



DISCRETIONARY APPLICATION

For Public Display

Applicant:

AJM Drafting Services

Location:

Lot 1 Highland Lakes Road, Brandum (CT 185742/1)

Proposal:

Visitor Accommodation within Priority Vegetation Area

DA Number:

DA 2024/59

Date Advertised:

05 November 2024

Date Representation Period Closes:

19 November 2024

Responsible Officer:

Grant Finn (Senior Planning Officer)

Viewing Documents:

The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

development@centralhighlands.tas.gov.au



Development & Environmental Services
 19 Alexander Street
 BOTHWELL TAS 7030

Phone: (03) 6259 5503
 Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name	AJM Drafting Services		
Postal Address	154 Tarleton Road	Phone No:	0417 669 317
	Tarleton	7310	Fax No:
Email address	ben@ajmdrafting.com.au		
Owner/s Name (if not Applicant)	N Saunders		
Postal Address	18 Buttons Ave,	Phone No:	0419539071
	Ulverstone	7315	Fax No:
Email address:	nick.saunders@incitecpivot.com.au		

Description of proposed use and/or development:

Address of new use and development:	Lot 1, Highland Lakes Road, Brandum 7304		
Certificate of Title No:	Volume No	185742	Lot No: 1
	Description of proposed use or development:	new residence	
Current use of land and buildings:	vacant land, existing shed.		ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc. Eg. Are there any existing buildings on this title? If yes, what is the main building used as?

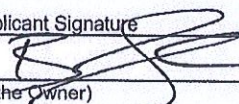
Proposed Material	What are the proposed external wall colours	Noodin Grey	What is the proposed roof colour	Southerly
	What is the proposed new floor area m ² .	151.1	What is the estimated value of all the new work proposed:	\$ \$280,000

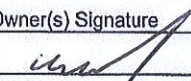
<i>Is proposed development to be staged:</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Tick ✓
<i>Is the proposed development located on land previously used as a tip site?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Is the place on the Tasmanian Heritage Register?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Have you sought advice from Heritage Tasmania?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Has a Certificate of Exemption been sought for these works?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

- The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
- In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
- I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature"); ***Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.***

Applicant Signature  (if not the Owner)	Applicant Name (Please print) Benjamin Laughlin	Date 2/10/2024
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Land Owner(s) Signature 	Land Owners Name (please print) Nick Saunders	Date 3/10/2024
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Land Owner(s) Signature	Land Owners Name (please print)	Date
<input type="text"/>	<input type="text"/>	<input type="text"/>

Information & Checklist sheet

✓	
1. A completed Application for Planning Approval – Use and Development form. <i>Please ensure that the information provides an accurate description of the proposal, has the correct address and contact details and is signed and dated by the applicant.</i>	✓
2. A current copy of the Certificate of Title for all lots involved in the proposal. <i>The title details must include, where available, a copy of the search page, title plan, sealed plan or diagram and any schedule of easements (if any), or other restrictions, including covenants, Council notification or conditions of transfer.</i>	✓
3. Two (2) copies of the following information -	✓
<ul style="list-style-type: none"> a) An analysis of the site and surrounding area setting out accurate descriptions of the following - <ul style="list-style-type: none"> (i) topography and major site features including an indication of the type and extent of native vegetation present, natural drainage lines, water courses and wetlands, trees greater than 5 metres in height in areas of skyline or landscape importance and identification of any natural hazards including flood prone areas, high fire risk areas and land subject to instability; (ii) soil conditions (depth, description of type, land capability etc); (iii) the location and capacity of any existing services or easements on the site or connected to the site; (iv) existing pedestrian and vehicle access to the site; (v) any existing buildings on the site; (vi) adjoining properties and their uses; and (vii) soil and water management plans. b) A site plan for the proposed use or development drawn, unless otherwise approved, at a scale of not less than 1:200 or 1:1000 for sites in excess of 1 hectare, showing - <ul style="list-style-type: none"> (i) a north point; (ii) the boundaries and dimensions of the site; (iii) Australian Height Datum (AHD) levels; (iv) natural drainage lines, watercourses and wetlands; (v) soil depth and type; (vi) the location and capacity of any existing services or easements on the site or connected to the site; (vii) the location of any existing buildings on the site, indicating those to be retained or demolished, and their relationship to buildings on adjacent sites, streets and access ways; (viii) the use of adjoining properties; (ix) shadow diagrams of the proposed buildings where development has the potential to cause overshadowing; (x) the dimensions, layout and surfacing materials of all access roads, turning areas, parking areas and footpaths within and at the site entrance; (xi) any proposed private or public open space or communal space or facilities; (xii) proposed landscaping, indicating vegetation to be removed or retained and species and mature heights of plantings; and (xiii) methods of minimizing erosion and run-off during and after construction and preventing contamination of storm water discharged from the site. c) Plans and elevations of proposed and existing buildings, drawn at a scale of not less than 1:100, showing internal layout and materials to be used on external walls and roofs and the relationship of the elevations to natural ground level, including any proposed cut or fill. 	✓
4. A written submission supporting the application that demonstrates compliance with the relevant parts of the Act, State Policies and the Central Highlands Interim Planning Scheme 2015, including for industrial and commercial uses, the hours of operation, number of employees, details of any point source discharges or emissions, traffic volumes generated by the use and a Traffic Impact Statement where the development is likely to create more than 100 vehicle movements per day.	☐
5. Prescribed fees payable to Council. An invoice for the fees payable will be issued once application has been received.	☐

