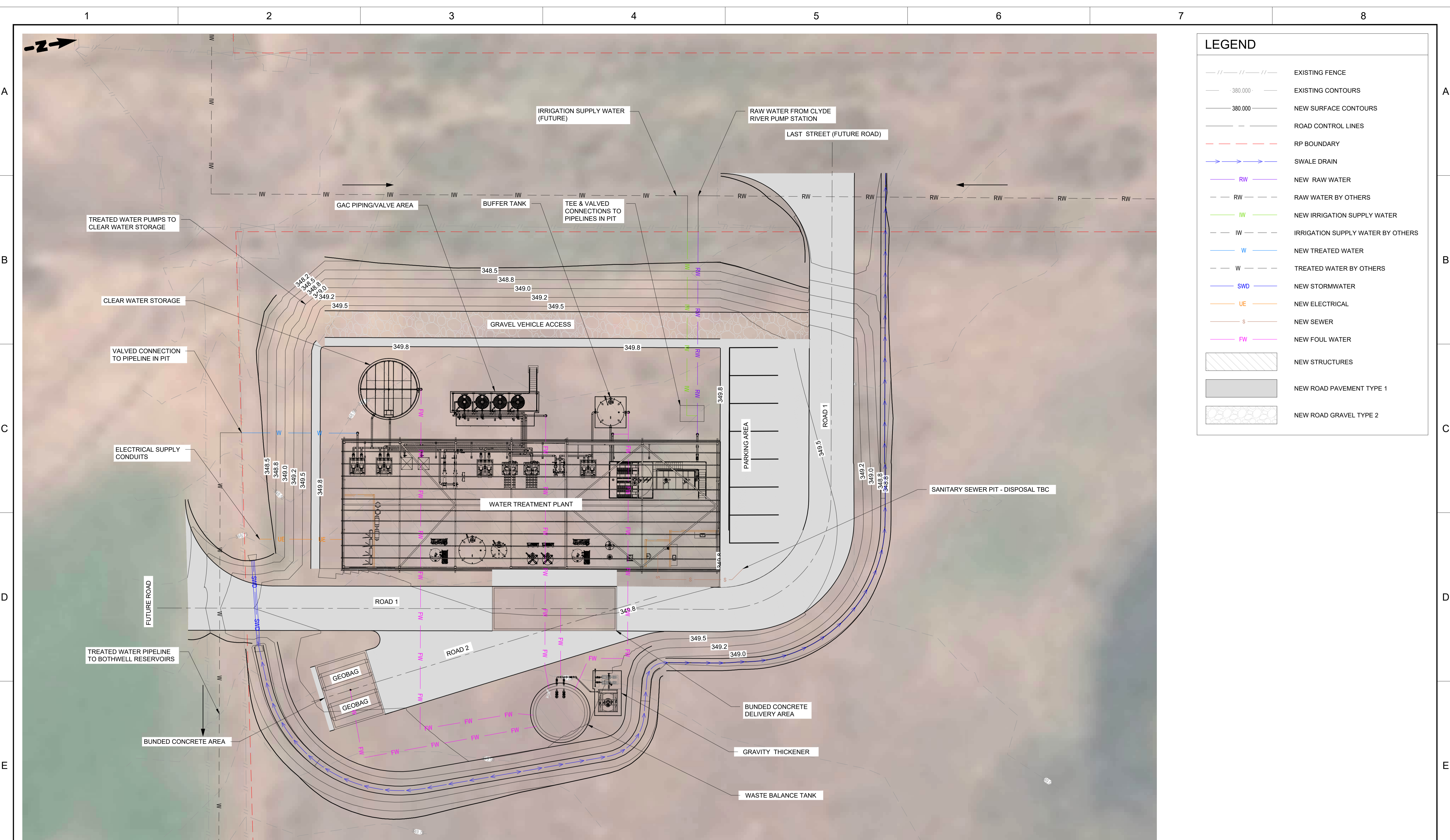
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FOR
REVIEW

BOTWT02 - BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
COVER PAGE AND SITE LOCALITY

0172-DWG-BOTWT02-GA-0001

	Sheet Number	Revision
		A



LEGEND	
	EXISTING FENCE
	EXISTING CONTOURS
	NEW SURFACE CONTOURS
	ROAD CONTROL LINES
	RP BOUNDARY
	SWALE DRAIN
	NEW RAW WATER
	RAW WATER BY OTHERS
	NEW IRRIGATION SUPPLY WATER
	IRRIGATION SUPPLY WATER BY OTHERS
	NEW TREATED WATER
	TREATED WATER BY OTHERS
	NEW STORMWATER
	NEW ELECTRICAL
	NEW SEWER
	NEW FOUL WATER
	NEW STRUCTURES
	NEW ROAD PAVEMENT TYPE 1
	NEW ROAD GRAVEL TYPE 2

SITE PLAN
SCALE 1 : 200

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Drawing Issue

FOR REVIEW

BOTWT02 - BOTHWELL WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
OVERALL SITE LAYOUT PLAN

0172-DWG-BOTWT02-GA-0004

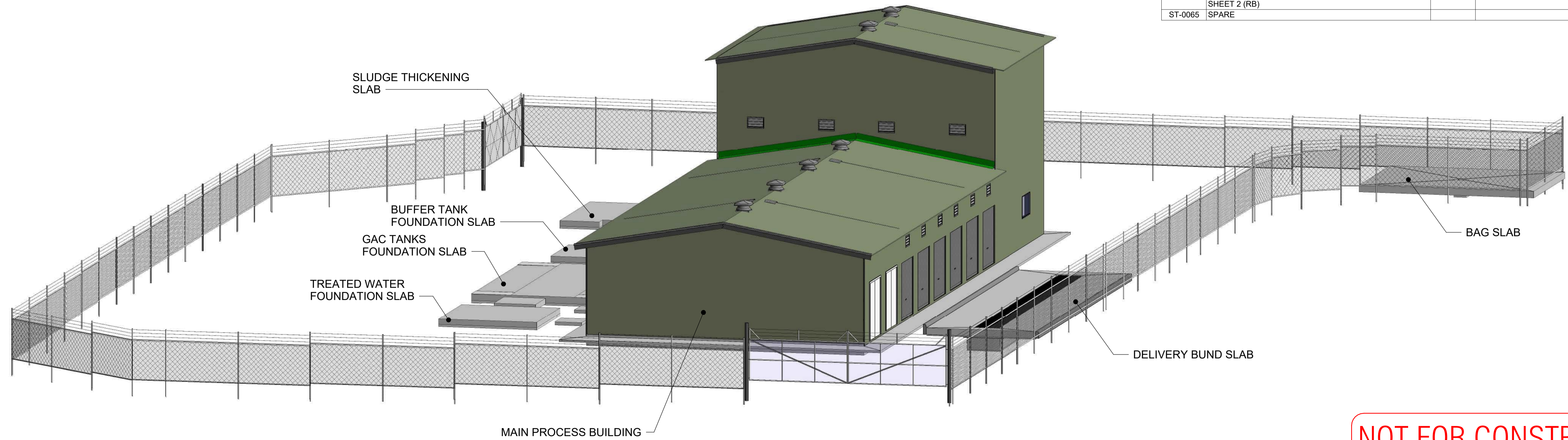
Sheet Number	Revision
	A

MAIN BUILDING DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	DESCRIPTION	
D1	2000	2600	2000X2600 H DOUBLE LEAF STEEL FRAME DOOR WITH DROP BAR AND ACOUSTIC SEALS, MIN. Rw48	
D2	2000	2600	2000X2600 H DOUBLE LEAF STEEL FRAME DOOR WITH DROP BAR AND ACOUSTIC SEALS, MIN. Rw48	
D3	2400	2600	INTEGRITY DOORS INDUSTRIAL STEEL ROLLER SHUTTER WITH WIND LOCKS& WEATHER PROOF SEALS TO MEET BAL 29 REQTS	
D4	2400	2600	INTEGRITY DOORS INDUSTRIAL STEEL ROLLER SHUTTER WITH WIND LOCKS& WEATHER PROOF SEALS TO MEET BAL 29 REQTS	
D5	2400	2600	INTEGRITY DOORS INDUSTRIAL STEEL ROLLER SHUTTER WITH WIND LOCKS& WEATHER PROOF SEALS TO MEET BAL 29 REQTS	
D6	2400	2600	INTEGRITY DOORS INDUSTRIAL STEEL ROLLER SHUTTER WITH WIND LOCKS& WEATHER PROOF SEALS TO MEET BAL 29 REQTS	
D7	2400	2600	INTEGRITY DOORS INDUSTRIAL STEEL ROLLER SHUTTER WITH WIND LOCKS& WEATHER PROOF SEALS TO MEET BAL 29 REQTS	
D8	2400	2600	INTEGRITY DOORS INDUSTRIAL STEEL ROLLER SHUTTER WITH WIND LOCKS& WEATHER PROOF SEALS TO MEET BAL 29 REQTS	
D9	900	2200	SINGLE STEEL FRAME DOOR WITH ACOUSTIC SEALS, MIN. Rw 48	
D10	2700	4000	INDUSTRIAL STEEL ROLLER DOOR WITH ACOUSTIC AND WEATHER PROOF SEALS, CYCLONE RATED, MIN.Rw28	
D11	900	2200	SINGLE STEEL FRAME DOOR WITH ACOUSTIC SEALS, MIN. Rw 48	
D12	900	2200	SINGLE STEEL FRAME DOOR WITH ACOUSTIC SEALS, MIN. Rw 48	
D13	900	2200	SINGLE STEEL FRAME DOOR WITH ACOUSTIC SEALS, MIN. Rw 48	
D14	2000	2200	2000X2600 H DOUBLE LEAF STEEL FRAME DOOR WITH DROP BAR AND ACOUSTIC SEALS, MIN. Rw48	
D16	900	2200	SINGLE STEEL FRAME DOOR WITH ACOUSTIC SEALS, MIN. Rw 48	
D17	900	2200	SINGLE STEEL FRAME DOOR WITH ACOUSTIC SEALS, MIN. Rw 48	

MAIN BUILDING LOUVRE SCHEDULE				
MARK	WIDTH	HEIGHT	DESCRIPTION	
L1	450	750		
L2	450	750		
L3	450	750		
L4	450	750		
L5	450	750		
L6	450	750		
L7	450	750		
L8	450	750		
L9	970	1000		
L10	970	1000		
L11	970	1000		
L12	970	1000		
L13	970	1000		
L14	970	1000		
L15	970	1000		
L16	970	1000		
L17	970	1000		
L18	970	1000		
L19	970	1000		
L20	970	1000		

MAIN BUILDING WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	DESCRIPTION	
W1	1000	1500		
W2	1000	2000		
W3	1000	1200		

STRUCTURAL DRAWING LIST				
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-0001	TYPICAL STEEL DETAILS SHEET 1	A	ISSUED FOR 100% REVIEW	xx.11.2024
-0002	TYPICAL STEEL DETAILS SHEET 2	A	ISSUED FOR 100% REVIEW	xx.11.2024
-0003	TYPICAL STEEL DETAILS SHEET 3	A	ISSUED FOR 100% REVIEW	xx.11.2024
-0004	TYPICAL STEEL DETAILS SHEET 4	A	ISSUED FOR 100% REVIEW	xx.11.2024
GA-0001	GENERAL NOTES SHEET 1	A	ISSUED FOR 100% REVIEW	xx.11.2024
GA-0002	GENERAL NOTES SHEET 2	A	ISSUED FOR 100% REVIEW	xx.11.2024
GA-0003	GENERAL NOTES SHEET 3	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0000	COVER SHEET 3D VIEWS, STRUCTURAL DRAWING LIST	B	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0001	MAIN BUILDING - GENERAL ARRANGEMENT PLAN	C	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0002	MAIN BUILDING - BUILDING ELEVATIONS SHEET 1	C	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0003	MAIN BUILDING - BUILDING ELEVATIONS SHEET 2	C	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0004	MAIN BUILDING - BUILDING ELEVATIONS SHEET 3	B	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0005	MAIN BUILDING - BUILDING ELEVATIONS SHEET 4	B	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0006	MAIN BUILDING - BUILDING SECTIONS SHEET 1	B	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0007	MAIN BUILDING - BUILDING SECTIONS SHEET 2	B	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0008	MAIN BUILDING ROOF GENERAL ARRANGEMENT PLAN	B	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0009	MAIN BUILDING - ARCHITECTURAL DETAILS SHEET 1	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0010	LABORATORY AND OFFICE LAYOUT	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0011	MAIN BUILDING - GROUND FLOOR CONCRETE SETOUT PLAN	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0012	MAIN BUILDING - GROUND FLOOR BOTTOM REINFORCEMENT PLAN	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0013	MAIN BUILDING - GROUND FLOOR TOP REINFORCEMENT PLAN	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0014	MAIN BUILDING - CONCRETE SECTIONS & DETAILS SHEET 1	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0015	MAIN BUILDING - PLINTH DETAILS	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0018	MAIN BUILDING - LOWER ROOF FRAMING PLAN	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0019	MAIN BUILDING - UPPER ROOF FRAMING PLAN	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0020	MAIN BUILDING - STEELWORK ELEVATIONS SHEET 1	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0021	MAIN BUILDING - STEELWORK ELEVATIONS SHEET 2	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0022	MAIN BUILDING - STEELWORK ELEVATIONS SHEET 3	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0023	MAIN BUILDING - STEELWORK ELEVATIONS SHEET 4	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0024	MAIN BUILDING - ROOF SECTIONS SHEET 1	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0025	MAIN BUILDING - ROOF SECTIONS SHEET 2	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0026	MAIN BUILDING - STEELWORK DETAILS SHEET 1	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0027	MAIN BUILDING - STEELWORK DETAILS SHEET 2	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0031	TREATED WATER TANK - FOUNDATION SLAB	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0032	GAC TANKS PLATFORM - CONCRETE PLAN & DETAILS	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0033	GAC TANK PLATFORMS - STEELWORK FRAMING PLAN (RB)	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0034	GAC TANK PLATFORMS - STEEL ELEVATIONS (RB)	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0035	GAC TANK PLATFORMS - STEEL DETAILS (RB)	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0040	BAG SLAB PLAN & DETAILS	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0045	DELIVERY BUND - SLAB PLAN, SECTIONS & DETAILS	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0046	DELIVERY BUND - SECTIONS AND DETAILS	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0050	BUFFER & WASTE, SLUDGE FOUNDATION SLABS	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0051	BUFFER & WASTE, SLUDGE FOUNDATION REINFORCEMENT	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0060	FLOC./CLARIFIER PLATFORM - GENERAL ARRANGEMENT PLAN (RB)	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0061	FLOC./CLARIFIER PLATFORM - SECTIONS & DETAILS SHEET 1 (RB)	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0062	FLOC./CLARIFIER PLATFORM - SECTIONS & DETAILS SHEET 2 (RB)	A	ISSUED FOR 100% REVIEW	xx.11.2024
ST-0065	SPARE			



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Sheet size	
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Drawn	M.DUFFY		xx.11.2024	Checked	Checker		xx.11.2024
Designed	A.HARDIKAR		xx.11.2024	Approved	Approver		xx.11.2024

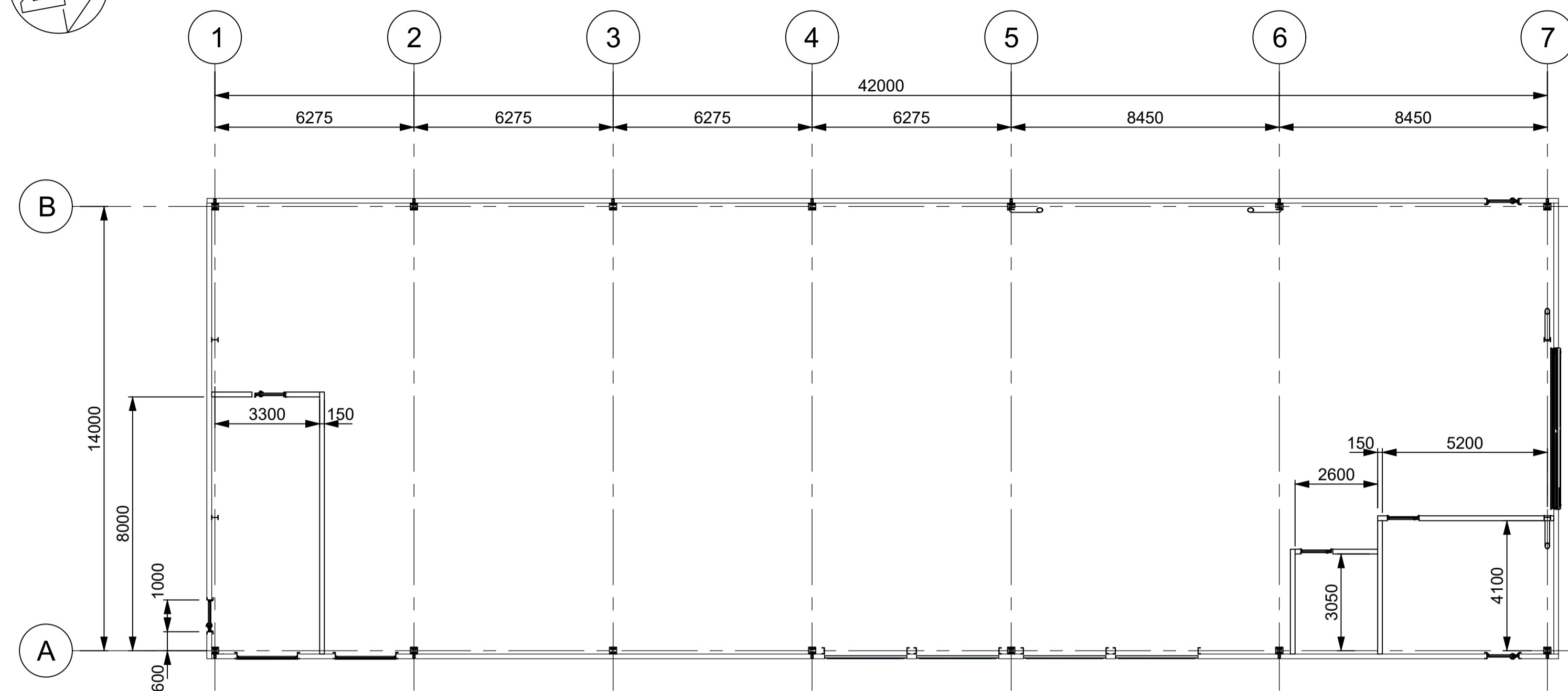
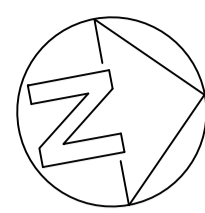
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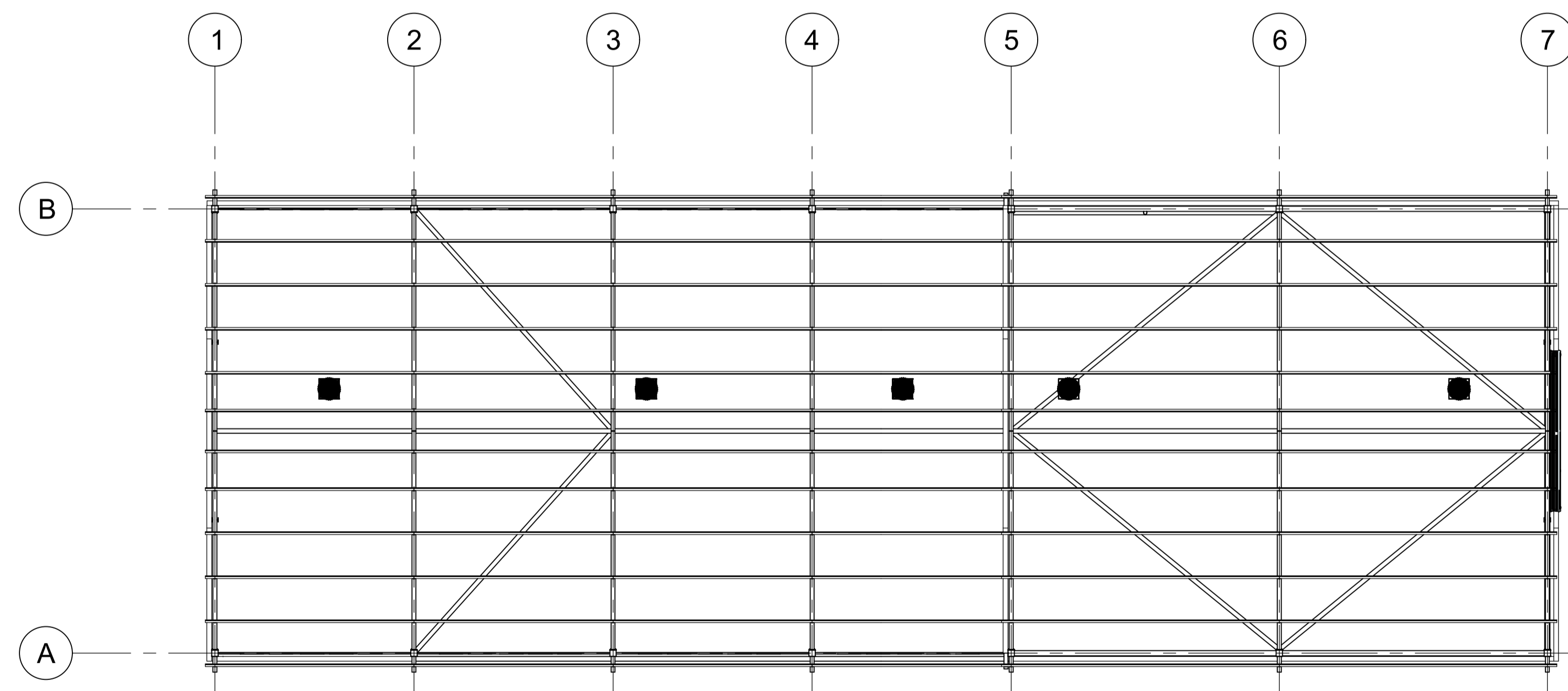
**BOTWT02-BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
COVER SHEET 3D VIEWS, STRUCTURAL DRAWING LIST**

