



DISCRETIONARY APPLICATION

For Public Display

Applicant:

WP Dexter

Location:

36 High Street, Bothwell

Proposal:

Outbuilding (Carport)

DA Number:

DA 2024/62

Date Advertised:

19 November 2024

Date Representation Period Closes:

03 December 2024

Responsible Officer:

Louisa Brown (Planning Officer)

Viewing Documents:

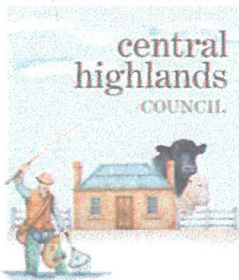
The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

development@centralhighlands.tas.gov.au



Development & Environmental Services
 19 Alexander Street
 BOTHWELL TAS 7030
 Phone: (03) 6259 5503
 Fax: (03) 6259 5722
 www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name

Postal Address **Phone No:** **Fax No:**

Email address

Owner/s Name

(if not Applicant)

Postal Address **Phone No:** **Fax No:**

Email address:

Description of proposed use and/or development:

Address of new use and development:

Certificate of Title No: **Volume No** **Lot No:**

Description of proposed use or development: ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Current use of land and buildings: Eg. Are there any existing buildings on this title? If yes, what is the main building used as?

Proposed Material **What are the proposed external wall colours**

What is the proposed roof colour

What is the proposed new floor area m².

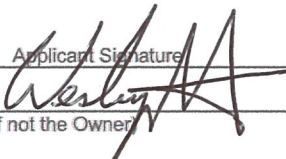
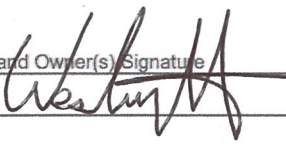
What is the estimated value of all the new work proposed:

Is proposed development to be staged:	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Tick ✓
Is the proposed development located on land previously used as a tip site?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Is the place on the Tasmanian Heritage Register?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Have you sought advice from Heritage Tasmania?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Has a Certificate of Exemption been sought for these works?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

- The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
- In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
- I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature"); ***Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.***

Applicant Signature  (if not the Owner)	Applicant Name (Please print) WESLEY DEXTER	Date 08/11/2024
Land Owner(s) Signature 	Land Owners Name (please print) WESLEY DEXTER	Date 08/11/2024
Land Owner(s) Signature [Empty box]	Land Owners Name (please print) [Empty box]	Date [Empty box]

<p>Information</p> <p>If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick <input checked="" type="checkbox"/> the box</p>	<input type="checkbox"/>
<p>Heritage Tasmania</p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	
<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	
<p>Submission of Application</p> <p>Applications can be submitted in a number of ways as follows:</p> <ul style="list-style-type: none"> • Electronically: Email to development@centralhighlands.tas.gov.au • Post: 19 Alexander Street, BOTHWELL 7030 • In Person: Development & Environmental Services Office, 19 Alexander Street, Bothwell 7030 	

SITE PLAN NEW CARPORT

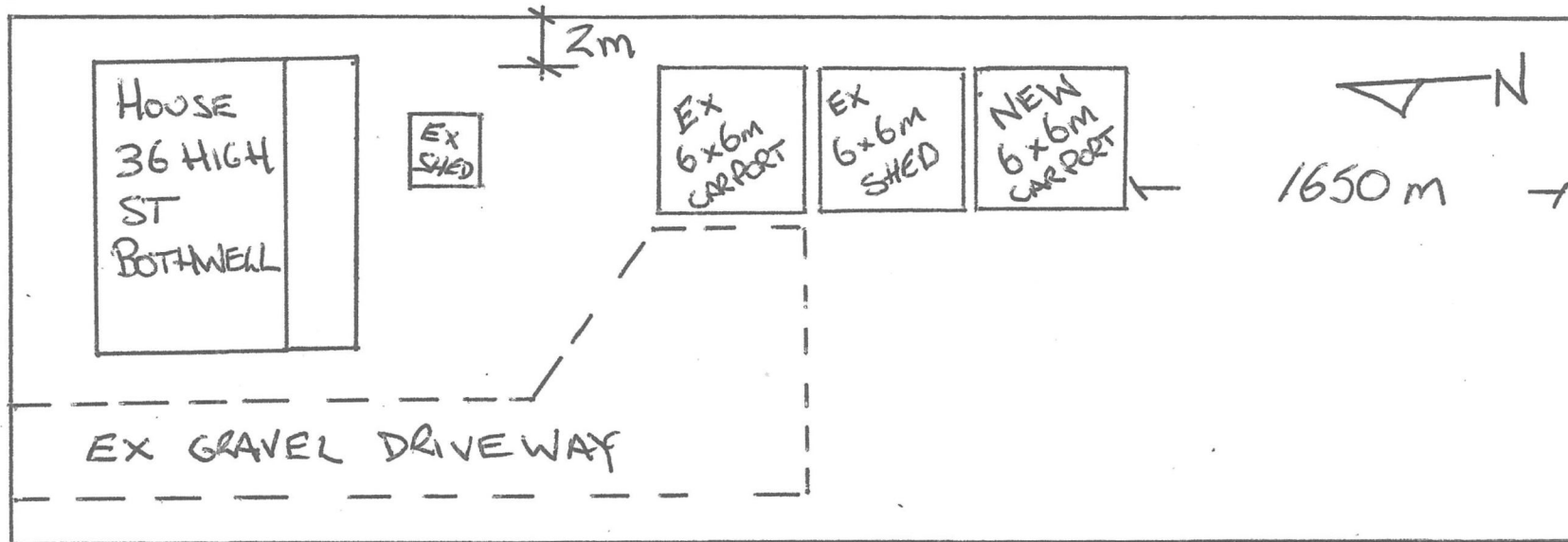
36 HIGH ST BOTHWELL

CARPORT COLOR

CLASSIC CREAM

**DOWN PIPES TO
EXISTING STORM WATER**

HIGH ST BOTHWELL



DRAWN : W DEXTER DATE 08/11/2024

SCALE 1 : 200

GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

The structure has been designed to allow for less than 50% of the cross-section exposed to the wind under the roof to be blocked by goods or materials in accordance with AS/NZS1170.2 2011. Blocking more than 50% of the cross-section under the roof with goods or materials will change the loads on the structure which have not been allowed for.

ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

*Provision of Soils Report for the site and in the building area on which the building is to be erected

*Site/Drainage Plans

*Any other plans not covered by these engineering plans requested by the local Council or the authority

BUILDING CONSTRUCTION REQUIREMENTS

The Purchaser/Owner is to be ensured that all building construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

SLAB AND/OR PIER DETAILS - GENERAL

* **The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan.** When the slab and piers are poured as one pour, the depth of the pier is to the bottom of the slab.

* Pier Reinforcement: for any piers over 1100mm, deformed bar to within 100mm of base and minimum 75mm top cover. Minimum side cover 75mm, maximum 100mm. Rod to be caged horizontally at least twice and at a maximum of 300mm spacing. Tie with a minimum of 6mm diameter cage tie. Where pier diameter is less than 450mm diameter, use 4 N12. For diameters equal to and over 450mm, use 4 N16.* Second Pour Jointing (refer to construction manual):

1. Surface of first pour must be scabbled.
2. All loose debris must be vacuumed from hole.
3. Apply heavy coat of bondcrete or similar adhesive prior to second pour.

4. Apply suitable protective coating to the embedded portion of the columns.

* Where columns or end wall mullions have been removed, piers are not required.

* End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.

* The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

* Shed design has the columns embedded into the concrete 300mm.

* This measurement is from the top of the finished slab.

* Pier and Slab design covers sites with a minimum of 100kPa safe bearing capacity soil classifications of A, S, M, H1 or H2 for a class 10 building.

* The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.

* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.

* Site conditions different to those specified require a modified design.

* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.

* Designs are in accordance with AS 3600:2009

* All concrete to be in accordance with AS 3600:2009. Minimum 25 Mpa, with 80mm slump.

* Concrete should be cured for 7 days before commencing construction of the building.

Concrete Slab

For Class A, S or M Sites

* Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.

For Class H1 or H2 Sites

* Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.

* Edge beam 400mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.

* Thickening beams 400mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max spacing of 6.2m.

* Shed design has the columns embedded into the concrete 300mm.

* This measurement is from the top of the desired finished level of the building.

* Footing design covers sites with a minimum of 100kPa safe bearing capacity soil classification A, S, M, H1 or H2 for a class 10 building.

* The footing designs have been calculated with adhesion values of 0kPa, 25kPa and 50kPa for clay soils and dense sand soils only.

* A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.

* Site conditions different to those specified require a modified design.

* Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.

* Designs are in accordance with AS 3600:2009

* All concrete to be in accordance with AS 3600:2009. Minimum 25 Mpa, with 80mm slump.

* Piers should be cured for 7 days before commencing construction of the building.

* Refer to connection details.

* Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made.

Concrete Piers Only

BRACING NOTES

* Refer to Connection Details.

* Knee bracing clearance from FFL is X = Main Building: 2.306m (Left Side), 2.034m (Right Side).

* All Cross Bracing is achieved with 1.2mm Strap G450.

* Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.

* All Columns and End Wall Mullions are fixed Column in Concrete.

* Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:

C150 - maximum 1800mm spacing
C200, C250 - maximum 2200mm spacing
C300 - maximum 2800mm spacing
C350 - maximum 2800mm spacing
C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

* Open bays to have fly bracing fitted to every available girt supporting the header sheets.

* All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

BOLTS

* Unless otherwise nominated, all bolts are grade 4.6

* All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.

OTHER MATERIALS NOTES

* All Sheeting, Flashing and framing screws are Climaseal 4.

* All purlin material has Z350 zinc coating with minimum strength of 450MPa.

Purchaser Name: Wesley Dexter		General Notes Page 1 of 1 © Copyright Steelix IP Pty Ltd	Seller: Sheds n Homes Hobart Tasmania Dennis Paul Davidson (sole trader) Phone: (03) 6263 6545 Fax: Email: hobart@shedsnhomes.com.au	TNC ENGINEERING PTY LTD ACN: 610 855 250 ME Aust. (Registered NER Structural & Civil) 2741240 CLD : RPEQ No. 13750; VC : EC44684; TAS : CC6988; N.T. : 225521ES; Practising Professional Structural & Civil Engineers
Site Address: 36 High Street Bothwell TAS 7030 Australia				
Drawing # SHBT200017 - 2	Print Date: 12/02/20			Signature:  R. Nancarrow Date: 12/02/20

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes

Building Dimensions						
Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	6	6	6	2.5	A-B	1-3

Portal Frame Elements				
Grid / Portal Number		1	2	3
Columns	A	2C15012	2C15012	2C15012
	B	2C15012	2C15012	2C15012
Rafters	A-B	C15019	C15019	C15019
Knee Braces	B-A	C15012 @ 1.3m	C15012 @ 1.3m	C15012 @ 1.3m

Bay Section Elements				
Grid / Bay Number		1	2	Maximum
Bay Widths		3	3	
Roof Purlins	A-B	TH64075	TH64075	
Roof Purlin Spacing (End)	A-B	0.997	0.997	1.400
Roof Purlin Spacing (Internal Spans)	A-B	0.997	0.997	1.550
Eave Purlin	A	2C10010	2C10010	
	B	2XC15012	2XC15012	
Side Girts Spacing (End)	A	1.7	1.7	1.700
	B	0.28	0.28	1.700
Side Girts Spacing (Internal)	A	1.7	1.7	1.700
	B	0.28	0.28	1.700

End Bay Section Elements		
Grid / Portal Number		Maximum
End Girts Spacing (End)	A-Z	1.700
	Z-B	1.700
End Girts Spacing (Internal)	A-Z	1.700
	Z-B	1.700

Cladding Elements		
Category	Colour	Product
Roof Sheeting	COLORBOND® steel	TRIMCLAD® 0.42 BMT (0.47TCT)
Roof Flashings	COLORBOND® steel	BlueScope 0.55 BMT
Wall Sheeting	COLORBOND® steel	TRIMCLAD® 0.42 BMT (0.47TCT)
Wall Flashing	COLORBOND® steel	BlueScope 0.55 BMT