Information

If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, **please tick** the box

Heritage Tasmania

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application.
(Phone 1300 850 332 or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

Submission of Application

Applications can be submitted in a number of ways as follows:

- Electronically: Email to development@centralhighlands.tas.gov.au
- Post: 19 Alexander Street, BOTHWELL 7030
- In Person: Development & Environmental Services Office, 19 Alexander Street, Bothwell 7030

SEARCH OF TORRENS TITLE

VOLUME 185742	FOLIO 1
EDITION 2	DATE OF ISSUE 12-Sep-2024

SEARCH DATE : 22-Oct-2024

SEARCH TIME : 06.52 PM

DESCRIPTION OF LAND

Parish of TIAGARRA Land District of WESTMORLAND
 Lot 1 on Sealed Plan 185742
 Derivation : Part of Lot 929, 520 Acres Gtd. to Charles Headlam
 Prior CT 154509/1

SCHEDULE 1

N213552 TRANSFER to NICHOLAS MARK SAUNDERS Registered
 12-Sep-2024 at noon

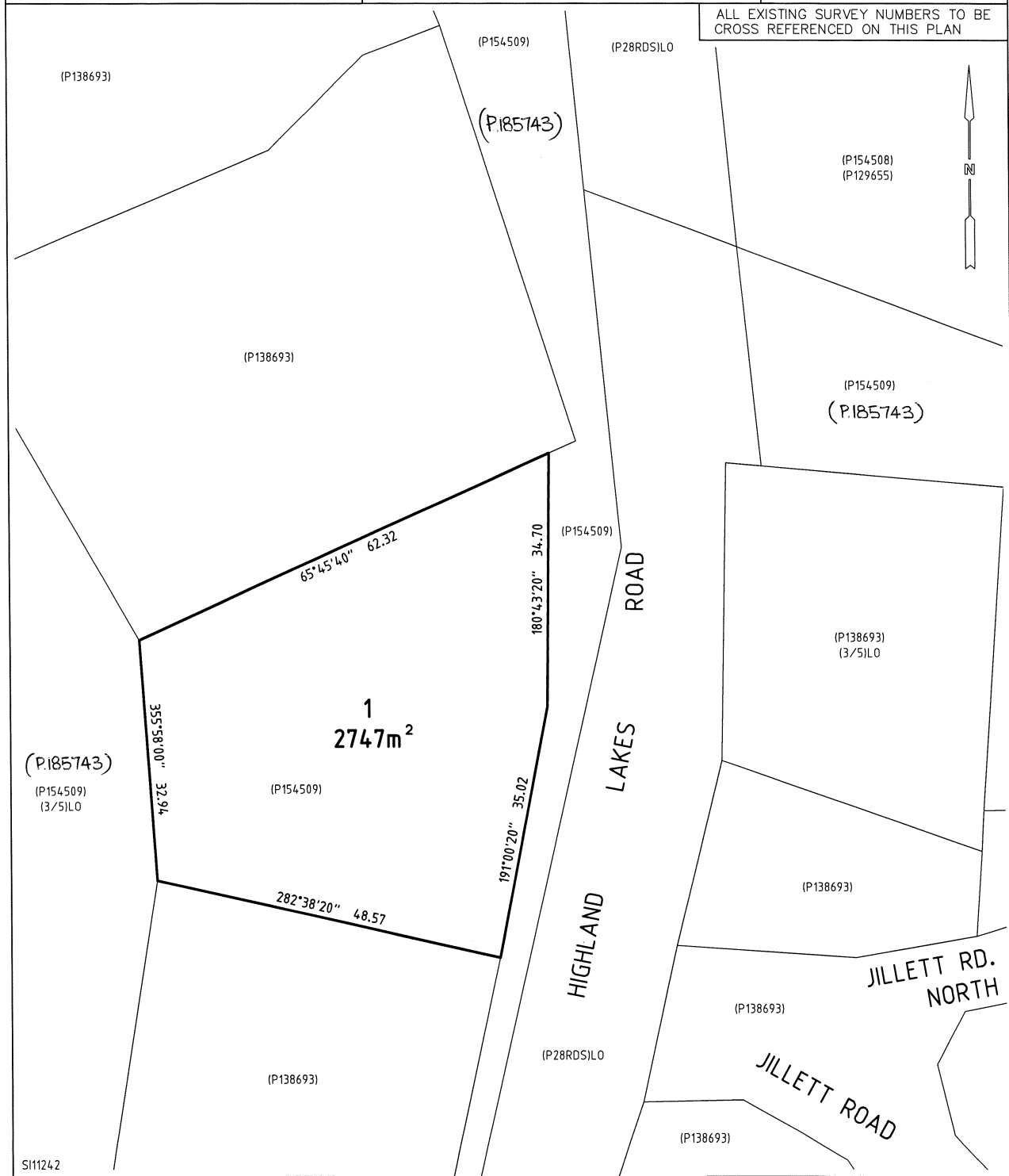
SCHEDULE 2

N213552 Land is limited in depth to 15 metres, excludes
 minerals and is subject to reservations relating to
 drains sewers and waterways in favour of the Crown
 N213552 FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: THE CROWN FOLIO REFERENCE: F/R 154509/1 GRANTEE: Part of Lot 929 (520 Acres) Gtd to Charles Headlam.	<h2>PLAN OF SURVEY</h2>	Registered Number <h1>SP185742</h1>
	BY SURVEYOR: JUSTIN TIMOTHY WELCH (OFFICE OF THE SURVEYOR GENERAL)	LOCATION: LAND DISTRICT OF WESTMORLAND PARISH OF TIAGARRA
SCALE 1: 500 LENGTHS IN METRES		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



SI1124-2 Registered Land Surveyor	21/12/2023 Date	_____ Council Delegate	_____ Date
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Priority Vegetation Impact Statement

Municipality: Central Highlands

Landowner: N Saunders.

Address: Lot 1, Highland Lakes Rd, Brandum Tas. 7304

Property ID #: 9209479

Scope of Proposed Project: New Residence.

Reason for this statement: Part of the proposed residence and driveway crosses over a Priority Vegetation overlay.

Contents of Statement

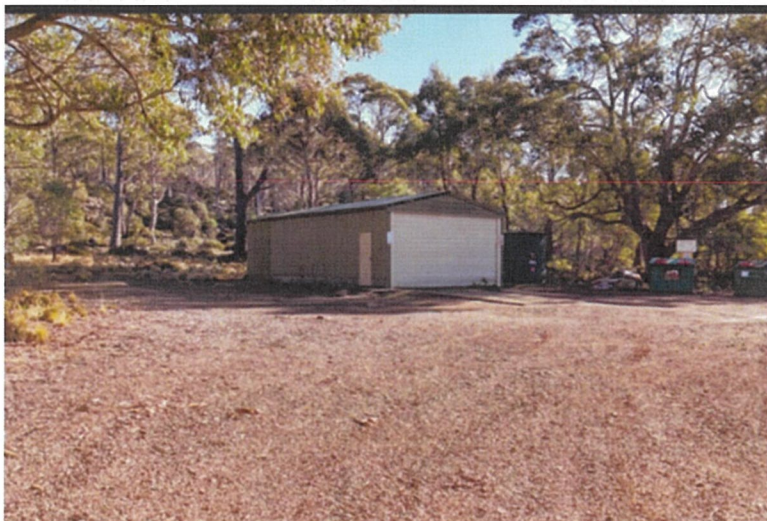
1. Existing Block
 2. Proposed Construction and impact to the site
 3. After completion of construction
-

1. Existing Block

Previous Use.