0172-DWG -BOTWT02- ST-0000

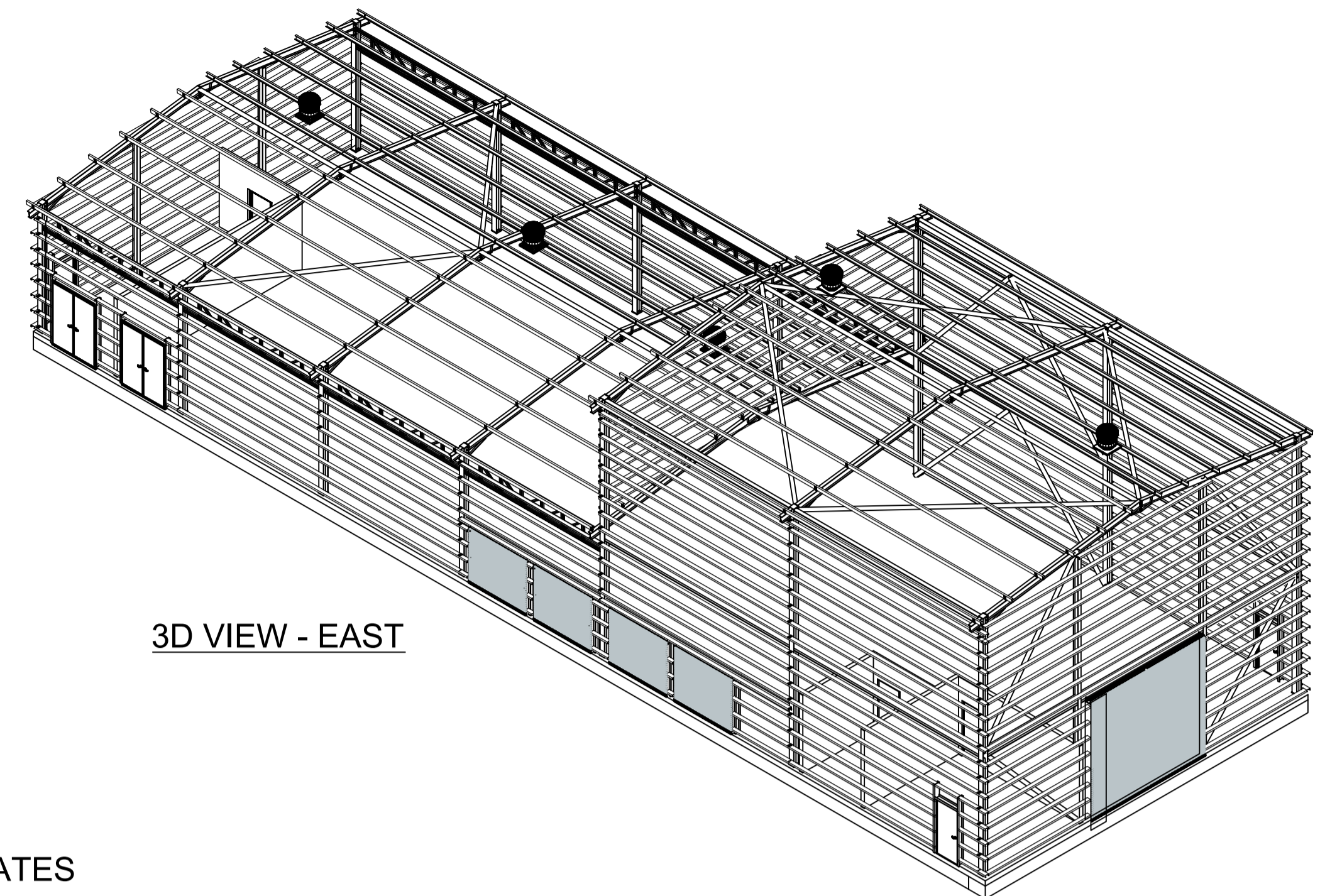
Sheet Number: **B** Revision: **B**



PLAN VIEW - FLOOR
SCALE 1 : 125



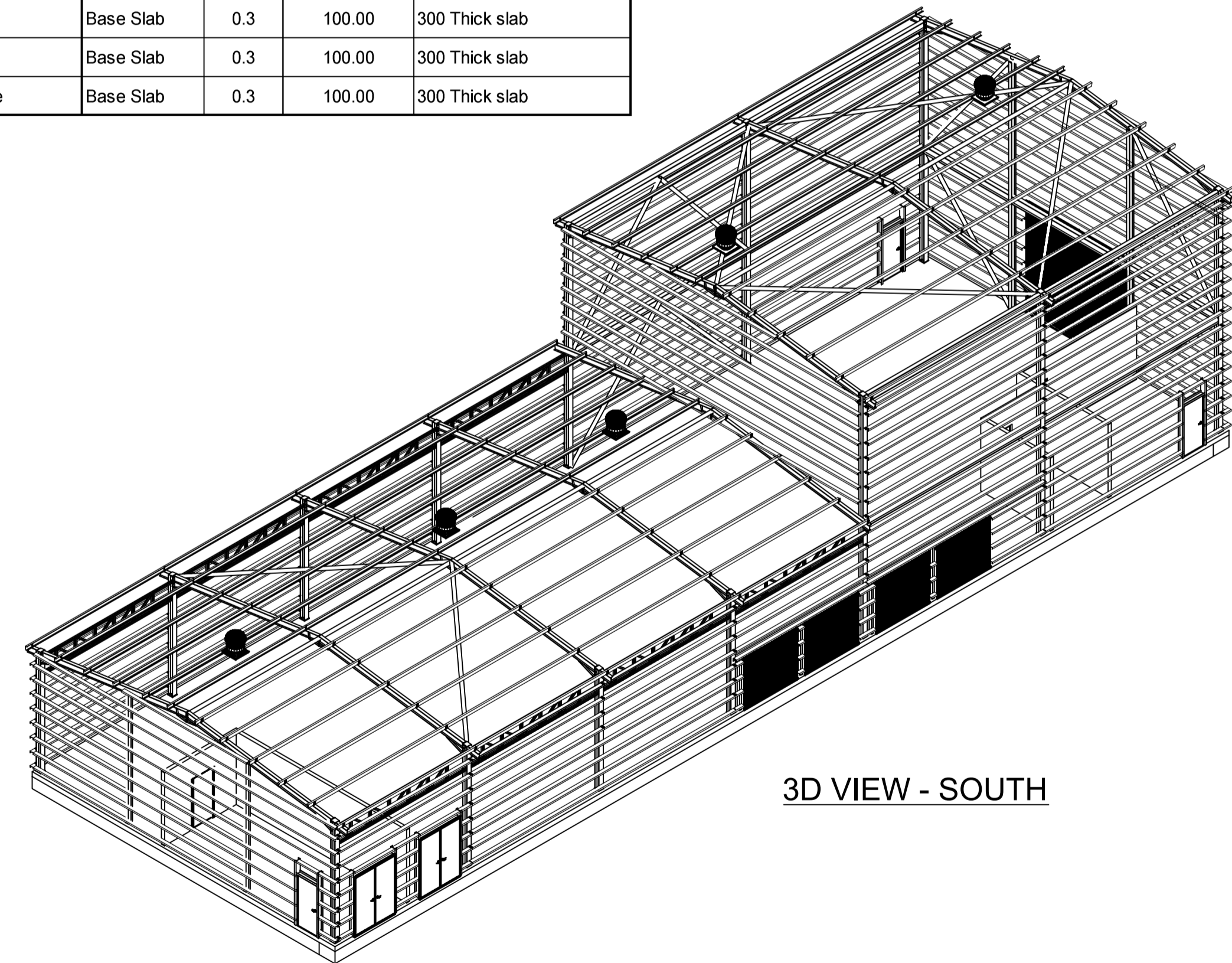
PLAN VIEW - ROOF
SCALE 1 : 125



3D VIEW - EAST

REINFORCEMENT RATES

Structure	Element	Size (m)	Reo Quantity (kg/m3)	Comment
Main building foundation slab on grade	Base Slab	0.25	120.00	250 Thick slab
	Edge beam	0.75 x 0.5	60.00	750 wide x 500 deep beam
Clear Water storage tank foundation slab on grade	Base Slab	0.3	100.00	300 Thick slab
Buffer tank foundation - slab on grade	Base Slab	0.3	100.00	300 Thick slab
GAC Contact area slab on grade	Base Slab	0.3	100.00	300 Thick slab
Gravity Thickener foundation - slab on grade	Base Slab	0.3	100.00	300 Thick slab



3D VIEW - SOUTH

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Rev.No.	Amendment	Date	Authorised
A	ISSUED FOR PRELIMINARY DESIGN	14.08.24	CM



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Sheet Size	A1
References	

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Designed	R.BIEN	GANDEN	14.08.24	Approved	C.MASKREY	GANDEN	14.08.24

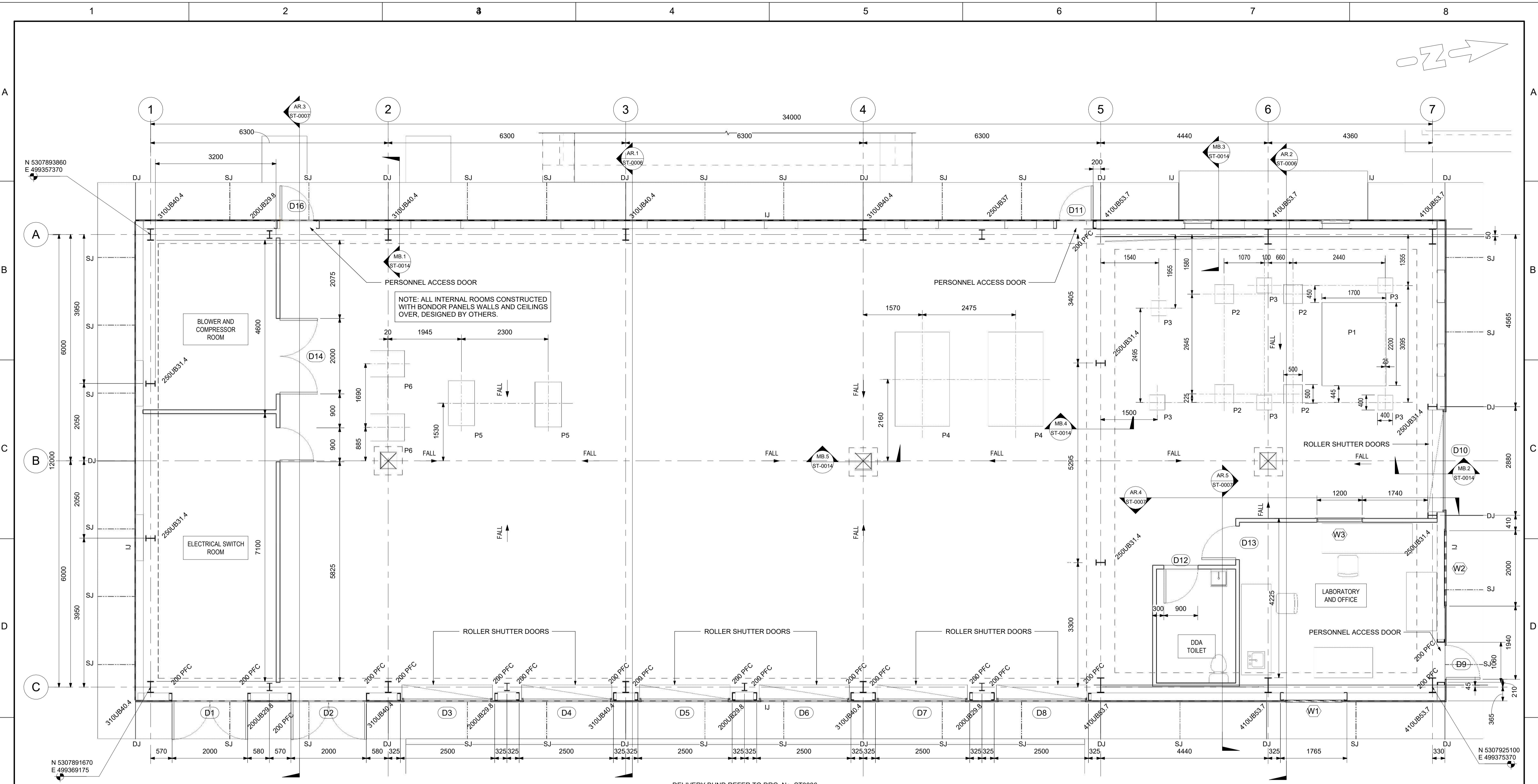
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Drawing Issue
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BOTWT02 - BOTHWELL
WATER TREATMENT PLANT
 0172 - REGIONAL TOWNS STAGE 4
 MAIN PLANT BUILDING - PLAN & 3D VIEWS

0172-DWG-BOTWT02-ST-0001

Sheet Number	Revision
	A



MAIN BUILDING GENERAL ARRANGEMENT PLAN
SCALE: 1 : 50

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A	ISSUED FOR PRELIMINARY DESIGN	14.08.2024	

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ABN: 47 162 220 653 © 2024

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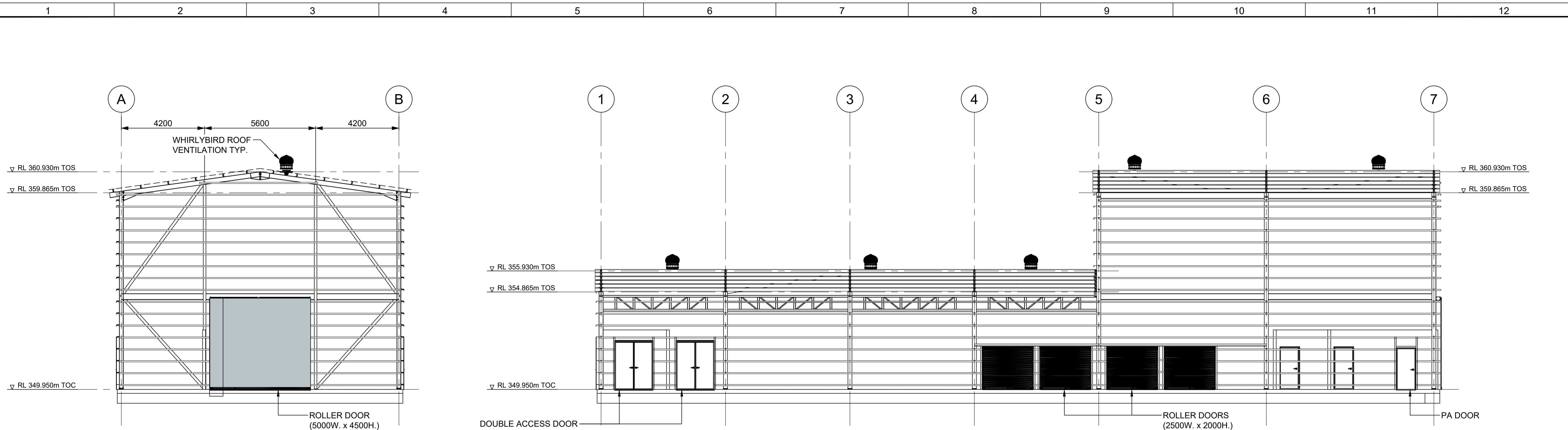
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Drawing Issue
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BOTWT02-BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
GROUND FLOOR GENERAL ARRANGEMENT PLAN

7172-DWG -BOTWT02- ST-0001

Sheet Number	5	Revision	C
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ELEVATION - NORTH
SCALE 1 : 100

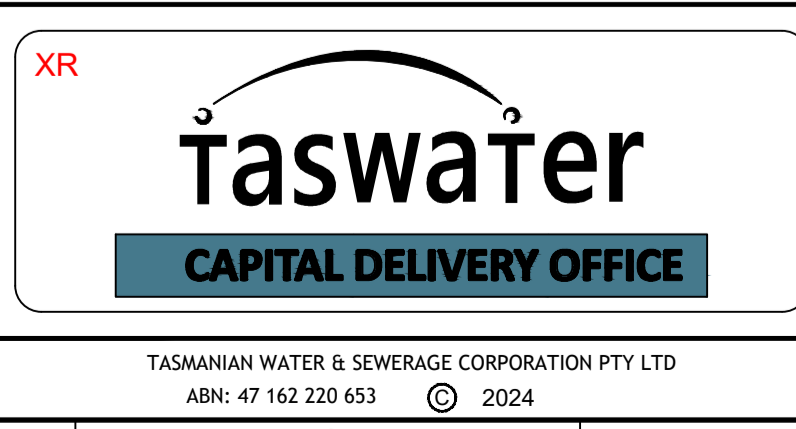
ELEVATION - EAST
SCALE 1 : 100

ELEVATION - SOUTH
SCALE 1 : 100

ELEVATION - WEST
SCALE 1 : 100

NOT FOR CONSTRUCTION

Rev.No.	Amendment	Date	Authorised
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Scale	AS SHOWN
Datum	
Sheet Size	A1
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Designed	R.BIEN GANDEN	14.08.24	Approved	C.MASKREY GANDEN	14.08.24		

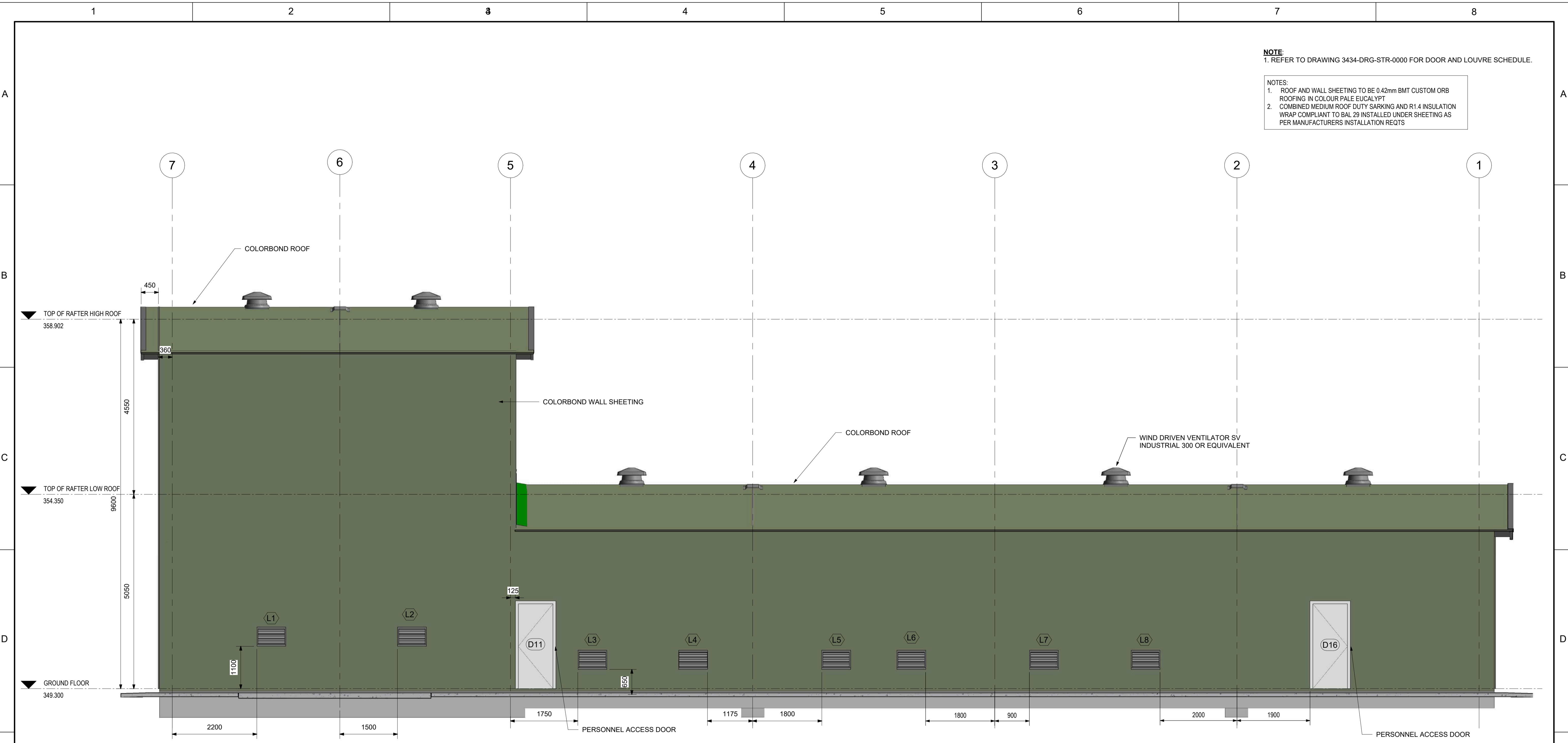
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Drawing Issue
FOR REVIEW

BOTWT02 - BOTHWELL WATER TREATMENT PLANT	
0172 - REGIONAL TOWNS STAGE 4	
MAIN PLANT BUILDING - ELEVATIONS	
0172-DWG-BOTWT02-ST-0002	Revision A

NOTE:
1. REFER TO DRAWING 3434-DRG-STR-0000 FOR DOOR AND LOUVRE SCHEDULE.