		Pier Sizes				
Adhesion (kPa)	Soil Description	Diameter (mm)	Depth - when NO Slab		Depth - with Slab	
			BP1 (mm)	BP2 (mm)	BP1 (mm)	BP2 (mm)
0	Sandy Soil	300	700	700	700	700
		450	700	700	700	700
		600	700	700	700	700
25	Soft to Firm Clay	300	700	700	700	700
		450	700	700	700	700
		600	700	700	700	700
50	Stiff to Very Stiff Clay	300	700	700	700	700
		450	700	700	700	700
		600	700	700	700	700

Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHBT200017 - 4

Print Date: 12/02/20

Specification Sheet

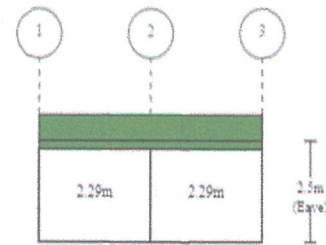
Page 1 of 1
© Copyright SteelsIP Pty Ltd

Seller: Sheds n Homes Hobart Tasmania
Dennis Paul Davidson (sole trader)
Phone: (03) 6263 6545
Fax:
Email: hobart@shedsnhomes.com.au

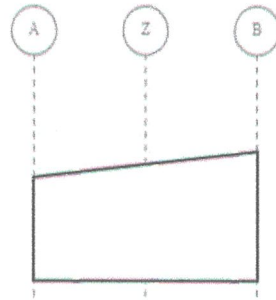
TNC ENGINEERING PTY LTD
ACN: 610 855 260
ME Aust. (Registered NER Structural & Civil) 2741240
QLD : RPEQ No. 13750; VIC : EC44684; TAS : CC6968; N.T. : 225621ES;
Practising Professional Structural & Civil Engineers

Signature:  R. Nancarrow

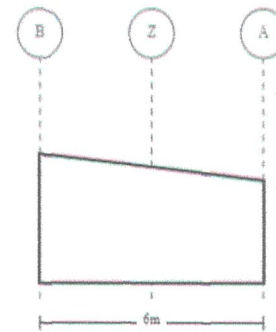
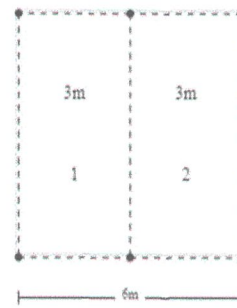
Date: 12/02/20



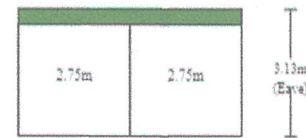
Left Side



Left End



Right End



Right Side

Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHBT200017 - 3

Print Date: 12/02/20

Layout
Not to Scale
© Copyright SteelxIP Pty Ltd

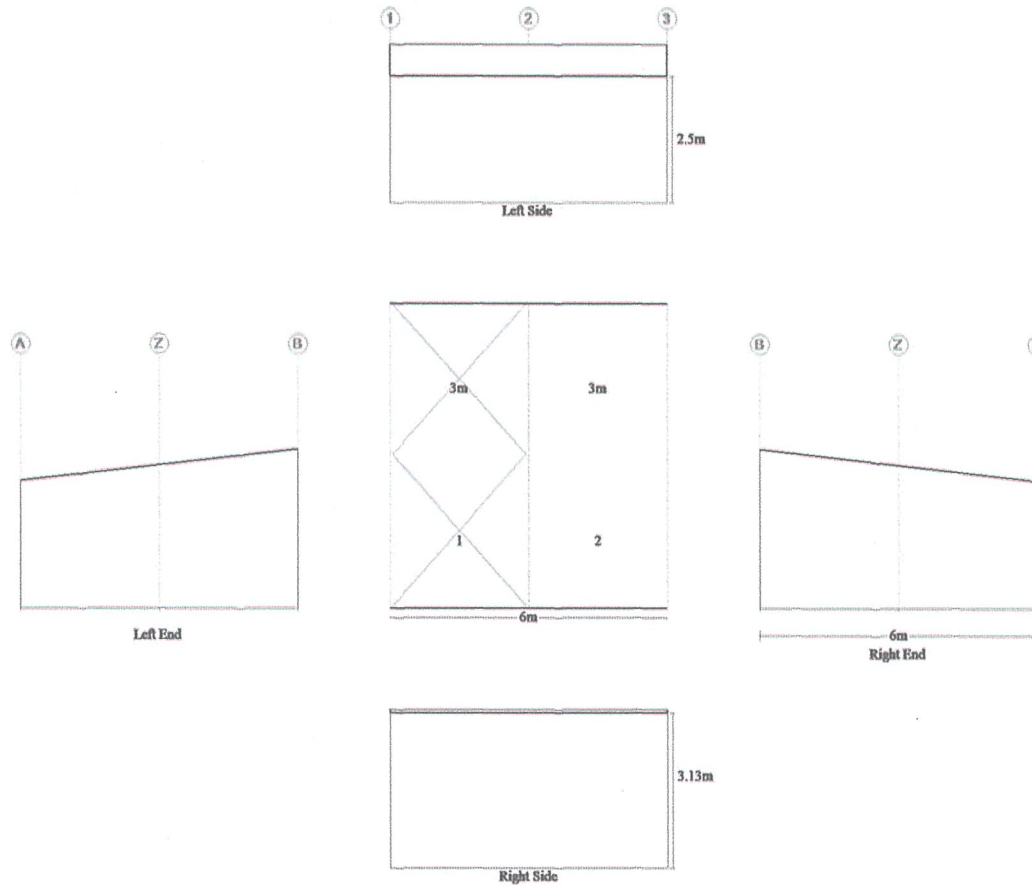
Seller: Sheds n Homes Hobart Tasmania
Dennis Paul Davidson (sole trader)
Phone: (03) 6283 6545
Fax:
Email: hobart@shedsnhomes.com.au

TNC ENGINEERING PTY LTD
ACN: 610 855 260
ME Aust. (Registered NER Structural & Civil) 2741240
QLD: RPEQ No. 13750; VC: EC44684; TAS: CC6968; N.T.: 225621ES;
Practising Professional Structural & Civil Engineers

Signature: *R. Nancarrow* R. Nancarrow

Date: 12/02/20

Cross Bracing is achieved with 1.2mm Strap. Refer to Connection Details.



Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHBT200017 - 5

Print Date: 12/02/20

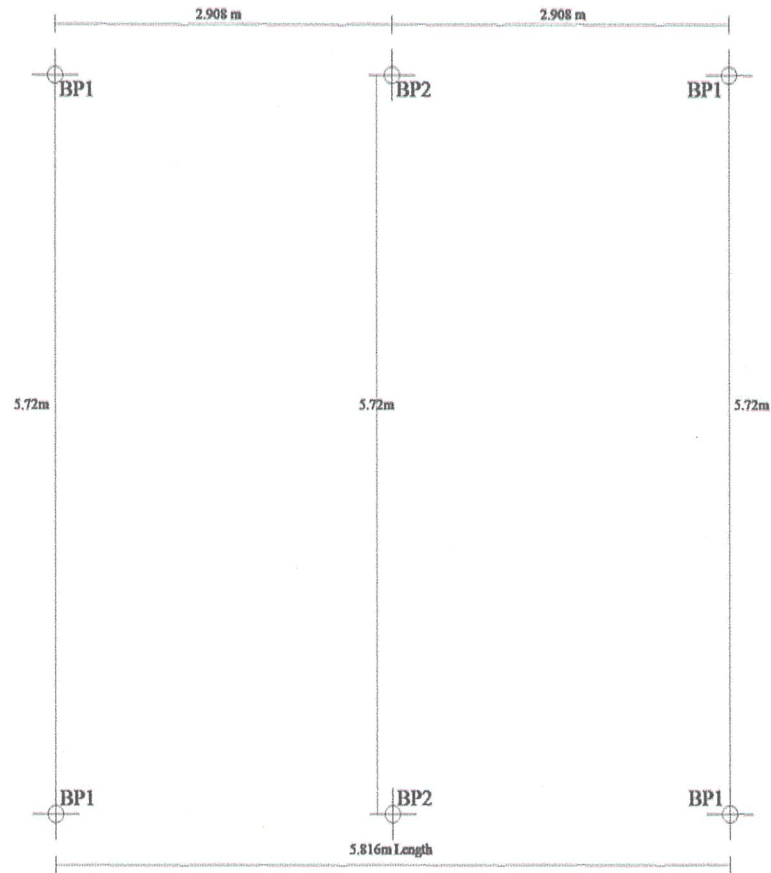
Bracing
Not to Scale
© Copyright SteelxIP Pty Ltd

Seller: Sheds n Homes Hobart Tasmania
Dennis Paul Davidson (sole trader)
Phone: (03) 6263 6545
Fax:
Email: hobar1@shedsnhomes.com.au

TNC ENGINEERING PTY LTD
ACN: 610 855 260
ME Aust. (Registered NER Structural & Civil) 2741240
QLD: RPEQ No. 13750; VIC: EC44684; TAS: CC6968; N.T.: 225521ES;
Practising Professional Structural & Civil Engineers

Signature: *R. Nancarrow* R. Nancarrow
Date: 12/02/20

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.
 Refer to Material Specifications Plan for BP dimensions.



Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHT200017 - 6

Print Date: 12/02/20

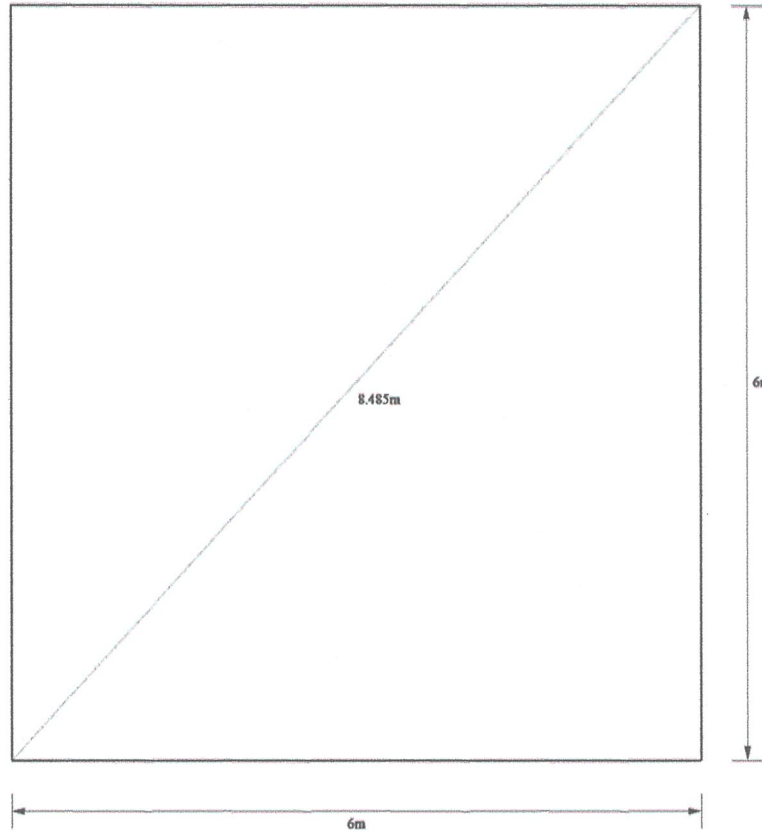
Concrete Piers
PIER MEASUREMENT ONLY
 Not to Scale
 © Copyright SteelxIP Pty Ltd

Seller: Sheds n Homes Hobart Tasmania
 Dennis Paul Davidson (sole trader)
 Phone: (03) 6263 6545
 Fax:
 Email: hobart@shedsnhomes.com.au

TNC ENGINEERING PTY LTD
 ACN: 610 855 260
 ME Aust. (Registered NER Structural & Civil) 2741240
 QLD: RPEQ No. 13750; VIC: EC44684; TAS: CC6968; N.T.: 225521ES;
 Practising Professional Structural & Civil Engineers

Signature: *R. Nancarrow* R. Nancarrow
 Date: 12/02/20

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.



Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHT200017 - 7

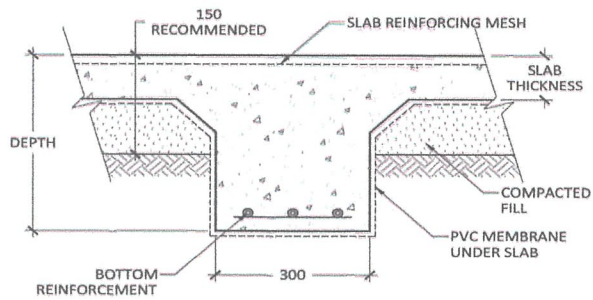
Print Date: 12/02/20

Slab Dimensions
Also refer to Concrete Piers Plan
Not to Scale
© Copyright Steelx IP Pty Ltd

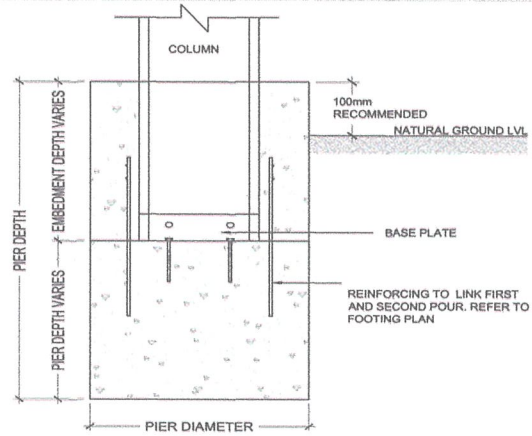
Seller: Sheds n Homes Hobart Tasmania
Dennis Paul Davidson (sole trader)
Phone: (03) 6263 6545
Fax:
Email: hobart@shedsnhomes.com.au

TNC ENGINEERING PTY LTD
ACN: 610 855 260
ME Aust. (Registered NER Structural & Civil) 2741240
CLD : RPEQ No. 13750; VC : EC44684; TAS ; CC6968; N.T : 225521ES;
Practising Professional Structural & Civil Engineers

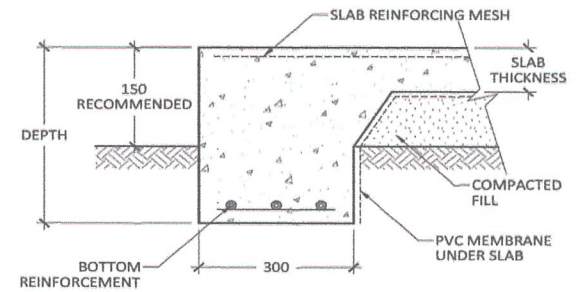
Signature:  R. Nancarrow
Date: 12/02/20



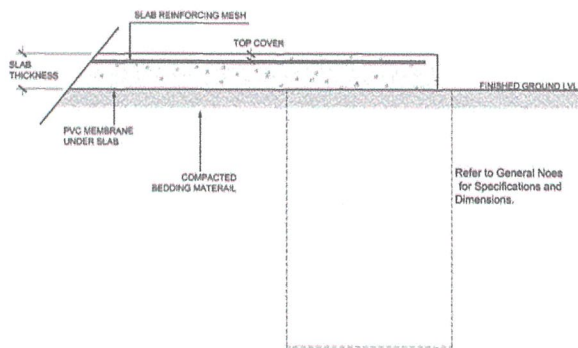
**INTERNAL BEAM
(H1 & H2 SOIL TYPE ONLY)**



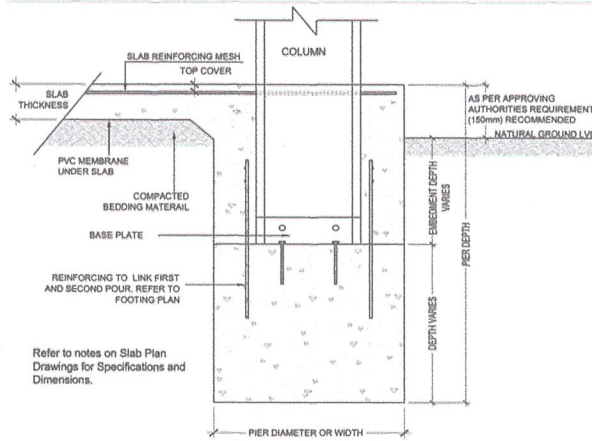
**BORED PIER
WITH COLUMN IN CONCRETE**



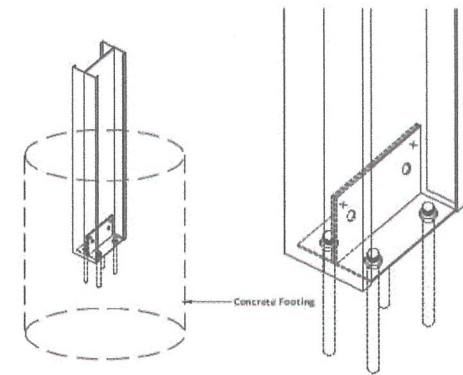
**PERIMETER BEAM
(H1 & H2 SOIL TYPE ONLY)**



SLAB DETAIL BETWEEN PIERS



**SLAB AND PIER
WITH COLUMN IN CONCRETE**



- × FIXING SCREWS - 2 of 14.20 x 22
- FIXING BOLTS - 2 of M12 x 30
- 4 of M12 X 80 TRUBOLTS
- 2C150 CIC BASE PLATE

Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHBT200017 - 8

Print Date: 12/02/20

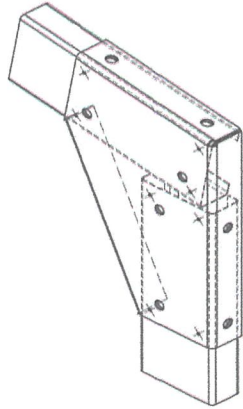
Connection Details

Not to Scale
Page 1 of 4
© Copyright SteelxIP Pty Ltd

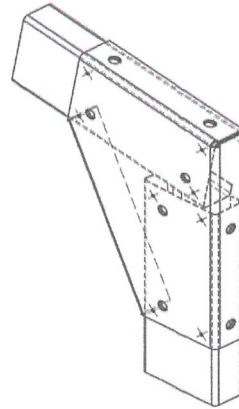
Seller: Sheds n Homes Hobart Tasmania
Dennis Paul Davidson (sole trader)
Phone: (03) 6263 6545
Fax:
Email: hobart@shedsnhomes.com.au

TNC ENGINEERING PTY LTD
ACN: 610 855 260
ME Aust. (Registered NER Structural & Civil) 2741240
CLD : RPEQ No. 13750; VIC : EC44684; TAS : CC6968; N.T.: 225521ES;
Practising Professional Structural & Civil Engineers

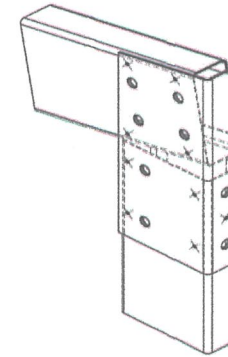
Signature: *R. Nancarrow* R. Nancarrow
Date: 12/02/20



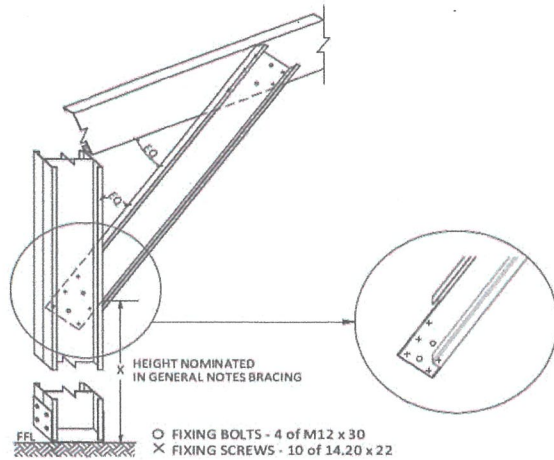
○ FIXING BOLTS - 8 of M12 x 30
 × FIXING SCREWS - 8 of 14.20 x 22
HAUNCH BRACKET - C150, 6°



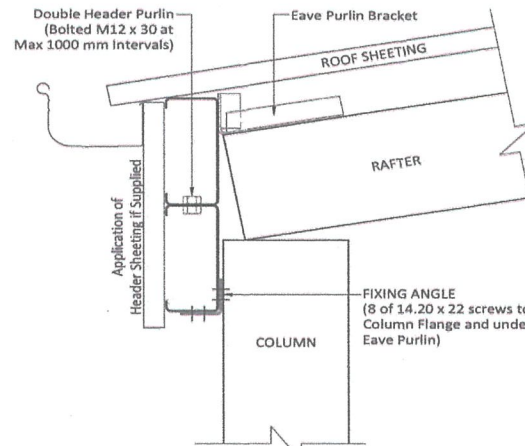
○ FIXING BOLTS - 8 of M12 x 30
 × FIXING SCREWS - 8 of 14.20 x 22
HAUNCH BRACKET - C150, 6°



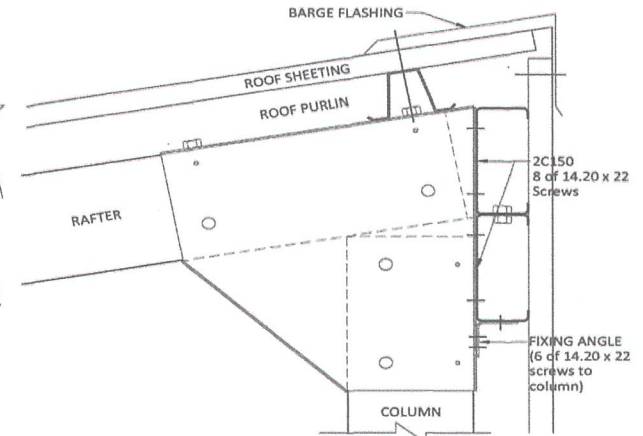
○ FIXING BOLTS - 8 of M12 x 30
 × FIXING SCREWS - 9 of 14.20 x 22
HAUNCH BRACKET - C150, 6°



○ FIXING BOLTS - 4 of M12 x 30
 × FIXING SCREWS - 10 of 14.20 x 22
**KNEE BRACE FOR C150 COLUMN
 BACK TO BACK COLUMN - SINGLE RAFTER**



DOUBLE HEADER PURLIN CONNECTION - OPEN BAYS



HEADER GIRT CONNECTION - OPEN BAYS

Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHBT200017 - 8

Print Date: 12/02/20

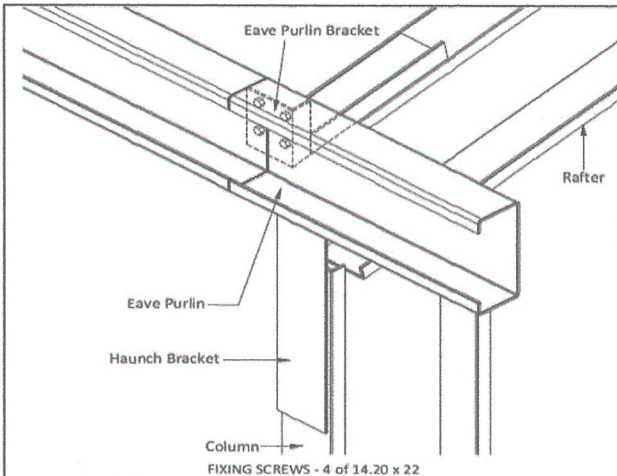
Connection Details

Not to Scale
 Page 2 of 4
 © Copyright Steelix IP Pty Ltd

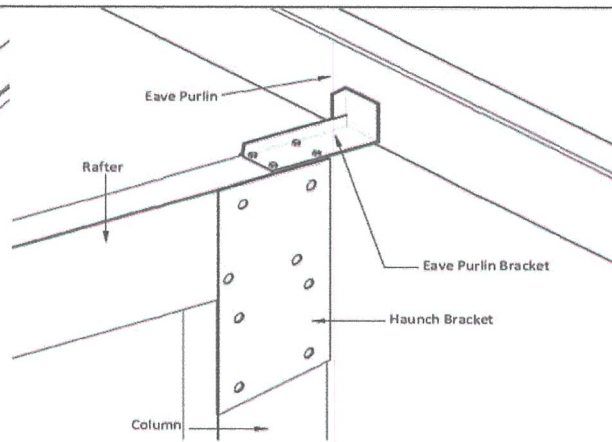
Seller: Sheds n Homes Hobart Tasmania
 Dennis Paul Davidson (sole trader)
 Phone: (03) 6263 6545
 Fax:
 Email: hobart@shedsnhomes.com.au

TNC ENGINEERING PTY LTD
 ACN: 610 855 260
 ME Aust. (Registered NER Structural & Civil) 2741240
 QLD: RPEQ No. 13750; VIC: EC44684; TAS: CC6968; N.T.: 225521ES;
 Practising Professional Structural & Civil Engineers