- NOTES:**
1. ROOF AND WALL SHEETING TO BE 0.42mm BMT CUSTOM ORB ROOFING IN COLOUR PALE EUCALYPT
 2. COMBINED MEDIUM ROOF DUTY SARKING AND R1.4 INSULATION WRAP COMPLIANT TO BAL 29 INSTALLED UNDER SHEETING AS PER MANUFACTURERS INSTALLATION REQTS



ELEVATION ALONG GRID A
SCALE: 1 : 50

NOT FOR CONSTRUCTION

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Rev.No.	Amendment	Date	Authorised
B	ISSUED FOR REVIEW	14.10.2024	
A	ISSUED FOR PRELIMINARY DESIGN	14.08.2024	



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Datum	
Sheet size	
References	

DESIGN		DATE		REVIEW		DATE	
Drawn	M.DUFFY	xx.11.2024	Checked	Checker		xx.11.2024	
Designed	A.HARDIKAR	xx.11.2024	Approved	Approver		xx.11.2024	

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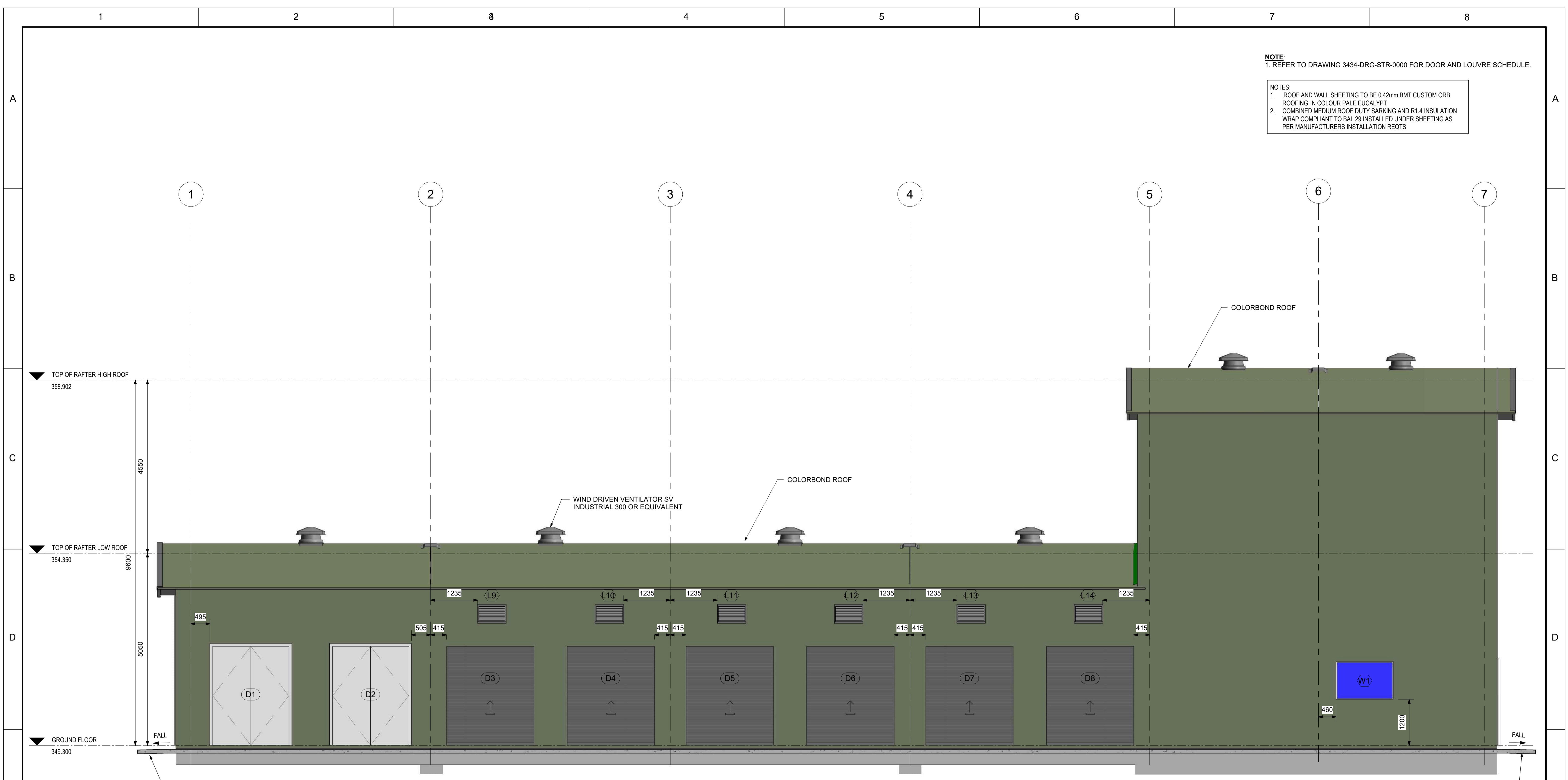
Drawing Issue
FOR REVIEW

**BOT02-BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
MAIN BUILDING ELEVATIONS SHEET 1**

172-DWG -BOTWT02- ST-0002		Sheet Number	Revision
			C

NOTE:
1. REFER TO DRAWING 3434-DRG-STR-0000 FOR DOOR AND LOUVRE SCHEDULE.

- NOTES:**
1. ROOF AND WALL SHEETING TO BE 0.42mm BMT CUSTOM ORB ROOFING IN COLOUR PALE EUCALYPT
 2. COMBINED MEDIUM ROOF DUTY SARKING AND R1.4 INSULATION WRAP COMPLIANT TO BAL 29 INSTALLED UNDER SHEETING AS PER MANUFACTURERS INSTALLATION REQTS



ELEVATION ALONG GRID C
SCALE: 1 : 50

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Rev.No.	Amendment	Date	Authorised
C	ISSUED FOR 100% REVIEW	xx.11.2024	
B	ISSUED FOR REVIEW	14.10.2024	
A	ISSUED FOR PRELIMINARY DESIGN	14.08.2024	

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Datum	
Sheet size	
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DESIGN		DATE		REVIEW		DATE	
Drawn	M.DUFFY	xx.11.2024	Checked	Checker		xx.11.2024	
Designed	A.HARDIKAR	xx.11.2024	Approved	Approver		xx.11.2024	

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Drawing Issue
FOR REVIEW

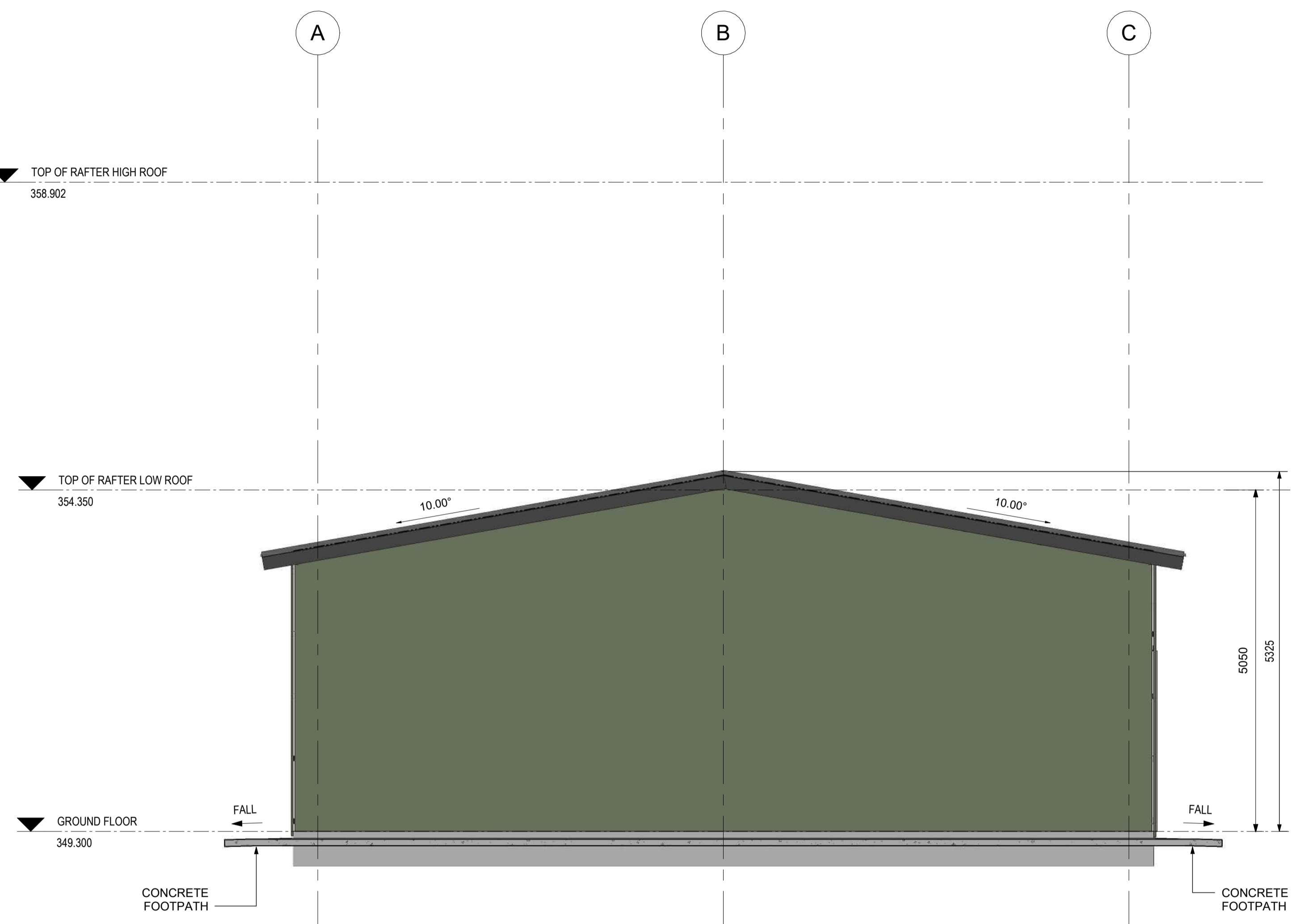
**BOTWT02-BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
BUILDING ELEVATIONS SHEET 2**

0172-DWG -BOTWT02- ST-0003

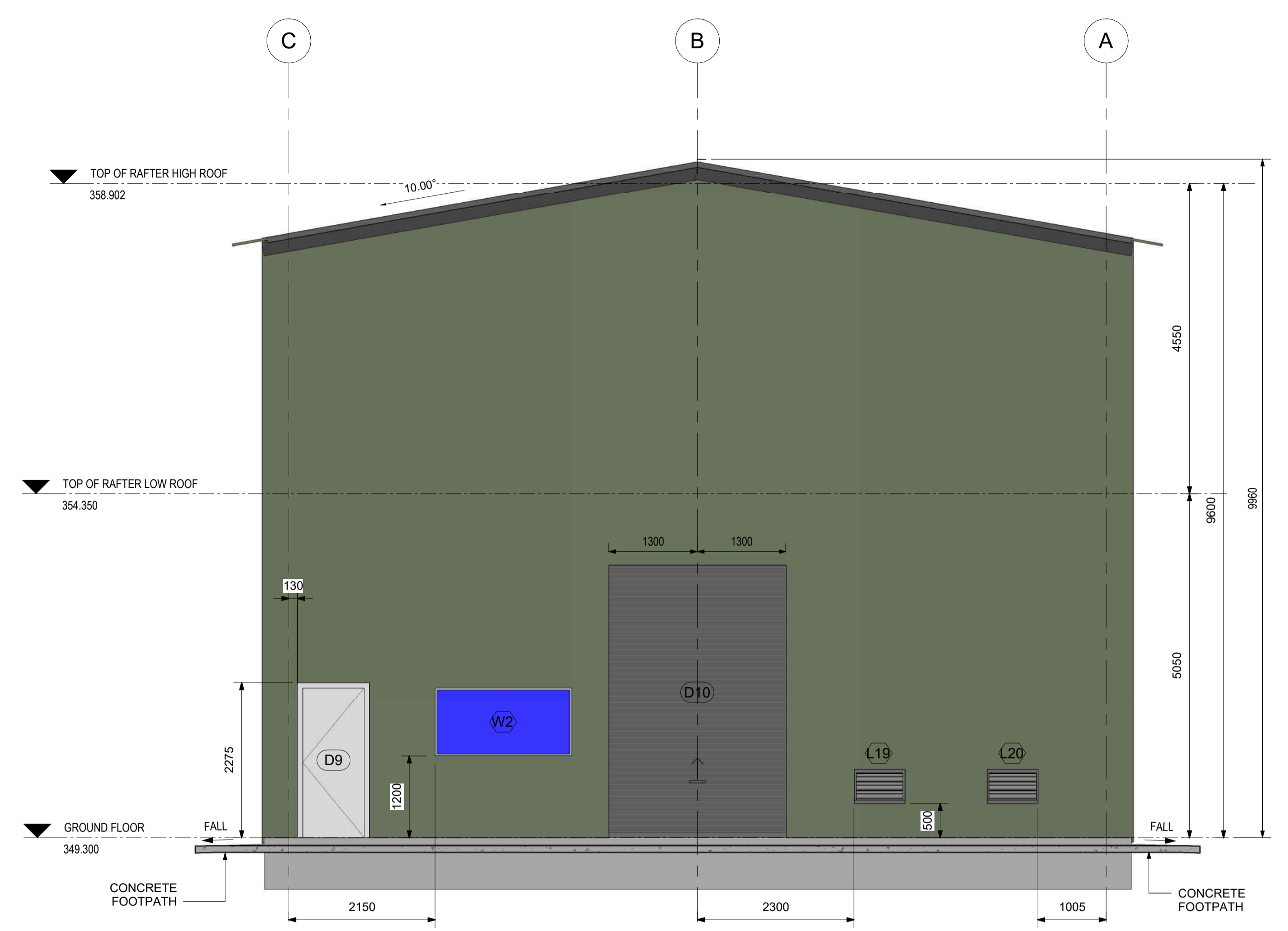
Sheet Number	Revision
	C

NOTE:
1. REFER TO DRAWING 3434-DRG-STR-0000 FOR DOOR AND LOUVRE SCHEDULE.

- NOTES:**
1. ROOF AND WALL SHEETING TO BE 0.42mm BMT CUSTOM ORB ROOFING IN COLOUR PALE EUCALYPT
 2. COMBINED MEDIUM ROOF DUTY SARKING AND R1.4 INSULATION WRAP COMPLIANT TO BAL 29 INSTALLED UNDER SHEETING AS PER MANUFACTURERS INSTALLATION REQTS



ELEVATION ALONG GRID 1
SCALE: 1 : 50



ELEVATION ALONG GRID 7
SCALE: 1 : 50

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Datum	
Sheet size	
References	

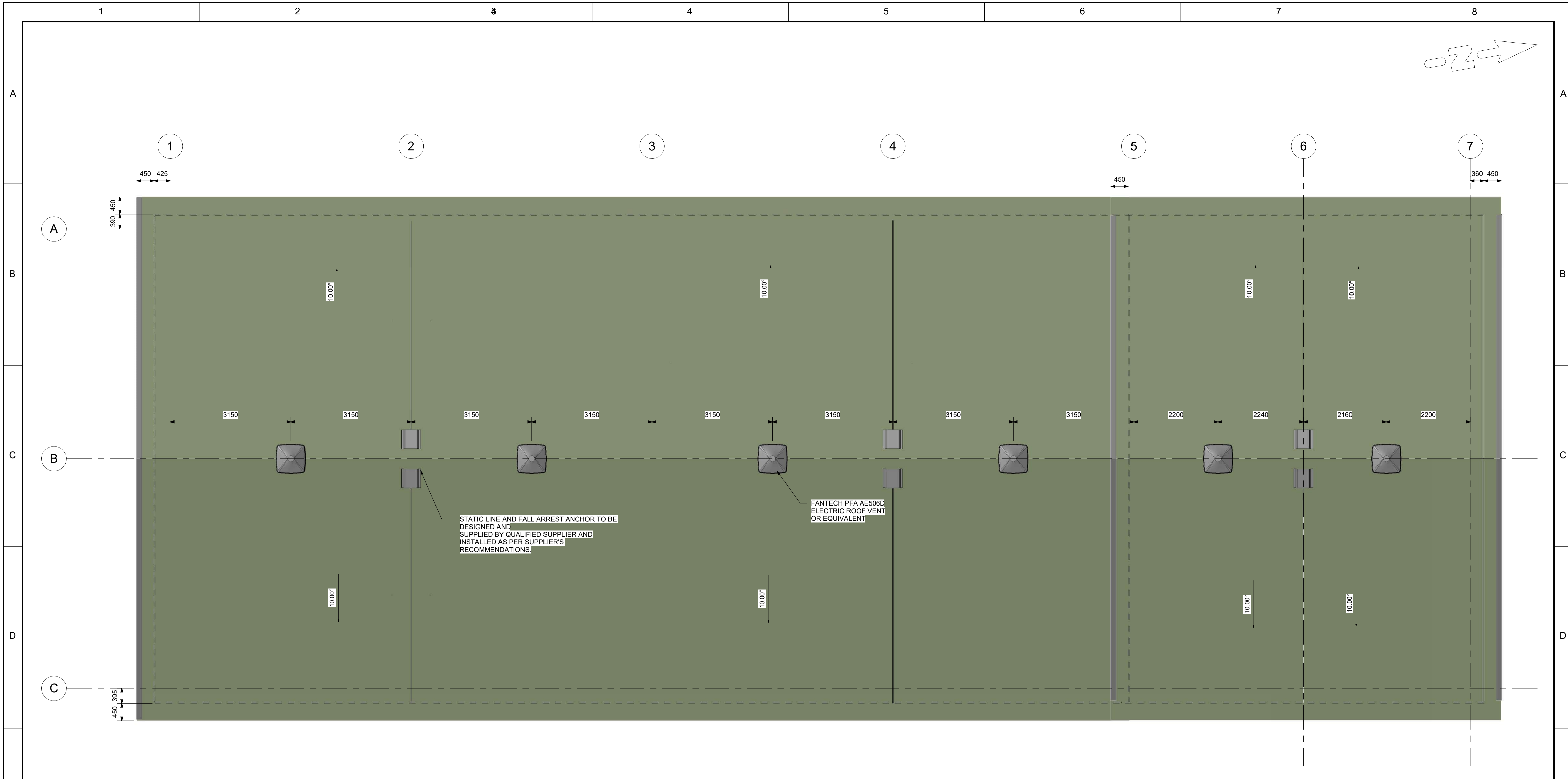
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Drawn	M.DUFFY		xx.11.2024	Checked	Checker		xx.11.2024
Designed	A.HARDIKAR		xx.11.2024	Approved	Approver		xx.11.2024