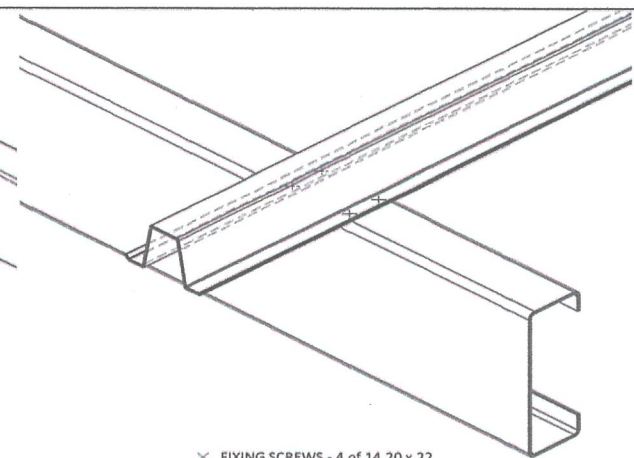
Signature: *R. Nancarrow* R. Nancarrow
 Date: 12/02/20



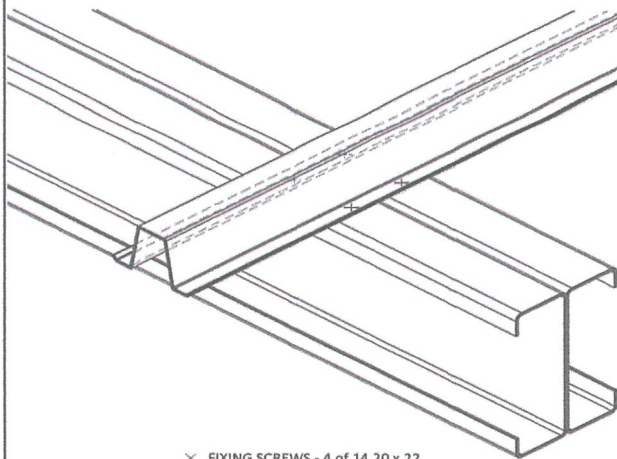
FIXING SCREWS - 4 of 14.20 x 22
EAVE PURLIN TO EAVE PURLIN BRACKET



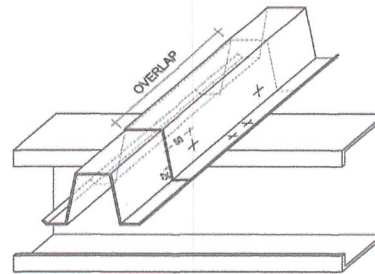
FIXING SCREWS - 4 of 14.20 x 22
EAVE PURLIN BRACKET TO RAFTER



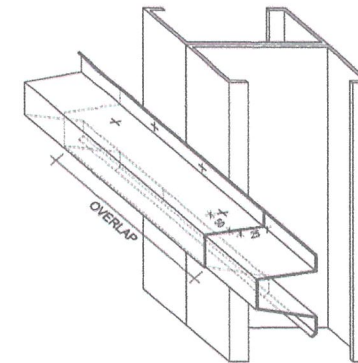
FIXING SCREWS - 4 of 14.20 x 22
OVERHANG = TOP HAT DEPTH OF THE END WALL GIRT
PURLIN & SIDE GIRT END WALL FIXING - TOP HAT
SINGLE COLUMN OR RAFTER



FIXING SCREWS - 4 of 14.20 x 22
OVERHANG = TOP HAT DEPTH OF THE END WALL GIRT
PURLIN & SIDE GIRT END WALL FIXING - TOP HAT
BACK TO BACK COLUMN OR RAFTER



FIXING SCREWS - 8 of 14.20 x 22
LAP = Greater of 10% of span or 500 mm
PURLIN/GIRT FIXING - TOPHAT 64
SINGLE COLUMN OR RAFTER



FIXING SCREWS - 8 of 14.20 x 22
LAP = Greater of 10% of span or 500 mm
GIRT FIXING - TOPHAT 64
BACK TO BACK COLUMNS (WITH SINGLE RAFTER)

Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHBT200017 - 8

Print Date: 12/02/20

Connection Details

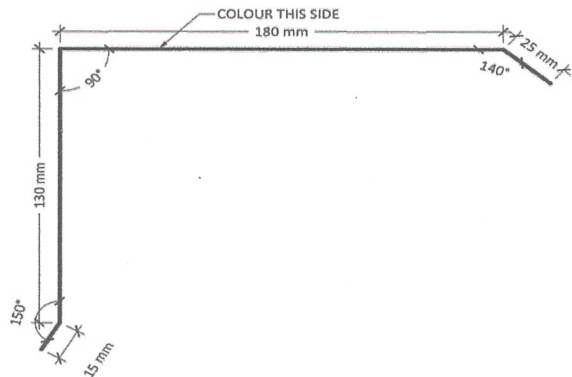
Not to Scale
Page 3 of 4
© Copyright SteelXIP Pty Ltd

Seller: Sheds n Homes Hobart Tasmania
Dennis Paul Davidson (sole trader)
Phone: (03) 6263 6545
Fax:
Email: hobart@shedsnhomes.com.au

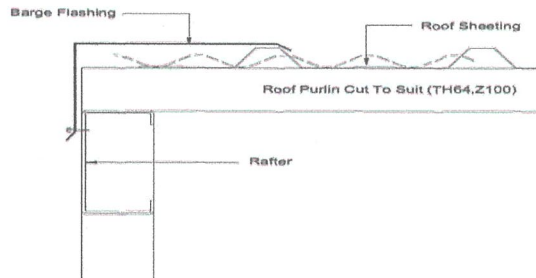
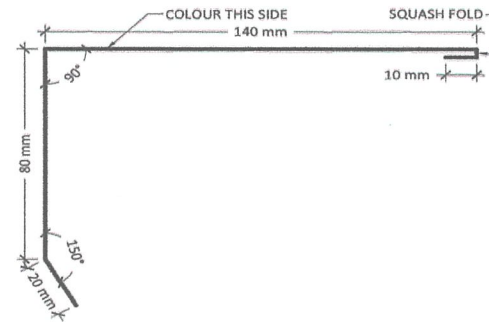
TNC ENGINEERING PTY LTD
ACN: 610 855 260
ME Aust. (Registered NER Structural & Civil) 2741240
CLD; RPEQ No. 13750; VC: EC04684; TAS: CC08968; N.T.: 225521ES;
Practising Professional Structural & Civil Engineers