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Drawing Issue
FOR REVIEW

**BOTWT02-BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
BUILDING ELEVATIONS SHEET 3**

Drawing Number	0172-DWG -BOTWT02- ST-0004	Sheet Number	Revision
			B



ROOF GENERAL ARRANGEMENT PLAN
SCALE: 1 : 50

NOT FOR CONSTRUCTION

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Rev.No.	Amendment	Date	Authorised
A	ISSUED FOR PRELIMINARY DESIGN	14.08.2024	

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Scale	1 : 50
Datum	AHD
Sheet size	A1

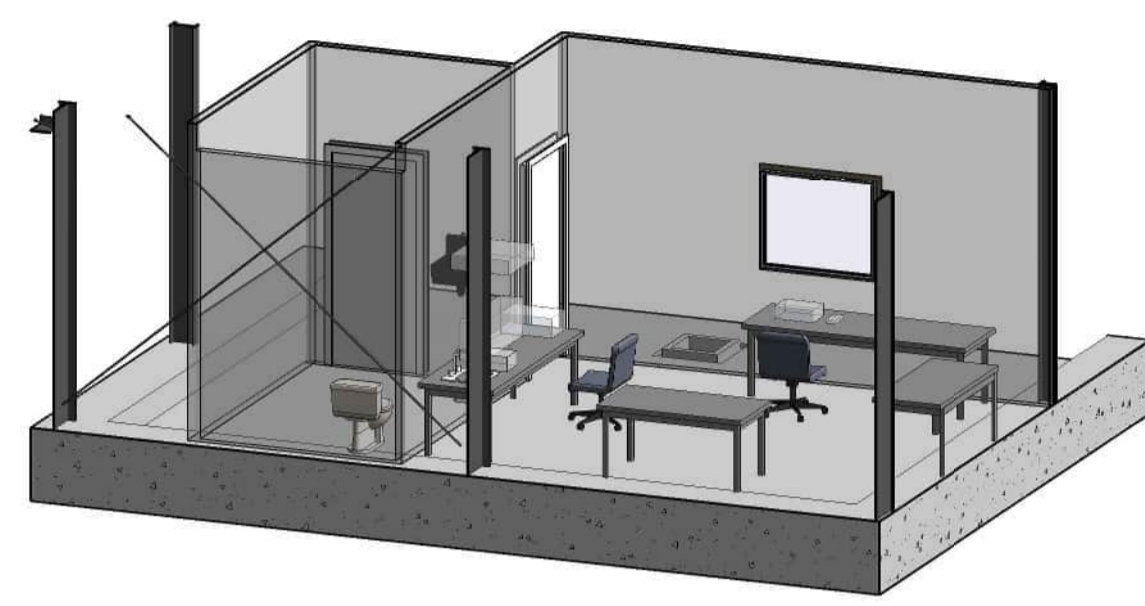
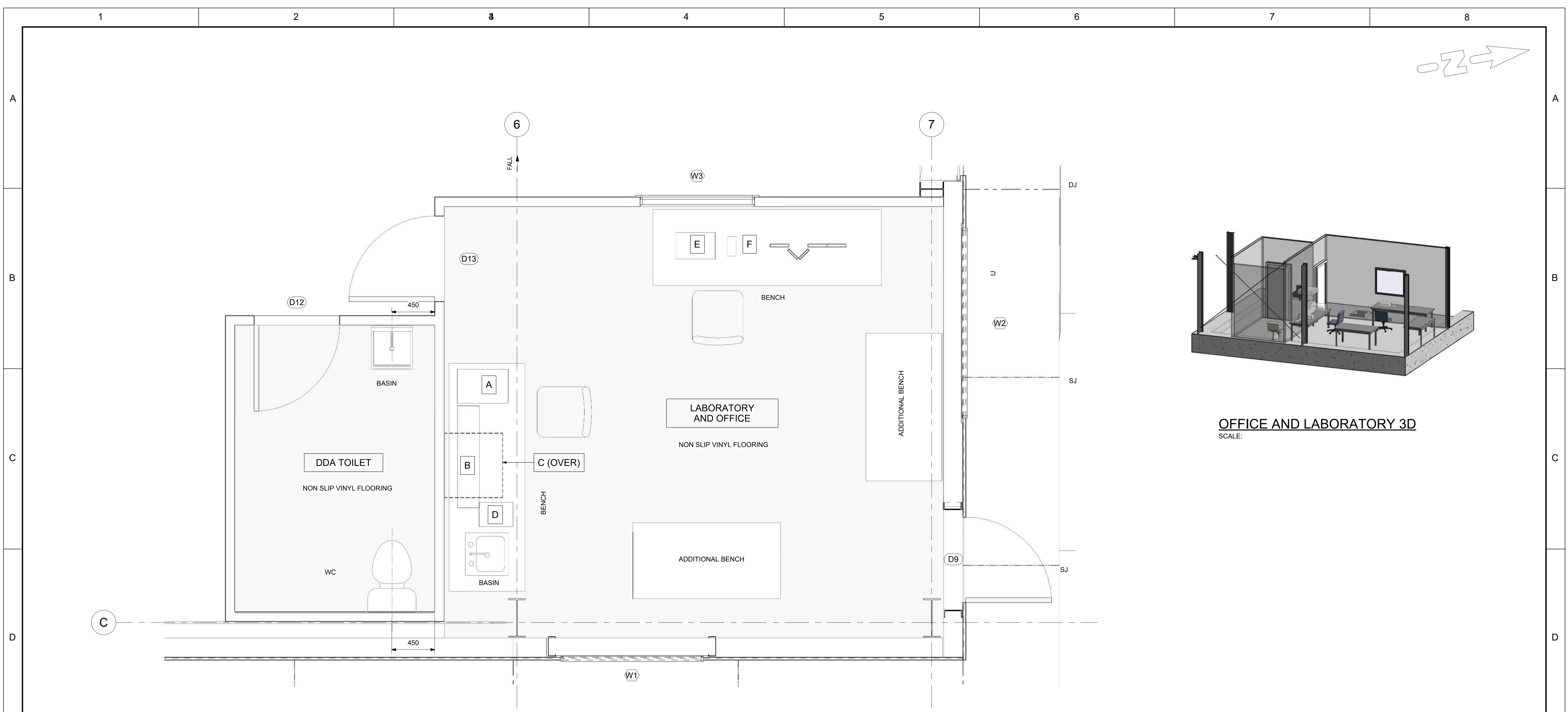
DESIGN		DATE		REVIEW		DATE	
Drawn	M.DUFFY		xx.11.2024	Checked	Checker		xx.11.2024
Designed	A.HARDIKAR		xx.11.2024	Approved	Approver		xx.11.2024

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Drawing Issue
FOR REVIEW

**BOTWT02-BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
MAIN BUILDING ROOF GENERAL ARRANGEMENT PLAN**

172-DWG -BOTWT02- ST-0008



OFFICE AND LABORATORY 3D
SCALE:

LABORATORY AND OFFICE PLAN
SCALE: 1 : 20

EQUIPMENT TABLE			
	EQUIPMENT	DETAILS	DIMENSIONS (DxLxH)
A	WET RACK	FOR INSTRUMENTS	335x535x220
B	6 JAR, JAR TESTER	PHIPS & BIRD	235x1073x394
C	EXTRACTION HOOD	AIR SCIENCE/MODEL P5-24	676x610x781
D	SPECTOR	HACH DR3900	255x350x151
E	BENCHTOP TURBIDITY ANALYSER	HACH TU5200	280x410x125
F	PH/CONDUCTOMETER	METROLM 913 / 914	208x91x34

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Rev.No.	Amendment	Date	Authorised
A	ISSUED FOR 100% REVIEW	xx.11.2024	

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Scale	As indicated
Datum	
Sheet size	

DESIGN		DATE		REVIEW		DATE	
Drawn	M.DUFFY		xx.11.2024	Checked	Checker		xx.11.2024
Designed	C.MASKREY		xx.11.2024	Approved	Approver		xx.11.2024

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Drawing Issue
FOR REVIEW

**BOTWT02-BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
MAIN BUILDING - LABORATORY AND OFFICE LAYOUT**

172-DWG -BOTWT02- ST-0010

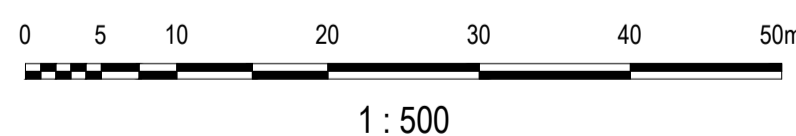


LEGEND	
	EXISTING FENCE
	EXISTING CONTOURS
	NEW SURFACE CONTOURS
	ROAD CONTROL LINES
	RP BOUNDARY
	SWALE DRAIN
	NEW FENCE
	NEW GATE
	NEW STRUCTURES
	NEW ROAD PAVEMENT TYPE 1
	NEW ROAD GRAVEL TYPE 2
	CUT < -1m
	CUT 0 TO -1m
	FILL 0 TO 1m
	FILL > 1m
	EWKS BULK EARTHWORKS LEVEL

EARTHWORKS VOLUMES	
TOTAL CUT	468m ³
TOTAL FILL	1897m ³
BALANCE	1429m ³ (FILL)
TOP SOIL STRIP (0.2m DEPTH APPROX)	1268m ³
TOP SOIL REPLACEMENT (40%)	507m ³
BALANCE	507m ³ (FILL)

- NOTES**
- REFER DRAWING 0172-DWG-BOTWT02-CI-0002 FOR BULK EARTHWORKS SITE SECTIONS.
 - REFER DRAWING 0172-DWG-BOTWT02-CI-0003 & CI-0021 FOR ROADWORKS AND DRAINAGE PLAN.
 - REFER DRAWING 0172-DWG-BOTWT02-CI-0004 FOR CATCHMENT PLAN.
 - REFER DRAWING 0172-DWG-BOTWT02-CI-0005 & CI-0022 FOR ROAD LONGITUDINAL SECTIONS.
 - REFER DRAWING 0172-DWG-BOTWT02-CI-0009 & CI 0024 FOR VEHICLE TURNING PATH.

SITE PLAN
SCALE 1 : 500



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B	ISSUED FOR 100% DESIGN	05.11.24	PH
A	ISSUED FOR PRELIMINARY DESIGN	14.08.24	PH
Rev.No.	Amendment	Date	Authorised

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Scale	1:500
Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN		DATE		REVIEW		DATE	
Drawn	Y. MARTINEZ	GANDEN	14.08.24	Checked	P.HUDSON	GANDEN	14.08.24
Designed	Y. MARTINEZ	GANDEN	14.08.24	Approved	P.HUDSON	P.HUDSON	14.08.24

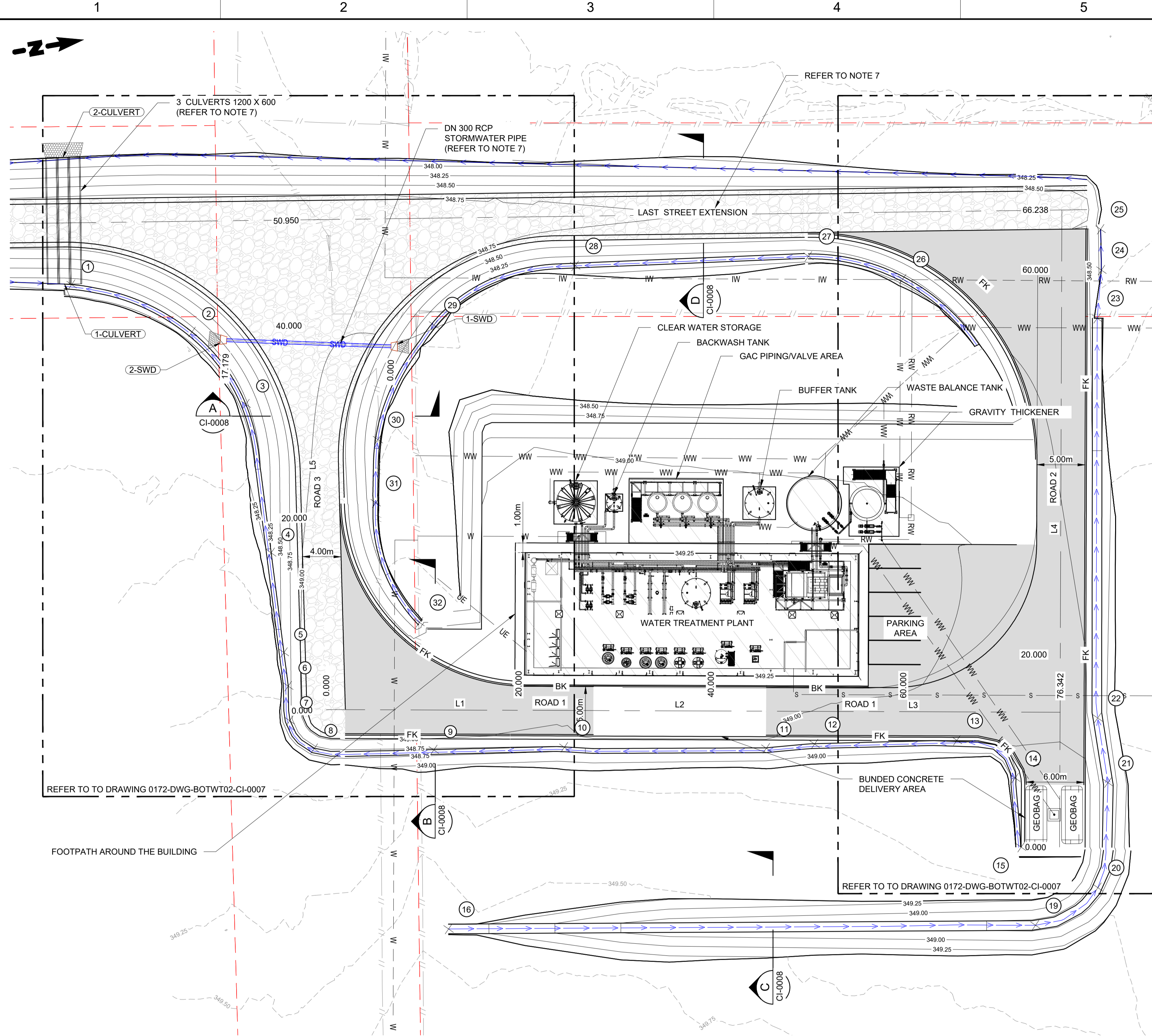
Drawing Issue

FOR REVIEW

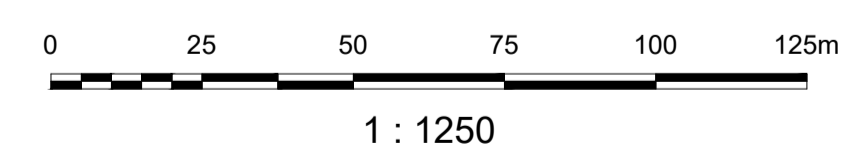
BOTWT02 - BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
BULK EARTHWORKS PLAN

0172-DWG-BOTWT02-CI-0001

Sheet Number	Revision
	B



SITE PLAN
SCALE 1 : 250



CENTERLINE SETOUT ROAD 1

TAG	CHAINAGE	EASTING	NORTHING	LENGTH	RADIUS	BEARING
L1	BP 0.000 EP 27.778	499369.302 499374.363	5307870.263 5307897.576	27.778		010° 29' 58"
L2	BP 27.778 EP 45.778	499374.363 499377.644	5307897.576 5307915.274	18.000		010° 29' 58"
L3	BP 45.778 EP 76.342	499377.644 499383.213	5307915.274 5307945.327	30.565		010° 29' 59"

CENTERLINE SETOUT ROAD 2

TAG	CHAINAGE	EASTING	NORTHING	LENGTH	RADIUS	BEARING
L4	BP 0.000 EP 66.238	499396.993 499331.864	5307942.758 5307954.829	66.238		280° 29' 59"

CENTERLINE SETOUT ROAD 3

TAG	CHAINAGE	EASTING	NORTHING	LENGTH	RADIUS	BEARING
L5	BP 0.000 EP 50.950	499369.302 499318.935	5307870.263 5307877.951	50.950		278° 40' 41"

SWALE SETOUT TABLE

POINT NO	EASTINGS	NORTHING	RL DESIGN SURFACE
1	499321.100	5307852.117	347.838
2	499328.182	5307863.550	347.892
3	499336.575	5307867.722	347.949
4	499352.248	5307867.554	348.263
5	499362.684	5307867.005	348.573
6	499366.197	5307866.820	348.677
7	499369.764	5307866.324	348.684
8	499373.074	5307868.312	348.693
9	499375.429	5307880.525	348.718
10	499377.585	5307893.939	348.746
11	499381.431	5307914.586	348.788
12	499381.905	5307919.603	348.798
13	499384.173	5307934.232	348.812
14	499389.107	5307939.494	349.000
15	499396.288	5307938.826	349.166
16	499394.016	5307878.714	349.653
19	499404.541	5307938.841	348.728
20	499401.857	5307945.918	348.696
21	499391.301	5307948.906	348.649
22	499384.500	5307949.053	348.620
23	499343.602	5307956.426	348.411
24	499338.751	5307957.756	348.185
25	499334.565	5307958.433	348.188
26	499335.976	5307937.250	348.195
27	499331.901	5307928.030	348.157
28	499328.539	5307903.988	348.076
29	499331.969	5307888.446	348.013
30	499342.653	5307880.572	348.232
31	499349.063	5307879.179	348.348
32	499362.115	5307881.425	348.616

LEGEND

- EXISTING FENCE
- EXISTING CONTOURS
- NEW SURFACE CONTOURS
- ROAD CONTROL LINES
- RP BOUNDARY
- SWALE DRAIN
- NEW RAW WATER
- RAW WATER BY OTHERS
- NEW IRRIGATION SUPPLY WATER
- IRRIGATION SUPPLY WATER BY OTHERS
- NEW TREATED WATER
- TREATED WATER BY OTHERS
- NEW STORMWATER
- NEW ELECTRICAL
- NEW SEWER
- NEW WASTE WATER
- NEW FLUSH KERB
- NEW BARRIER KERB
- NEW STRUCTURES
- NEW ROAD PAVEMENT TYPE 1
- NEW ROAD GRAVEL TYPE 2

- NOTES**
- REFER TO DRAWING 0172-DWG-BOTWT02-CI-0001 FOR BULK EARTHWORKS PLAN.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0002 FOR BULK EARTHWORKS SITE SECTIONS.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0004 FOR CATCHMENTS PLAN.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0005 FOR ROAD 1, ROAD 2 & ROAD 3 LONGITUDINAL SECTIONS.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0006 FOR ROAD 1, ROAD 2 & ROAD 3 CROSS SECTIONS.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0007 FOR ROADWORKS SETOUT.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0008 FOR ROADWORKS AND DRAINAGE DETAILS.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0009 & CI-0024 FOR VEHICLE TURNING PATH.
 - REFER TO DRAWING 0172-DWG-BOTWT02-CI-0021 FOR LAST ST EXTENSION ROADWORKS AND DRAINAGE PLAN.