Signature: *R. Nancarrow* R. Nancarrow
Date: 12/02/20

Barge Capping - Trimclad



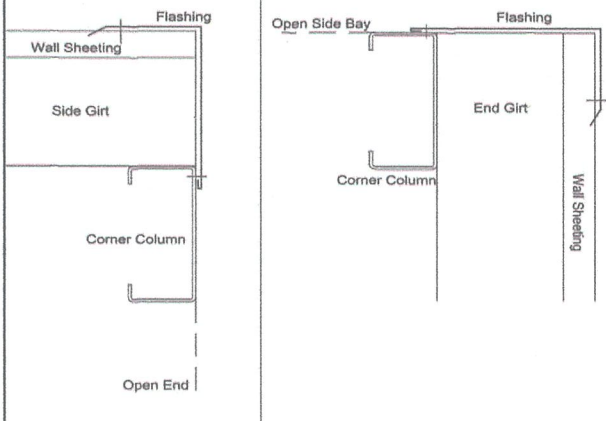
Open Bay Corner Flashing to suit TH64



Barge Flashing XF11-TO - Open Gable

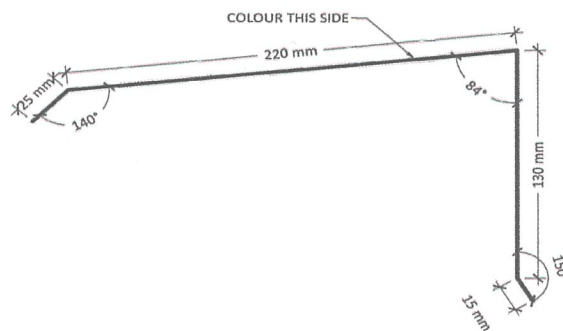
XF11

XF401

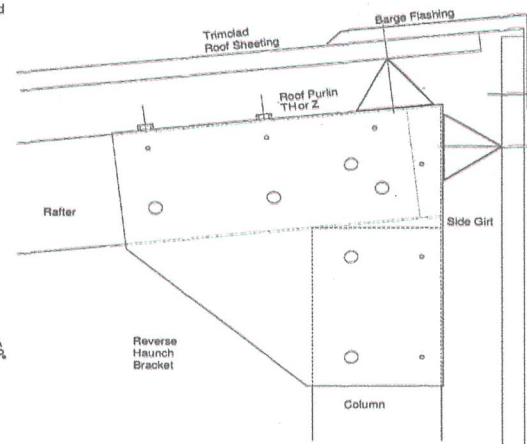


Flashing XF401 - Connection

Barge Capping - Trimclad



XF80



Barge Flashing XF80

Purchaser Name: Wesley Dexter

Site Address: 36 High Street Bothwell TAS 7030 Australia

Drawing # SHBT200017 - 9

Print Date: 12/02/20

Flashing Fixing Details

Not to Scale
Page 1 of 1
© Copyright Steelx IP Pty Ltd

Seller: Sheds n Homes Hobart Tasmania
Dennis Paul Davidson (sole trader)
Phone: (03) 6263 6545
Fax:
Email: hobart@shedsnhomes.com.au

TNC ENGINEERING PTY LTD
ACN: 610 855 260
ME Aust. (Registered NER Structural & Civil) 2741240
QLD : RPEQ No. 13760; VC : EC44684; TAS : CC6968; N.T.: 225521ES;
Practising Professional Structural & Civil Engineers

Signature: *R. Nancarrow* R. Nancarrow
Date: 12/02/20

SEARCH OF TORRENS TITLE

VOLUME 233745	FOLIO 7
EDITION 4	DATE OF ISSUE 28-Nov-2019

SEARCH DATE : 08-Nov-2024
SEARCH TIME : 12.56 PM

DESCRIPTION OF LAND

Town of BOTHWELL
Lot 7 on Plan 233745
Derivation : Lot 7 (Section I.) Gtd. to J. McRa
Prior CT 3177/71

SCHEDULE 1

M790667 TRANSFER to WESLEY PATRICK DEXTER Registered
28-Nov-2019 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
E199068 MORTGAGE to Commonwealth Bank of Australia
Registered 28-Nov-2019 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469
TASMANIA
REAL PROPERTY ACT, 1862, as amended
NOTE--REGISTERED FOR OFFICE
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

Register Book
Vol. Fol.
3177 71

Cert. of Title Vol. 235. Fol. 200.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

[Signature]

Recorder of Titles.



DESCRIPTION OF LAND

TOWN OF BOTHWELL
ONE ROAD ELEVEN PERCHES on the Plan hereon

FIRST SCHEDULE (Continued overleaf)

JEAN FREEMAN of Bothwell, Married Woman *[Signature]*

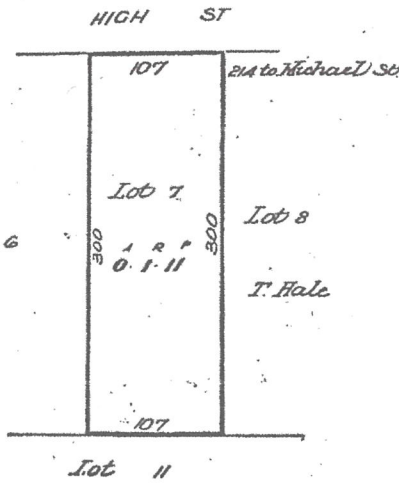
SECOND SCHEDULE (Continued overleaf)
NIL.

CANCELLED
13 FEB 1995
[Signature]
RECORDER OF TITLES
NEW TITLE ISSUED

Sec. J
[Signature]

Lot 7 of this plan consists of all the land comprised in the above-mentioned order of titles are no longer subsisting. cancelled folio of the Register.

REGISTERED NUMBER
233745



Lot 7 Sec. I. Gtd. to J. McRa Meas. in Links
Edition. Registered 20 AUG 1971
Derived from C.T. Vol. 235. Fol. 200. Transfer 102151 A. E. Downer *[Signature]*