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Rev.No.	Amendment	Date	Authorised
B	ISSUED FOR 100% DESIGN	05.11.24	PH
A	ISSUED FOR PRELIMINARY DESIGN	14.08.24	PH

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Scale	1:250
Datum	AHD (TAS.)
Sheet Size	A1

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Drawn Y. MARTINEZ GANDEN	14.08.24	Checked P. HUDSON GANDEN	14.08.24
Designed Y. MARTINEZ GANDEN	14.08.24	Approved P. HUDSON P. HUDSON	14.08.24

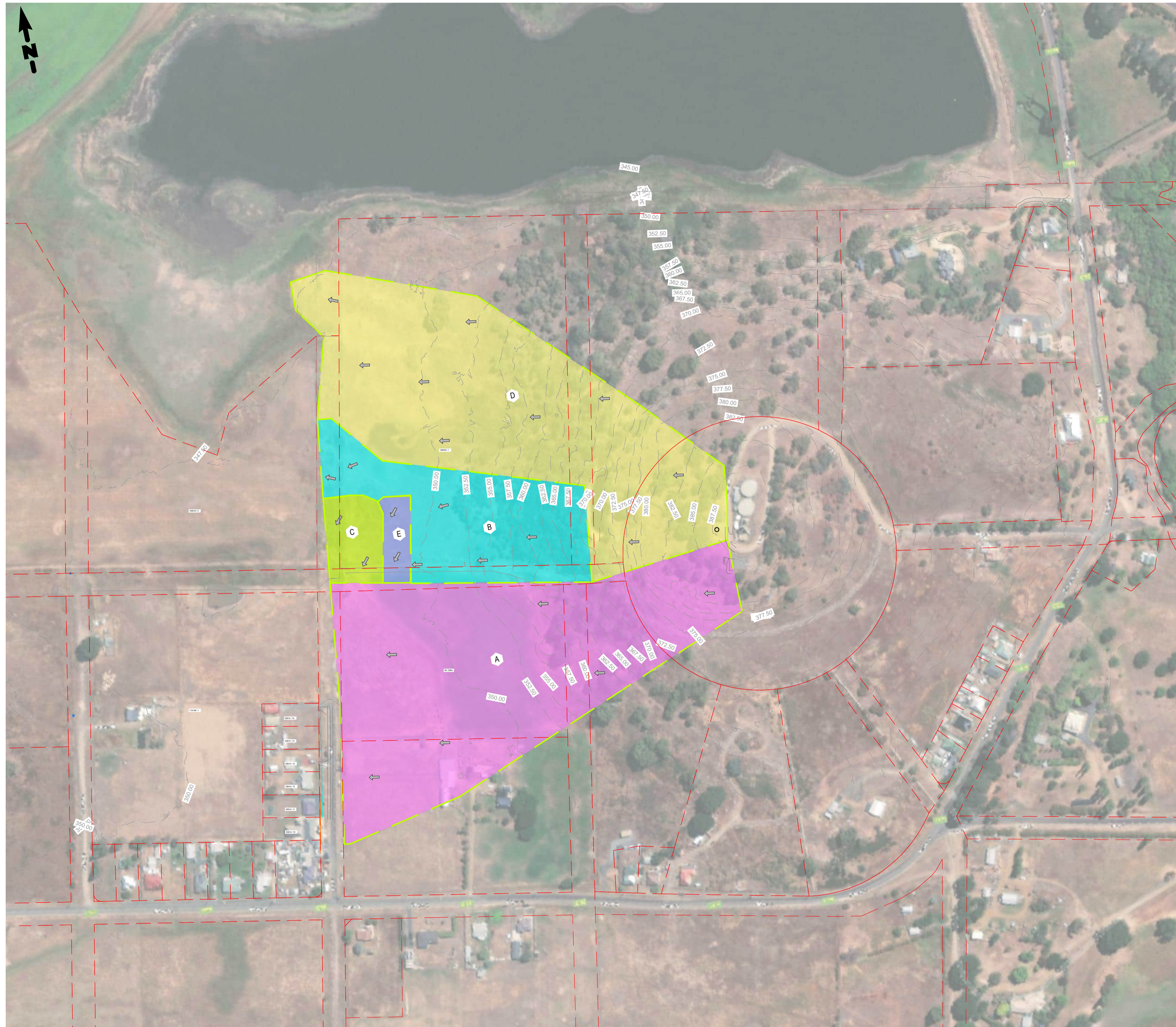
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Drawing Issue
FOR REVIEW

BOTWT02 - BOTHWELL
WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
ROADWORKS AND DRAINAGE PLAN

0172-DWG-BOTWT02-CI-0003

Sheet Number	Revision
	B



SITE PLAN
SCALE 1 : 2000

STORMWATER CATCHMENTS LEGEND AND TABLE

← DIRECTION OF OVERLAND FLOW

--- CATCHMENT BOUNDARY

CATCHMENT A

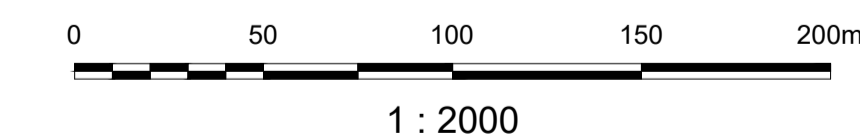
CATCHMENT B

CATCHMENT C

CATCHMENT C

CATCHMENT E

CATCHMENT TABLE	
CATCHMENT	AREA (Ha)
A	5.1709
B	1.8602
C	0.3736
D	4.9995
E	0.1889



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Rev.No.	Amendment	Date	Authorised
A	ISSUED FOR 100% DESIGN	21.10.24	PH

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Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN		REVIEW	
Drawn	DATE	Checked	DATE
Designed		Approved	

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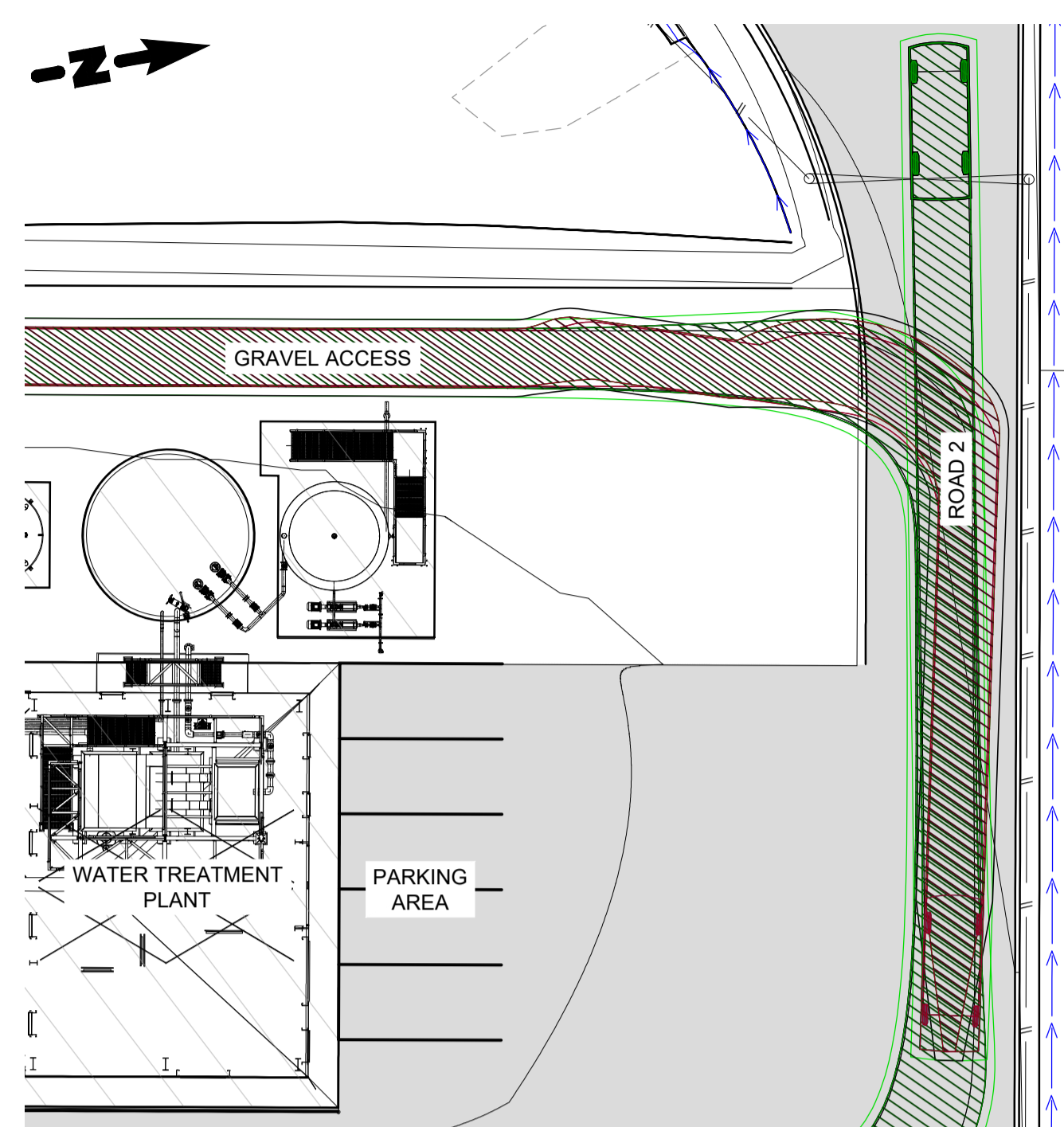
Drawing Issue

FOR REVIEW

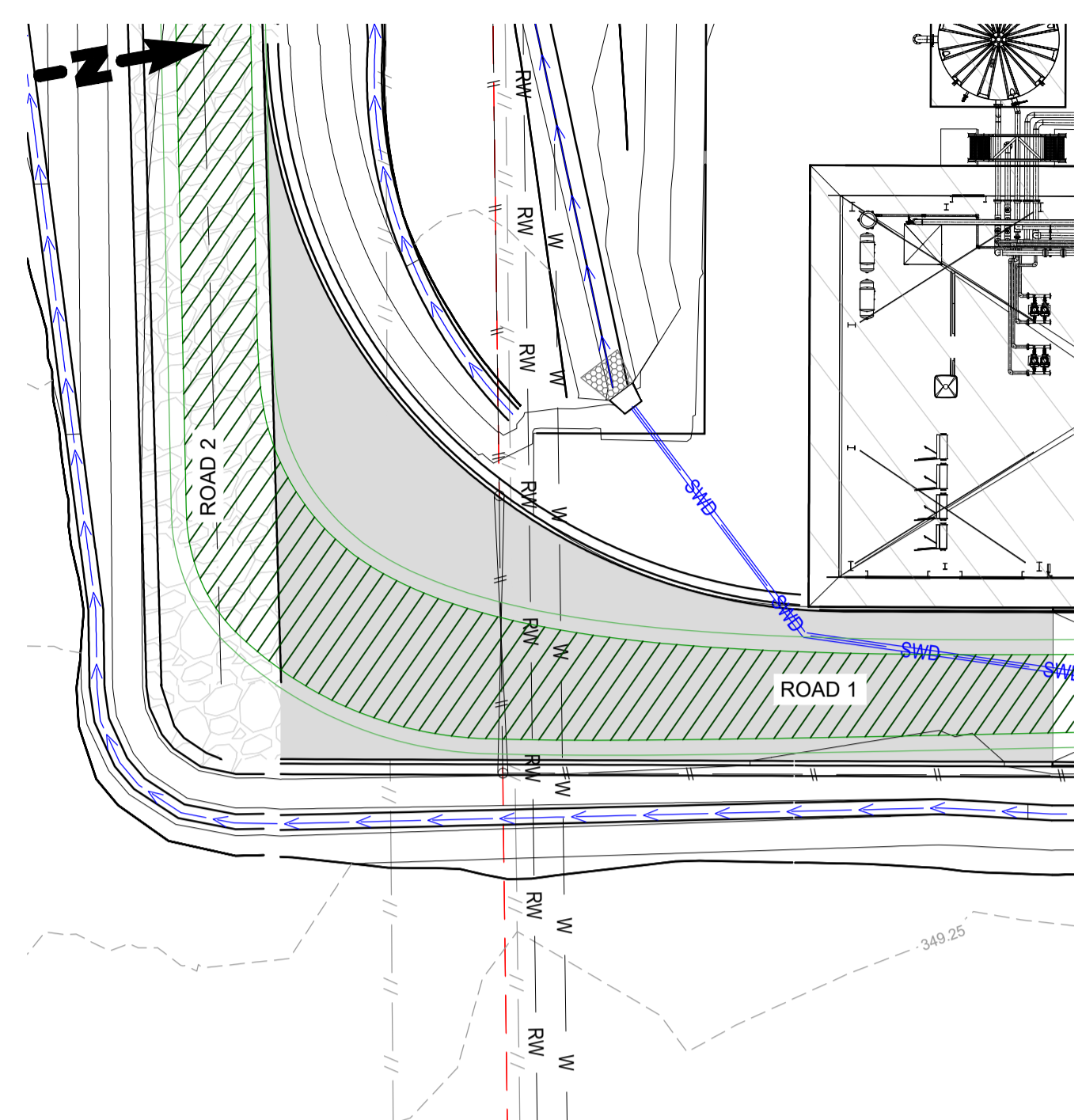
BOTWT02 - BOTHWELL WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
CATCHMENT PLAN

0172-DWG-BOTWT02-CI-0004

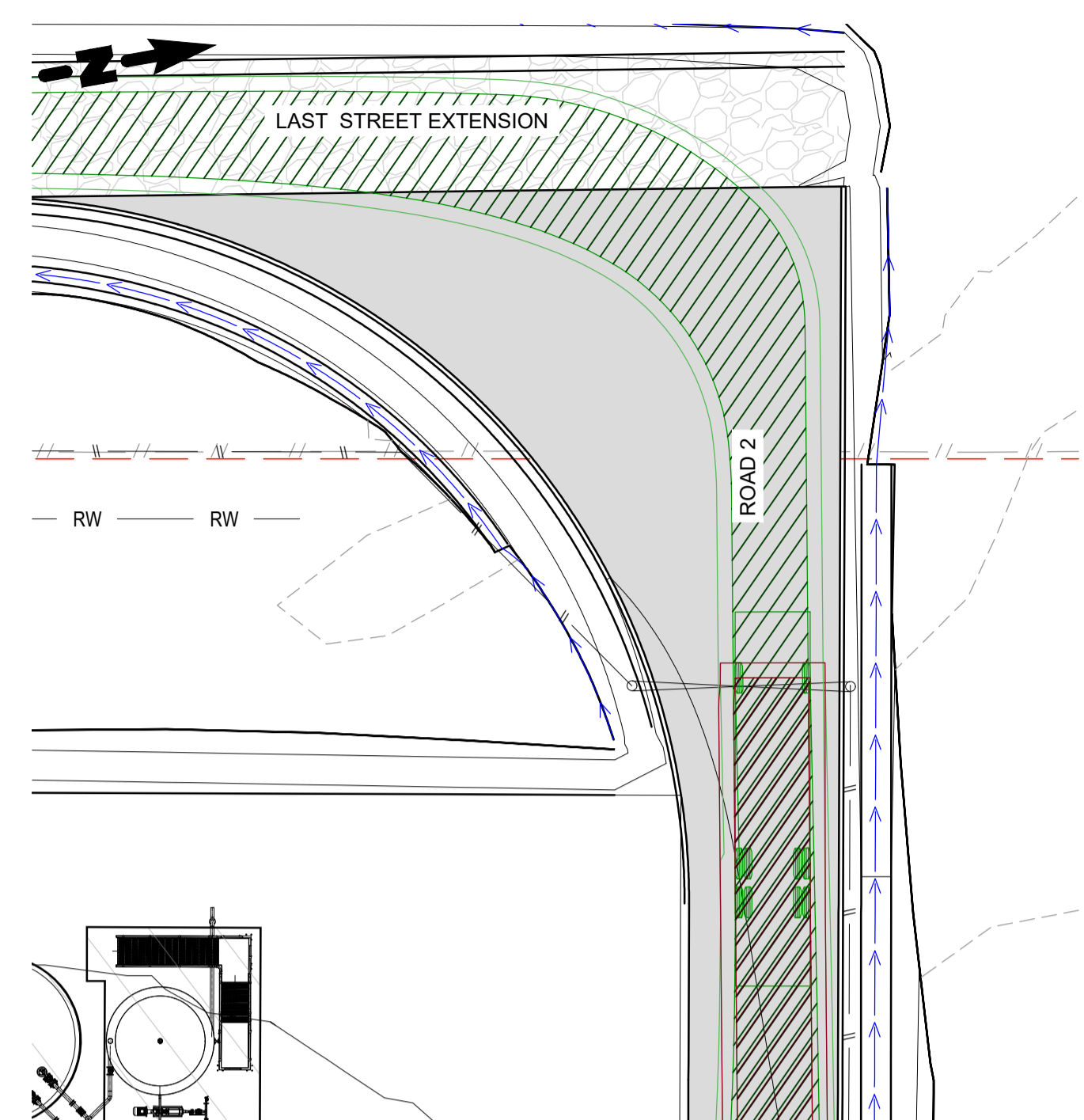
Sheet Number	Revision
	A



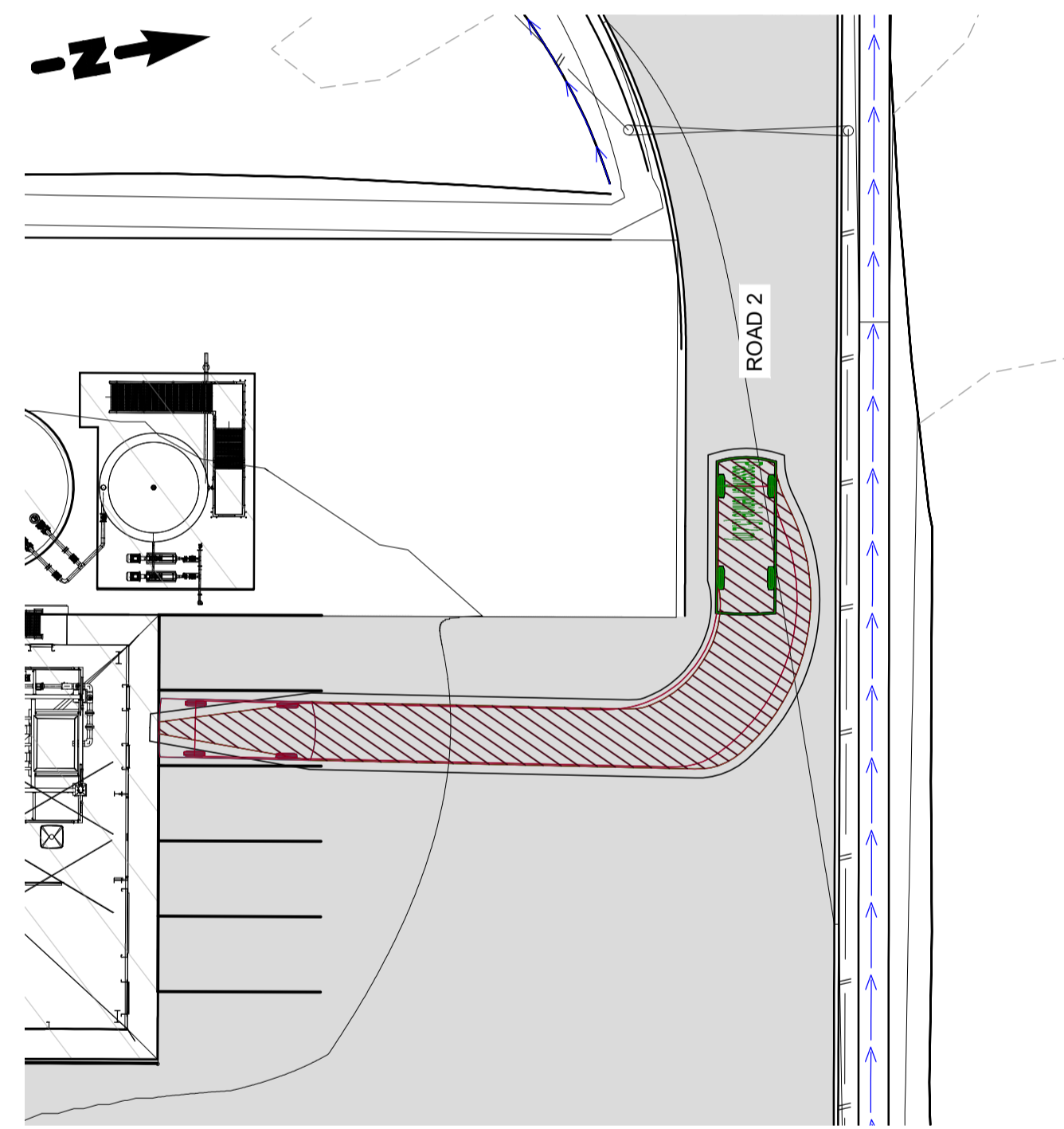
5.2m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



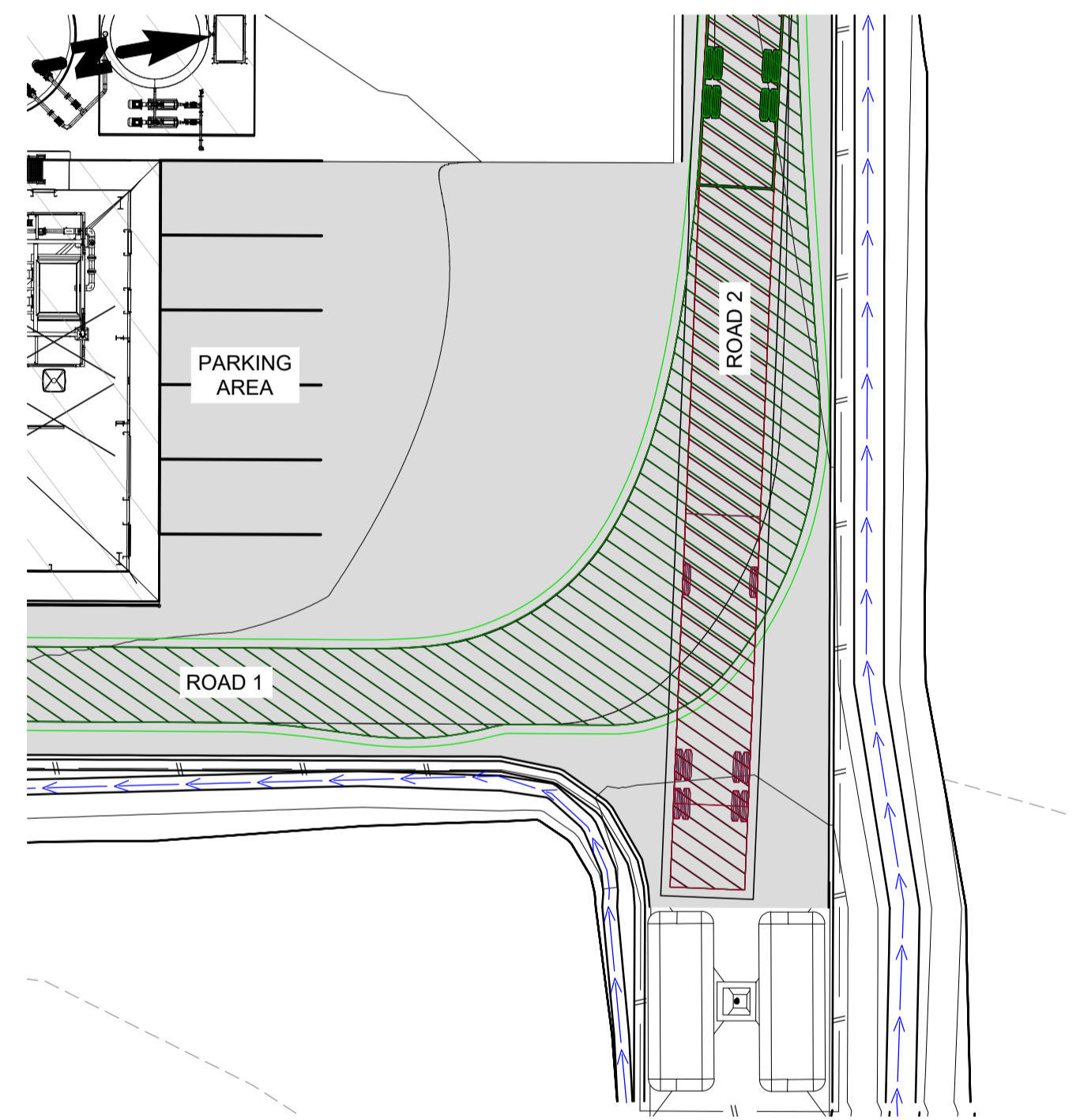
12.5m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



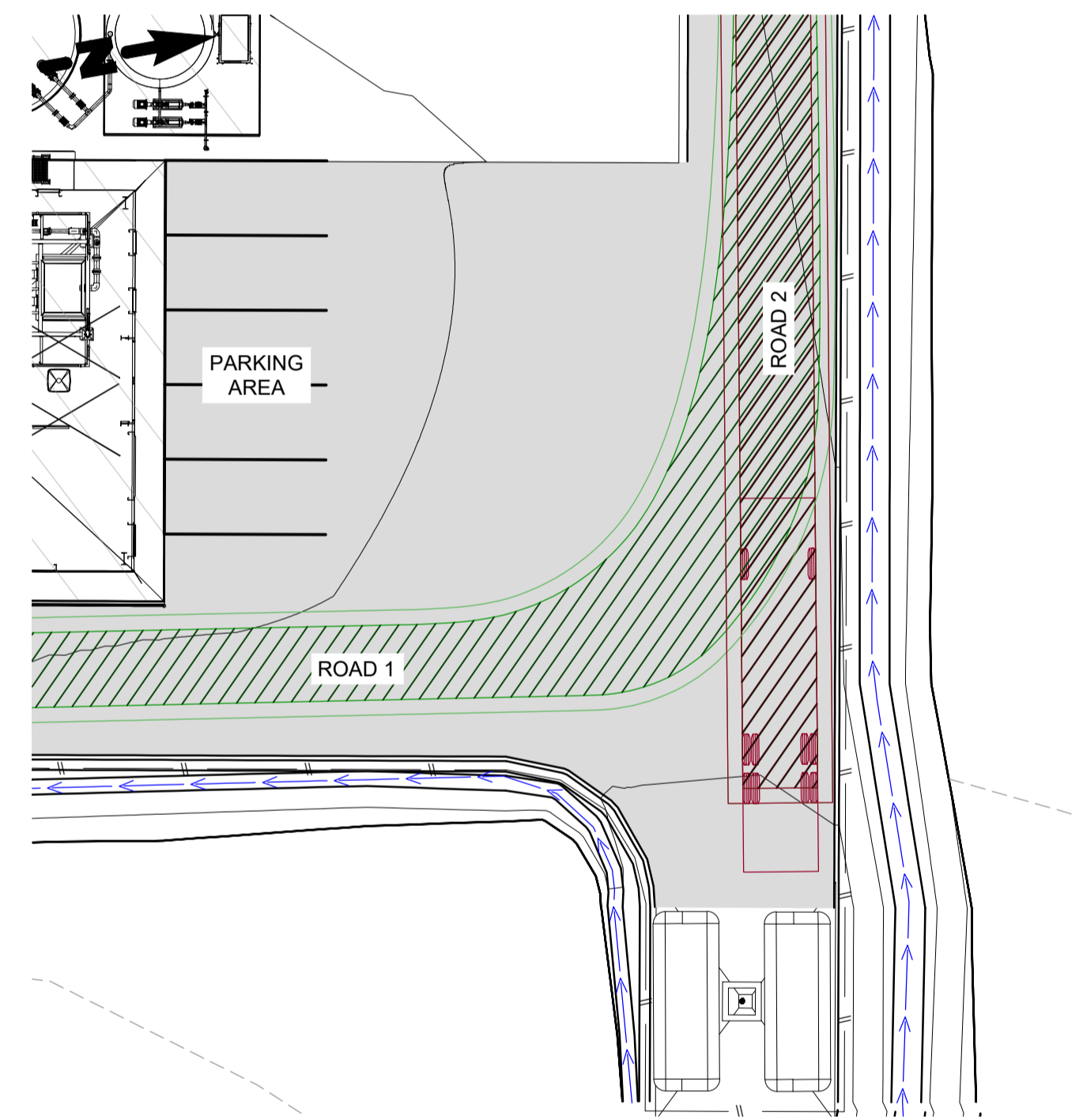
12.5m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



5.2m VEHICLE PARKING PLAN
SCALE 1 : 200



12.5m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



12.5m VEHICLE TURNING PATH PLAN
SCALE 1 : 200

LEGEND

	EXISTING FENCE
	EXISTING CONTOURS
	NEW SURFACE CONTOURS
	ROAD CONTROL LINES
	RP BOUNDARY
	SWALE DRAIN
	NEW STORMWATER
	NEW STRUCTURES
	NEW ROAD PAVEMENT TYPE 1
	NEW ROAD GRAVEL TYPE 2

12.5m VEHICLE

SERVICE VEHICLE (12.5m)

OVERALL LENGTH	12.500m
OVERALL WIDTH	2.500m
OVERALL BODY HEIGHT	4.300m
MIN BODY GROUND CLEARANCE	0.49m
TRACK WIDTH	2.500m
LOCK-TO-LOCK TIME	6.00s
KERB TO KERB TURNING RADIUS	15.000m

5.2m VEHICLE

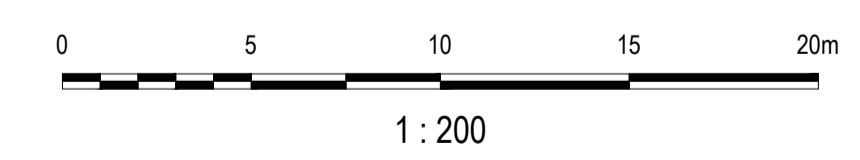
SERVICE VEHICLE (5.2m)

OVERALL LENGTH	5.200m
OVERALL WIDTH	1.940m
OVERALL BODY HEIGHT	1.804m
MIN BODY GROUND CLEARANCE	0.295m
TRACK WIDTH	1.840m
LOCK-TO-LOCK TIME	4.00s
KERB TO KERB TURNING RADIUS	6.300m

VEHICLE MANOEUVRE LEGEND

	FORWARD MANOEUVRE
	REVERSE MANOEUVRE

- NOTES**
- REFER DRAWING 0172-DWG-BOTWT02-CI-0001 FOR BULK EARTHWORKS PLAN.
 - REFER DRAWING 0172-DWG-BOTWT02-CI-0002 FOR BULK EARTHWORKS SITE SECTIONS.
 - REFER DRAWING 0172-DWG-BOTWT02-CI-0003 & CI-0021 FOR ROADWORKS DRAINAGE PLAN.
 - REFER DRAWING 0172-DWG-BOTWT02-CI-0005 & CI-0022 FOR LONGITUDINAL SECTIONS.



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Rev.No.	Amendment	Date	Authorised
B	ISSUED FOR 100% DESIGN	05.11.24	PH
A	ISSUED FOR PRELIMINARY DESIGN	14.08.24	PH

TasWater
Capital Delivery Office

TASMANIAN WATER & SEWERAGE CORPORATION PTY LTD
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Scale	1:200
Datum	AHD (TAS.)
Sheet Size	A1
References	

DESIGN		DATE		REVIEW		DATE	
Drawn	Y. MARTINEZ	GANDEN	14.08.24	Checked	P.HUDSON	GANDEN	14.08.24
Designed	Y. MARTINEZ	GANDEN	14.08.24	Approved	P.HUDSON	P.HUDSON	14.08.24

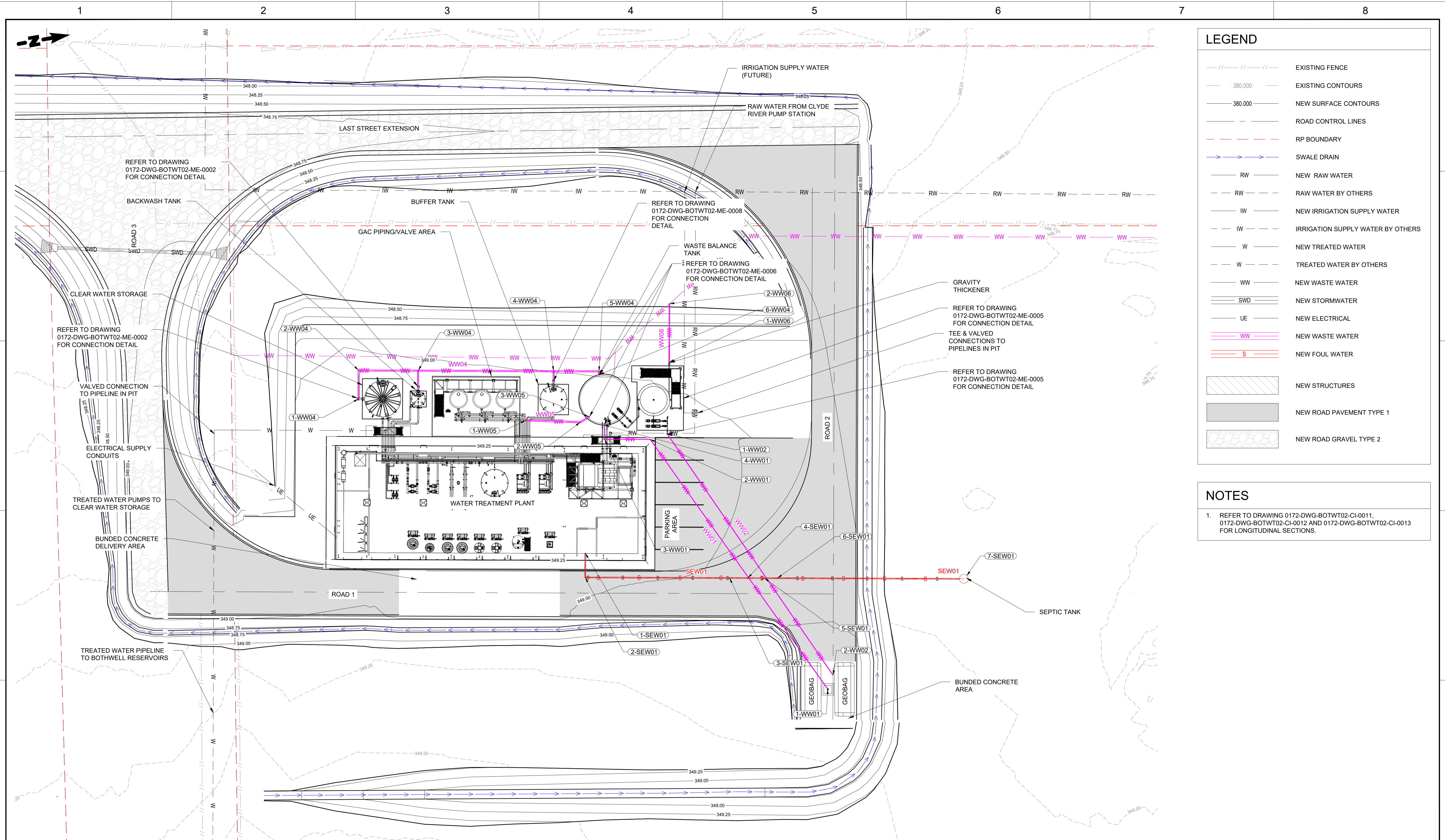
Drawing Issue
FOR REVIEW

BOTWT02 - BOTHWELL WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
VEHICLE TURNING PATH

0172-DWG-BOTWT02-CI-0009

Sheet Number	Revision
	B

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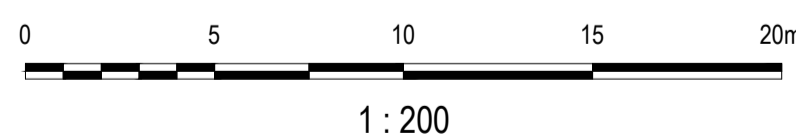


LEGEND

- EXISTING FENCE
- EXISTING CONTOURS
- NEW SURFACE CONTOURS
- ROAD CONTROL LINES
- RP BOUNDARY
- SWALE DRAIN
- NEW RAW WATER
- RAW WATER BY OTHERS
- NEW IRRIGATION SUPPLY WATER
- IRRIGATION SUPPLY WATER BY OTHERS
- NEW TREATED WATER
- TREATED WATER BY OTHERS
- NEW WASTE WATER
- NEW STORMWATER
- NEW ELECTRICAL
- NEW WASTE WATER
- NEW FOUL WATER
- NEW STRUCTURES
- NEW ROAD PAVEMENT TYPE 1
- NEW ROAD GRAVEL TYPE 2

NOTES

- REFER TO DRAWING 0172-DWG-BOTWT02-CI-0011, 0172-DWG-BOTWT02-CI-0012 AND 0172-DWG-BOTWT02-CI-0013 FOR LONGITUDINAL SECTIONS.



LAYOUT PLAN
SCALE 1 : 200

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A	ISSUED FOR 100% DESIGN	05.11.24	PH
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Sheet Size	A1
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Designed	M. GUARNIZO	GANDEN	05.11.24	Approved	P.HUDSON

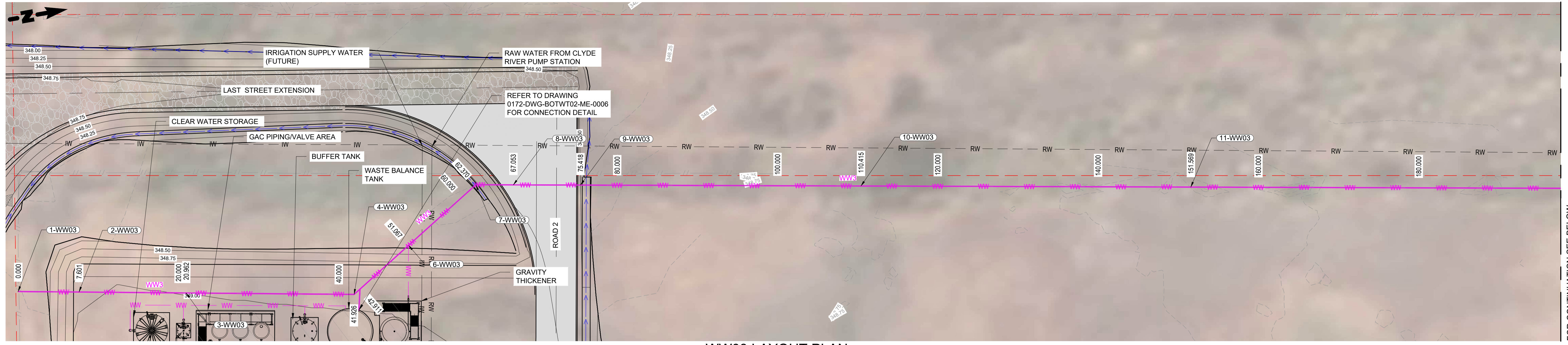
FOR REVIEW

BOTWT02 - BOTHWELL
WATER TREATMENT PLANT
 0172 - REGIONAL TOWNS STAGE 4
WASTE WATER 01, 02, 04, 05, 06 & SEWER LAYOUT PLAN

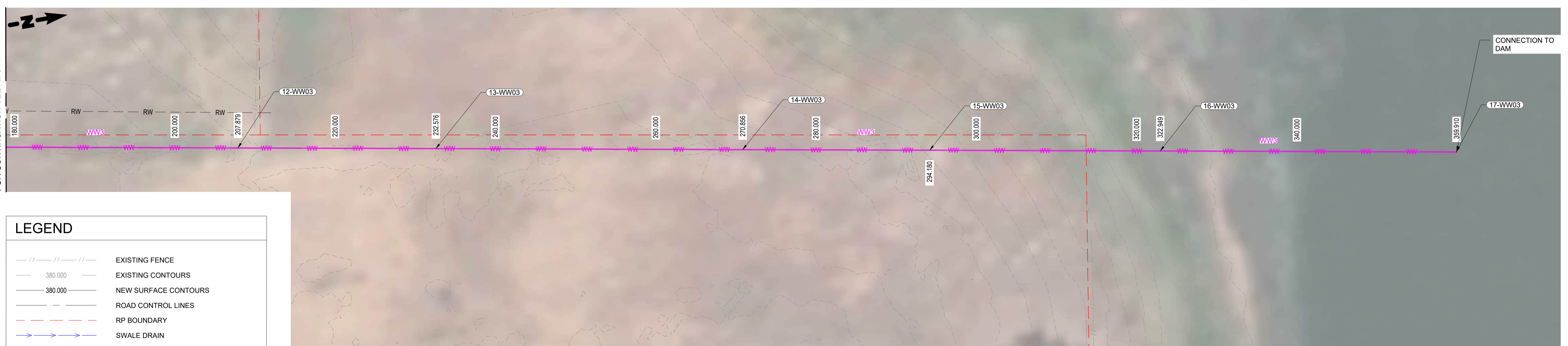
0172-DWG-BOTWT02-CI-0010

Sheet Number	Revision
A	1

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WW03 LAYOUT PLAN
SCALE 1 : 250



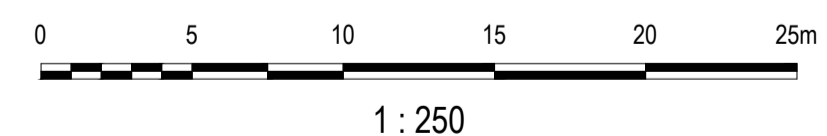
WW03 LAYOUT PLAN
SCALE 1 : 250

LEGEND

	EXISTING FENCE
	EXISTING CONTOURS
	NEW SURFACE CONTOURS
	ROAD CONTROL LINES
	RP BOUNDARY
	SWALE DRAIN
	NEW RAW WATER
	RAW WATER BY OTHERS
	NEW IRRIGATION SUPPLY WATER
	IRRIGATION SUPPLY WATER BY OTHERS
	NEW TREATED WATER
	TREATED WATER BY OTHERS
	NEW WASTE WATER
	NEW STORMWATER
	NEW ELECTRICAL
	NEW WASTE WATER
	NEW STRUCTURES
	NEW ROAD PAVEMENT TYPE 1
	NEW ROAD GRAVEL TYPE 2

NOTES

1. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0015 AND 0172-DWG-BOTWT02-CI-0016 FOR LONGITUDINAL SECTIONS.



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A	ISSUED FOR 100% DESIGN	06.11.24	PH

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Designed	M. GUARNIZO	GANDEN	05.11.24	Approved	P.HUDSON	P.HUDSON	05.11.24

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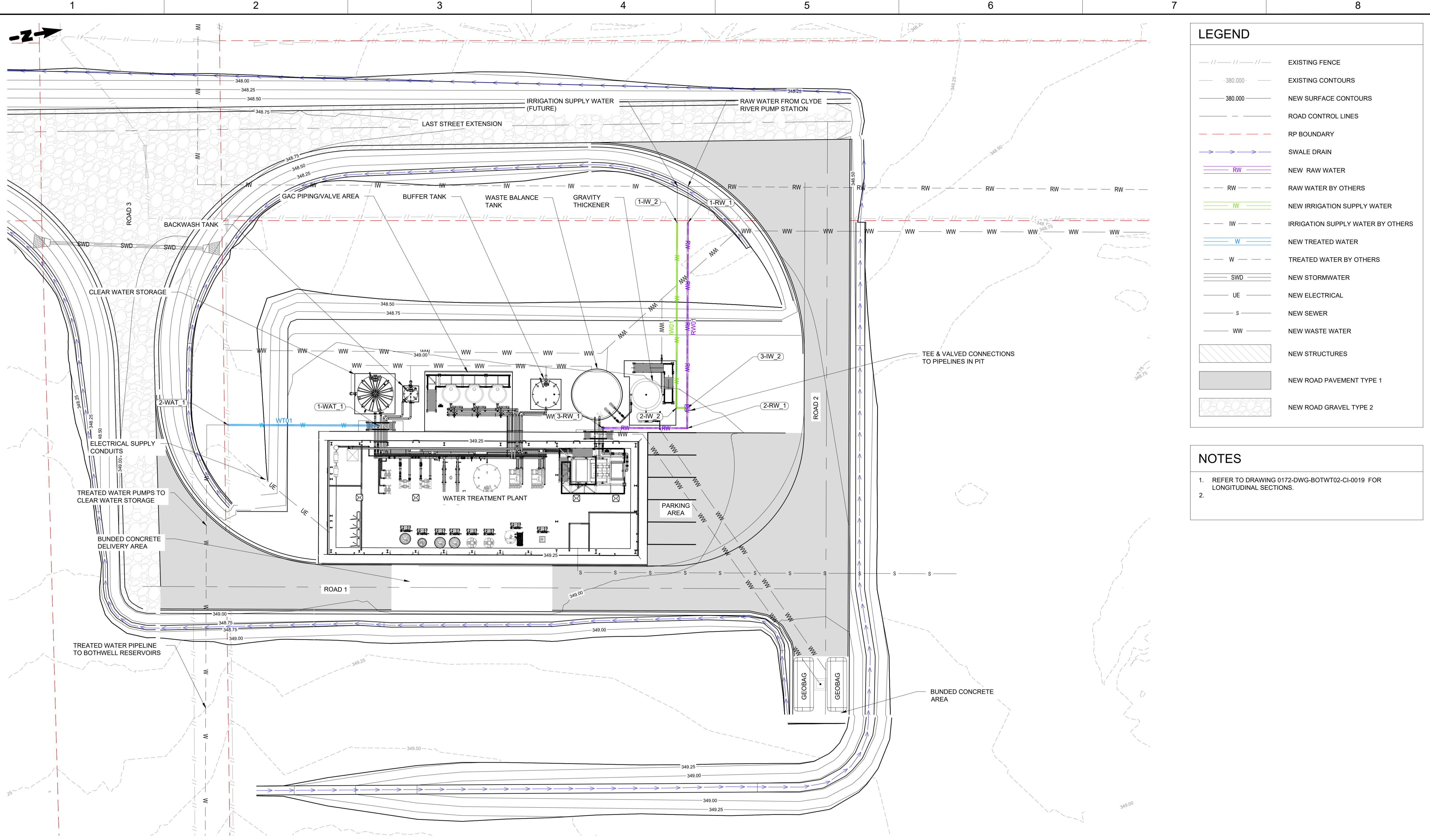
Drawing Issue

FOR REVIEW

BOTWT02 - BOTHWELL WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
WASTE WATER 03 LAYOUT PLAN

0172-DWG-BOTWT02-CI-0014

Sheet Number	Revision
	A



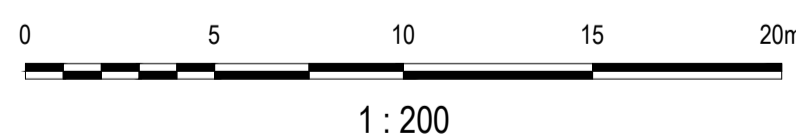
LEGEND

- EXISTING FENCE
- EXISTING CONTOURS
- NEW SURFACE CONTOURS
- ROAD CONTROL LINES
- RP BOUNDARY
- SWALE DRAIN
- NEW RAW WATER
- RAW WATER BY OTHERS
- NEW IRRIGATION SUPPLY WATER
- IRRIGATION SUPPLY WATER BY OTHERS
- NEW TREATED WATER
- TREATED WATER BY OTHERS
- NEW STORMWATER
- NEW ELECTRICAL
- NEW SEWER
- NEW WASTE WATER
- NEW STRUCTURES
- NEW ROAD PAVEMENT TYPE 1
- NEW ROAD GRAVEL TYPE 2

NOTES

- REFER TO DRAWING 0172-DWG-BOTWT02-CI-0019 FOR LONGITUDINAL SECTIONS.
-

LAYOUT PLAN
SCALE 1 : 200



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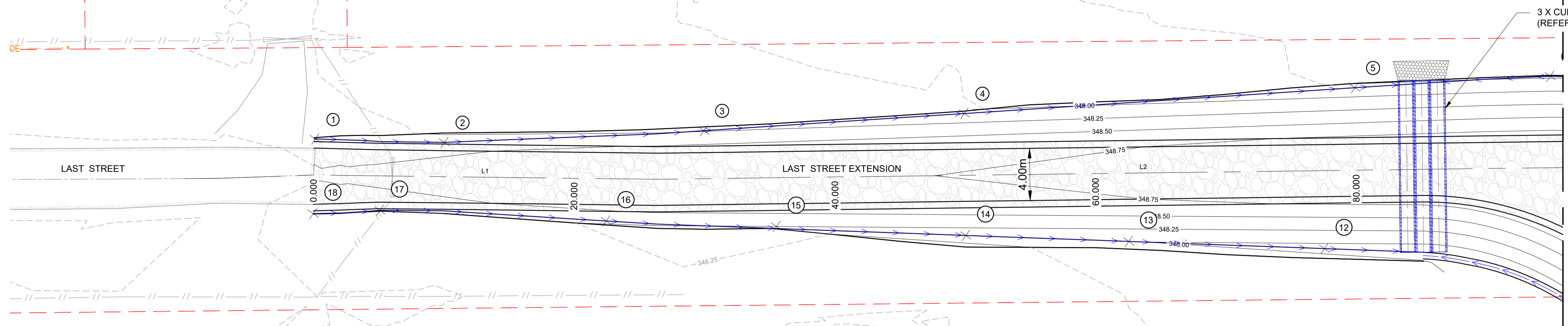
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FOR REVIEW

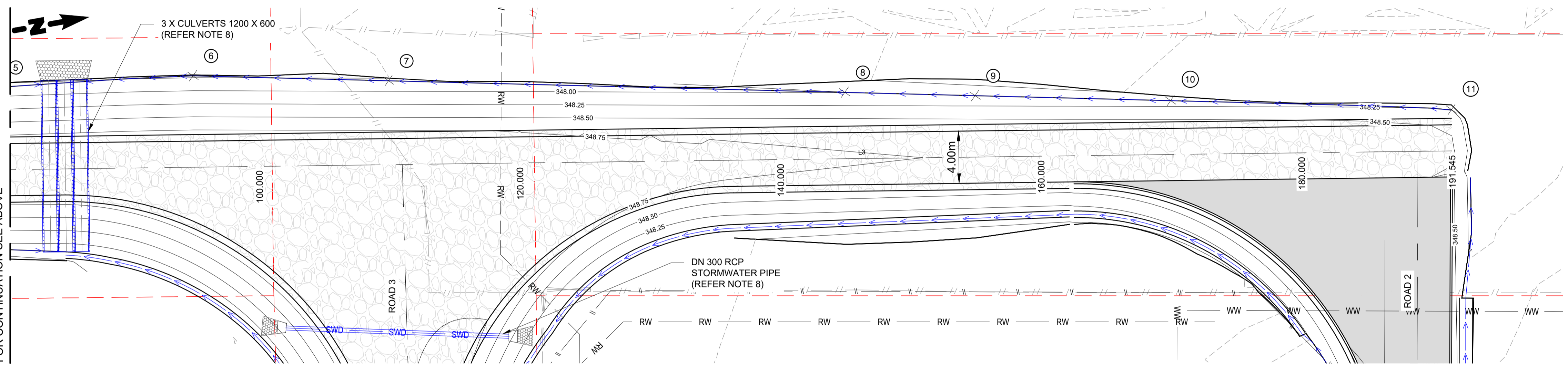
BOTWT02 - BOTHWELL
 WATER TREATMENT PLANT
 0172 - REGIONAL TOWNS STAGE 4
 IRRIGATION, RAW & TREATMENT WATER LAYOUT PLAN

0172-DWG-BOTWT02-CI-0018

Drawing Number	Revision
	A



SITE PLAN
SCALE 1 : 200



SITE PLAN
SCALE 1 : 200

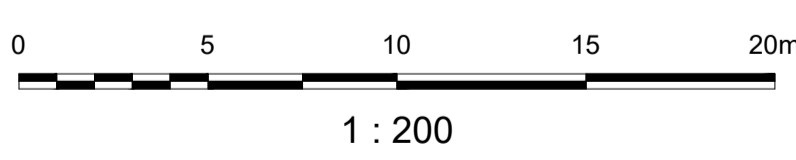
LEGEND

- EXISTING FENCE
- 380.000 EXISTING CONTOURS
- 380.000 NEW SURFACE CONTOURS
- ROAD CONTROL LINES
- RP BOUNDARY
- SWALE DRAIN
- RW NEW RAW WATER
- RW RAW WATER BY OTHERS
- IW NEW IRRIGATION SUPPLY WATER
- IW IRRIGATION SUPPLY WATER BY OTHERS
- W NEW TREATED WATER
- W TREATED WATER BY OTHERS
- SWD NEW STORMWATER
- UE NEW ELECTRICAL
- S NEW SEWER
- WW NEW WASTE WATER
- NEW FENCE
- NEW STRUCTURES
- NEW ROAD PAVEMENT TYPE 1
- NEW ROAD GRAVEL TYPE 2

- ### NOTES
1. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0001 FOR BULK EARTHWORKS PLAN.
 2. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0002 FOR BULK EARTHWORKS SITE SECTIONS.
 3. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0003 FOR ROAD 1, ROAD 2 & ROAD 3 ROADWORKS AND DRAINAGE PLAN.
 4. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0004 FOR CATCHMENTS PLAN.
 5. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0005 & CI-0022 FOR LONGITUDINAL SECTIONS.
 6. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0006 & CI-0023 CROSS SECTIONS.
 7. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0007 FOR ROADWORKS SETOUT.
 8. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0008 FOR ROADWORKS AND DRAINAGE DETAILS.
 9. REFER TO DRAWING 0172-DWG-BOTWT02-CI-0009 & CI-0024 FOR VEHICLE TURNING PATH.

CENTERLINE SETOUT Last St Extension						
TAG		CHAINAGE	EASTING	NORTHING	LENGTH	BEARING
L1	BP	-0.135	499299.850	5307768.503	26.521	010° 59' 26"
	EP	26.386	499304.907	5307794.537		
L2	BP	26.386	499304.907	5307794.537	74.599	009° 32' 49"
	EP	100.985	499317.279	5307868.103		
L3	BP	100.985	499317.279	5307868.103	90.560	009° 32' 49"
	EP	191.545	499332.299	5307957.409		

SWALE SETOUT TABLE			
POINT NO	EASTINGS	NORTHING	RL DESIGN SURFACE
1	499297.173	5307769.260	348.481
2	499299.204	5307778.953	348.400
3	499301.876	5307798.712	348.236
4	499304.152	5307818.610	348.072
5	499307.566	5307848.457	347.826
6	499309.375	5307863.363	347.714
7	499312.428	5307878.060	347.798
8	499319.559	5307912.353	347.996
9	499321.596	5307922.150	348.052
10	499324.652	5307936.847	348.137
11	499329.180	5307957.933	348.250
12	499319.279	5307843.952	347.899
13	499316.056	5307829.283	348.011
14	499313.370	5307817.059	348.104
15	499310.098	5307802.883	348.250
16	499307.349	5307790.104	348.308
17	499303.446	5307773.150	348.437
18	499302.776	5307768.072	348.475



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Datum	AHD (TAS.)
Sheet Size	A1
References	

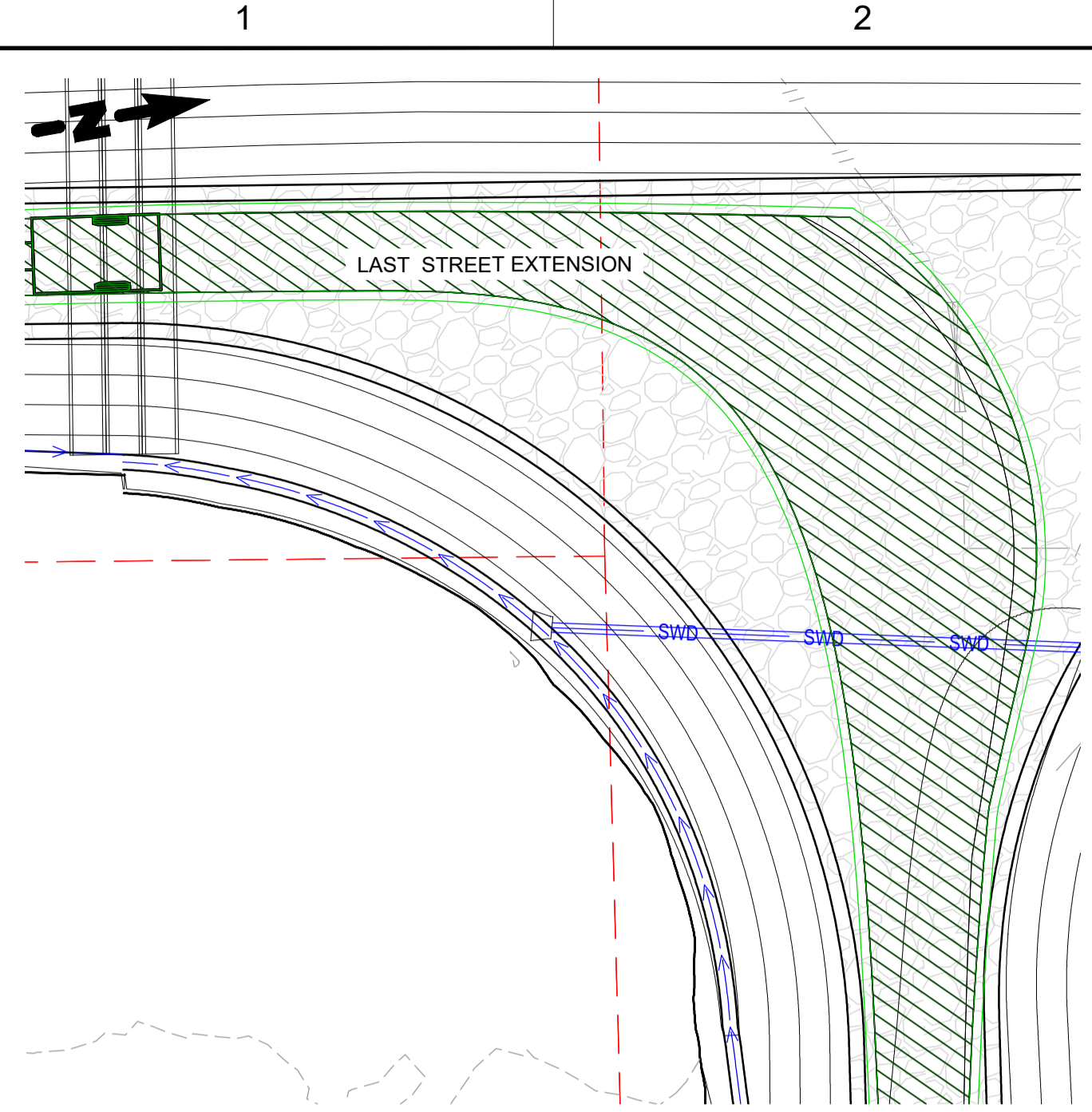
DESIGN		DATE		REVIEW		DATE	
Drawn	Y. MARTINEZ	GANDEN	14.08.24	Checked	P.HUDSON	GANDEN	14.08.24
Designed	Y. MARTINEZ	GANDEN	14.08.24	Approved	P.HUDSON	P.HUDSON	14.08.24

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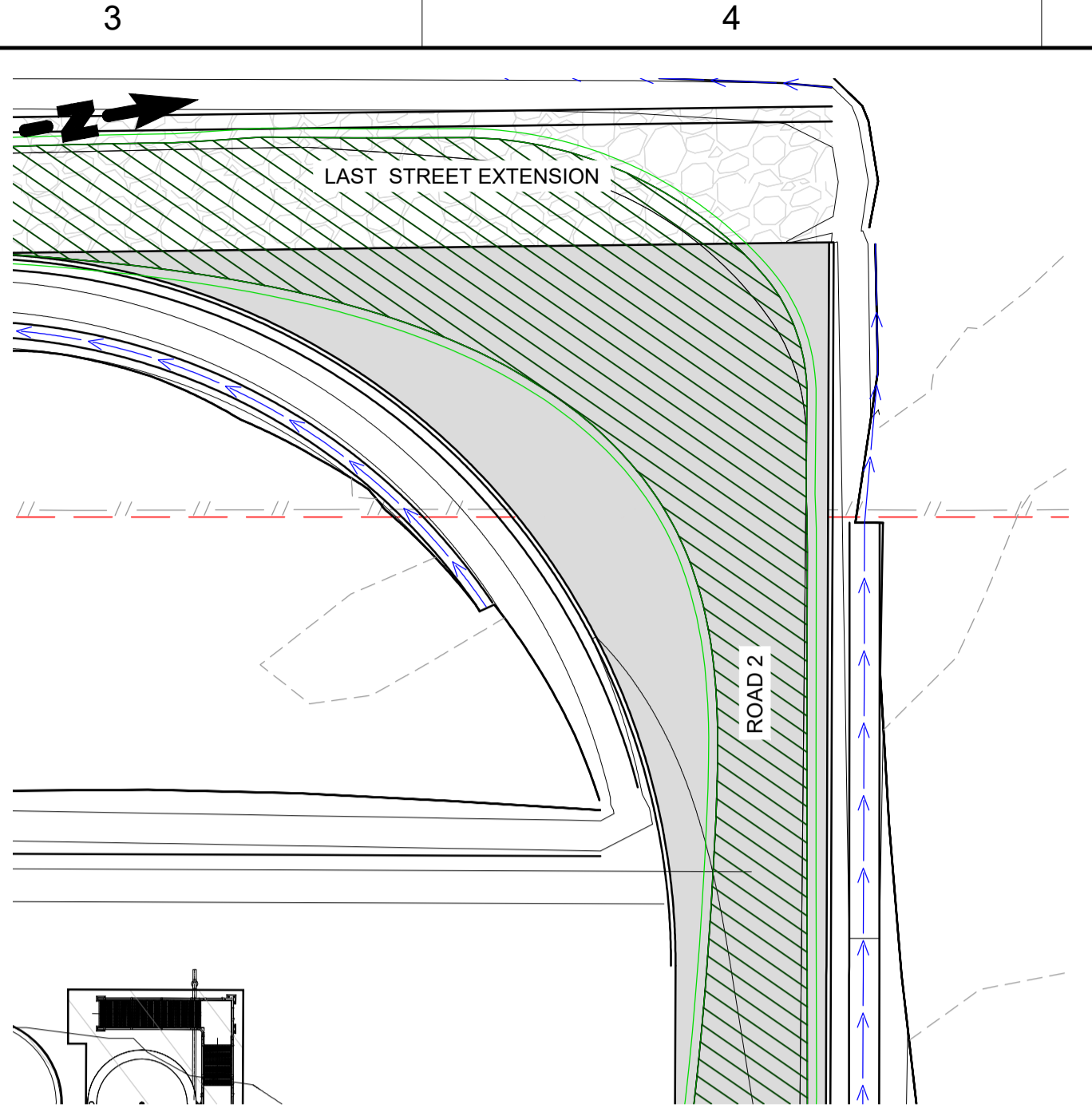
FOR REVIEW

BOTWT02 - BOTHWELL
 WATER TREATMENT PLANT
 0172 - REGIONAL TOWNS STAGE 4
 ROADWORKS AND DRAINAGE PLAN

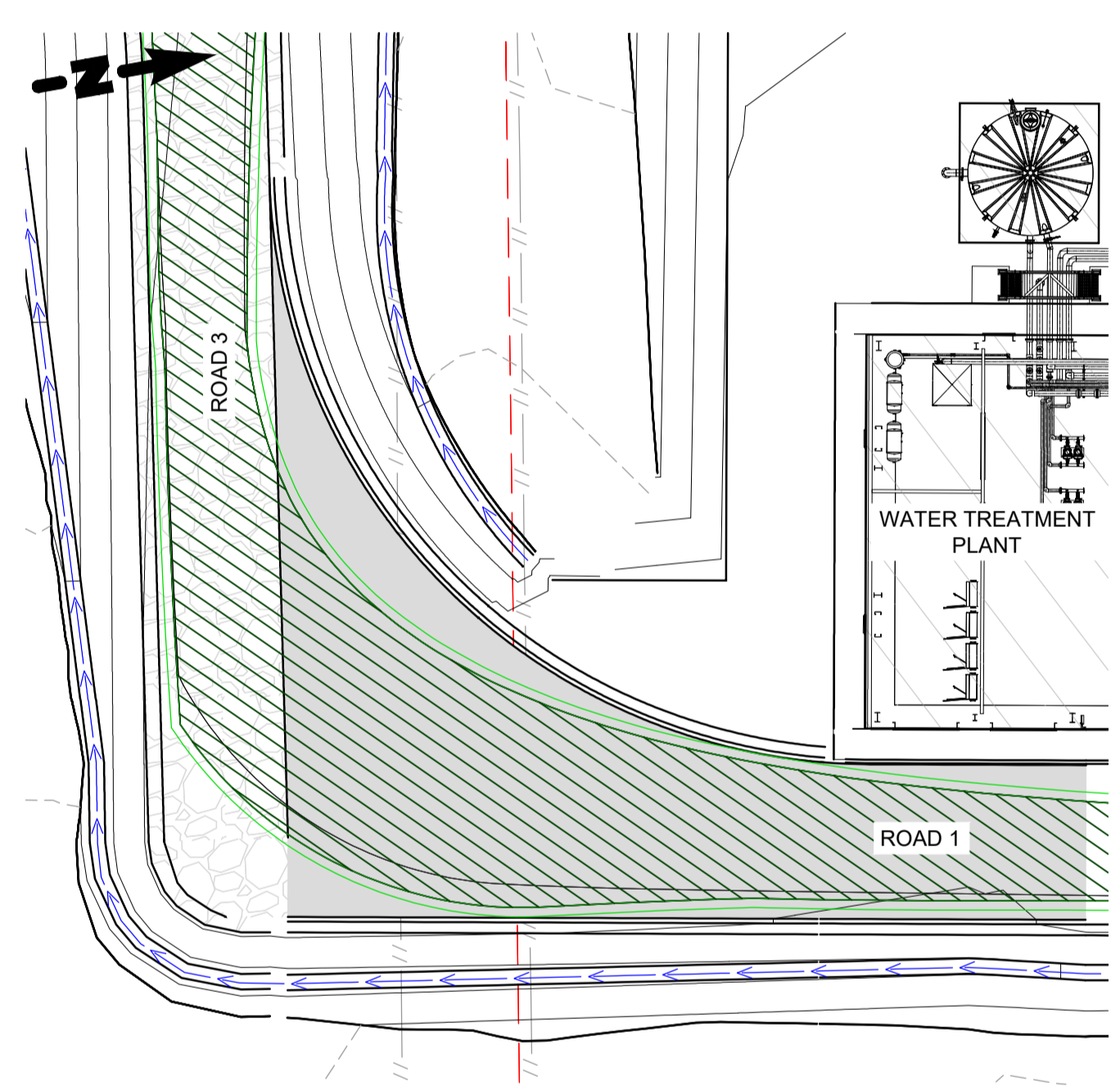
0172-DWG-BOTWT02-CI-0021	Sheet Number	Revision	A
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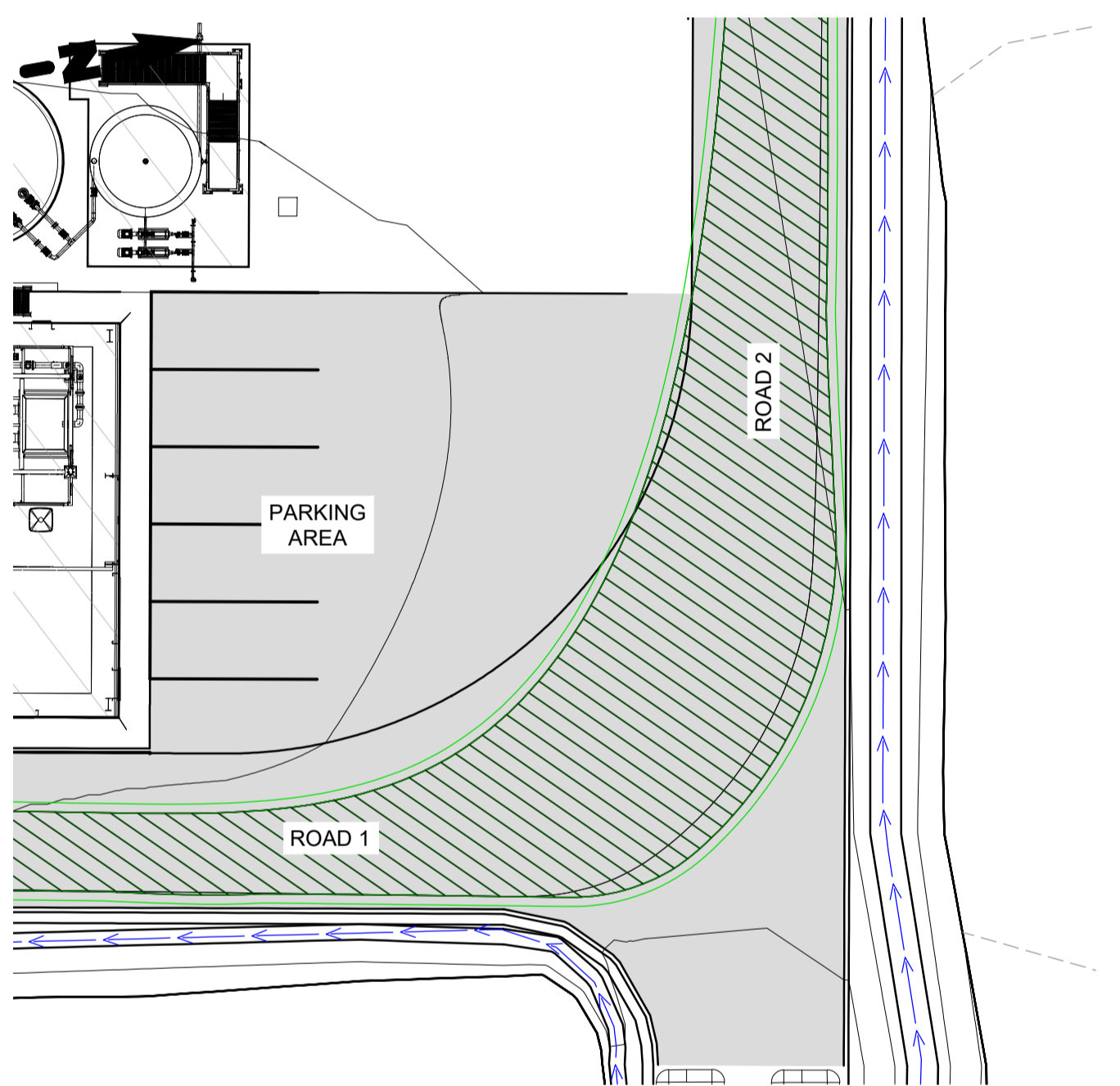
19.0m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



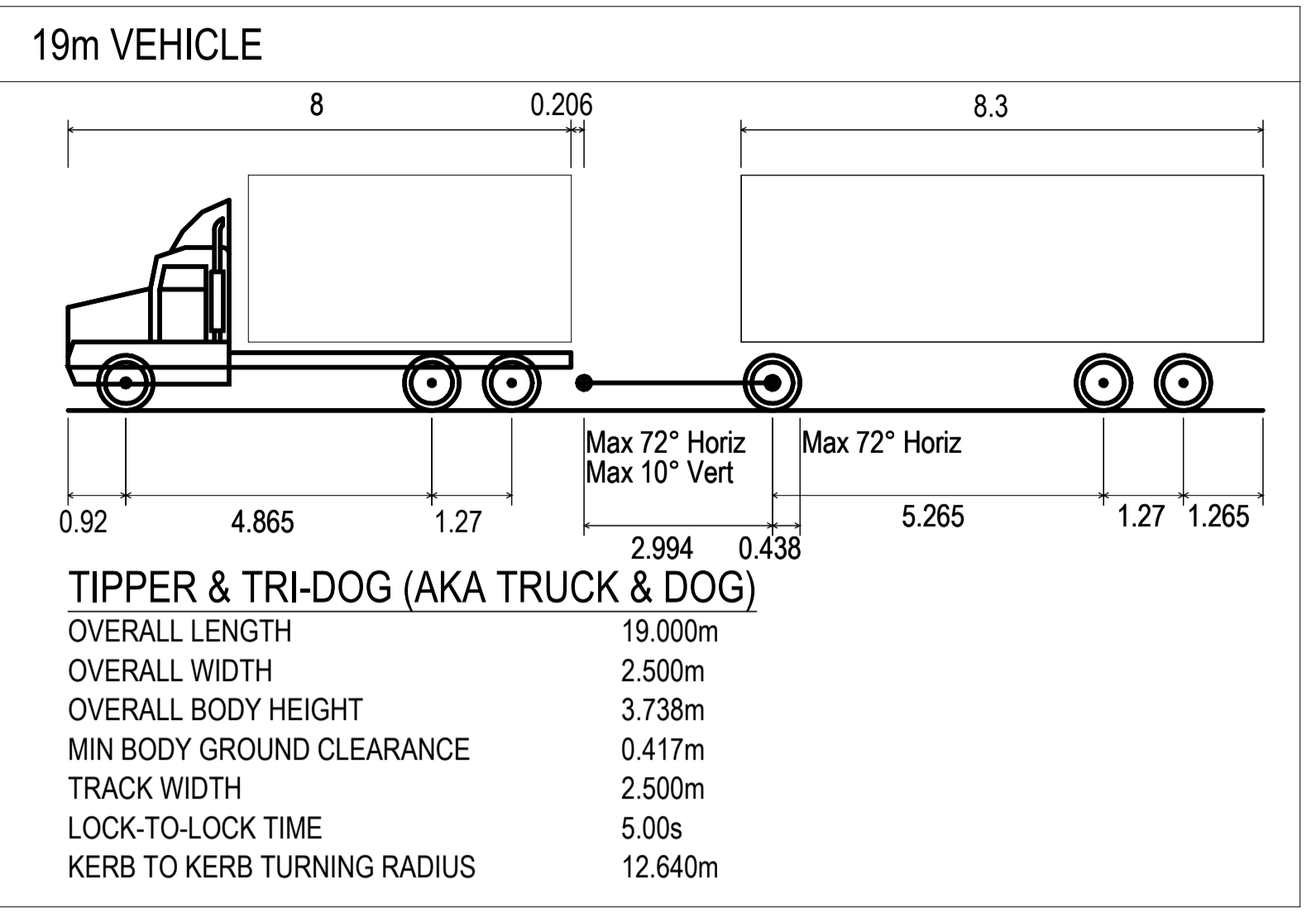
19.0m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



19.0m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



19.0m VEHICLE TURNING PATH PLAN
SCALE 1 : 200



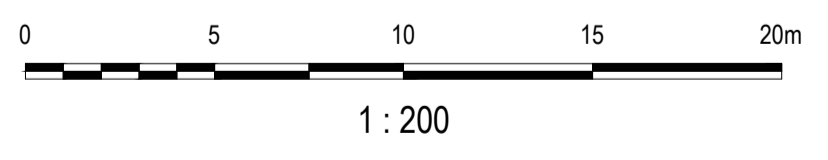
LEGEND

	EXISTING FENCE
	EXISTING CONTOURS
	NEW SURFACE CONTOURS
	ROAD CONTROL LINES
	RP BOUNDARY
	SWALE DRAIN
	NEW STORMWATER
	NEW STRUCTURES
	NEW ROAD PAVEMENT TYPE 1
	NEW ROAD GRAVEL TYPE 2

- NOTES**
1. REFER DRAWING 0172-DWG-BOTWT02-CI-0001 FOR BULK EARTHWORKS PLAN.
 2. REFER DRAWING 0172-DWG-BOTWT02-CI-0002 FOR BULK EARTHWORKS SITE SECTIONS.
 3. REFER DRAWING 0172-DWG-BOTWT02-CI-0003 & CI-0021 FOR ROADWORKS DRAINAGE PLAN.
 4. REFER DRAWING 0172-DWG-BOTWT02-CI-0005 & CI-0022 FOR LONGITUDINAL SECTIONS.

VEHICLE MANOEUVRE LEGEND

	FORWARD MANOEUVRE
	REVERSE MANOEUVRE



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Drawing Issue

FOR REVIEW

BOTWT02 - BOTHWELL WATER TREATMENT PLANT
0172 - REGIONAL TOWNS STAGE 4
VEHICLE TURNING PATH

0172-DWG-BOTWT02-CI-0024

Sheet Number	Revision
	A



APPENDIX C

Landowner Notification Letters



MC Planners Ref: 23082



13th December 2024

D C Pilcher

16 Schaw Street, Bothwell TAS, 7030

Dear Mr Pilcher

NOTIFICATION LETTER - DEVELOPMENT APPLICATION - WATER TREATMENT PLANT, LAST STREET, BOTHWELL.

We advise that MC Planners has been engaged by JMG obo TasWater to make a development application for a Water Treatment Plant at Last Street, Bothwell (CT 136445/1).

Accordingly, we write to notify you of the application, in accordance with our statutory obligations under section 52(1) of the *Land Use Planning and Approvals Act 1993*.

More information will be available from the Central Highlands Council when the application is formally advertised.

Yours faithfully

MC PLANNERS PTY LTD

A handwritten signature in blue ink, appearing to read 'Mat Clark', is enclosed in a thin black rectangular border.

Mat Clark
DIRECTOR/PRINCIPAL PLANNER

MC Planners Ref: 23082



21 January 2025

General Manager
Central Highlands Council
Via email - Planner@centralhighlands.tas.gov.au

Attention: Louisa Brown

Dear Louisa

FURTHER INFORMATION REQUEST - Request for Additional Information Development Application DA2024/66 Proposed Water Treatment Plant & Associated Works at land described as Last Street, Bothwell (CT 136445/1)

Thank you for your Request for Further Information under Section 54 of the *Land Use Planning and Approvals Act 1993* (LUPAA) dated 14 January 2025.

1. Existing Facility

1. What is the intention for the existing treatment Plant? Will it be demolished and the site re-instated?

Response: The proposal relates to the existing facility in forming part of a network of water infrastructure. At some time in the future, the majority of the existing Water Treatment Plant site will be demolished, with an additional water storage tank to be constructed over the existing footprint maintaining synergies with this proposal. This will form a separate development application in the future.

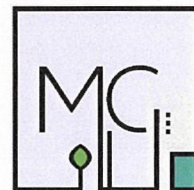
2. Will existing treated water tanks be retained to feed the existing reticulation system?

Response: See above

3. Will there be any new reticulation lines from the new plant to the existing treated water tanks?

Response:

Pipework to connect the proposed and existing facility will be required. This pipework to be installed outside of CT 136445/1 meets the criteria of the prescribed works not to be regarded as development under the *Land use Planning and Approvals Act 1993*, as provided under the *Water and Sewerage Industry Regulations, Regulation 11* 'Prescribed works'.



4. Will the proposed plant generate any noise, if so how will this be managed?

Response:

During the operational phase, the new plant will include noise generating equipment including pumps, air compressors and air blowers.

The major noise generating equipment (air compressors and blowers) will be located within a dedicated room in the new plant building, designed to minimise sound exposure to workers within the main plant building. Most other noise generating process equipment, including the larger plant pumps will be located within the plant building, though some small pumps will be located externally.

The site is approximately 128m from the nearest residence. Noise of pumps at this distance within a building are not considered to contribute to an environmental nuisance.

We trust this meets the requirements of the request. If Council requires any further information or clarification with respect to this application, please contact us at planning@mcplanners.com.au or phone 62887248

Yours faithfully

MC PLANNERS PTY LTD

A handwritten signature in black ink, appearing to read 'Peter Coney'.

Peter Coney
SENIOR PLANNER