Lot 1, Highland Lakes Rd was an active fire station to service the Breona, Doctors rocks and Brandum bay areas. The site was in operation for over several decades, until the state fire department consolidated fire services to Miena. Since closure as an active fire station the highland council has used the location as a central collection point for waste. The site has been cleared of most vegetation covered by gravel to permit all weather access. The site is more than seventy percent gravel to allow for access by two-wheel drive motor vehicles. Over the decades some spear grass has established around the borders of the land and very small juvenile saplings. The pic below illustrates the limited vegetation and vast use of gravel on the block. Note the inaccuracy of the digital records of the priority vegetation to the physical land.

Pic 1.



Within the area that the proposed residence is positioned, there is a scattering of spear grass (that is consistent throughout the entire area), rocks, gravel and 1 eucalyptus tree marked on the site plan for removal which is also shown in the picture below. The picture provided also shows no evidence of unique fauna or flora but rather a consistent flow and ecosystem across the entire area and township.

Pic 2.



2. Proposed Construction

Of the proposed 103sqm Residence only 78sqm encroaches the overlay. The residence has been designed none of the sewer drainage is within the priority overlay and all sewer drainage is to the north.

The proposed driveway will have minimal impact as it will cross over existing gravelled area as evident in Pic 1. The site plan shows the removal of the 2 bushes located in Pic 2. Pic 2 will also demonstrate that the 2 plants marked for removal for the proposed driveway are abundant in the photo.

The site Plan also notes that:

CLEARANCE OF NATIVE VEGETATION MUST BE APPROPRIATELY MANAGED TO ADEQUATELY PROTECT VEGETATION IN THE PRIORITY VEGETATION OVERLAY MARKED. THE BUILDER IS RESPONSIBLE FOR MINIMISING THE IMPACTS FROM CONSTRUCTION AND DEVELOPMENT ACTIVITIES TO LOCAL FAUNA AND FAUNA.

3. After Completion of Construction

There is no plan to landscape any part of the site. The plan is to reconstruct any impact the construction of the building has had on the site to the current state.

SITE INFORMATION

LAND TITLE REFERENCE: FOLIO 1 VOLUME: 185742	
BAL LEVEL:	YES
ALPINE AREA:	YES

AREA SCHEDULE

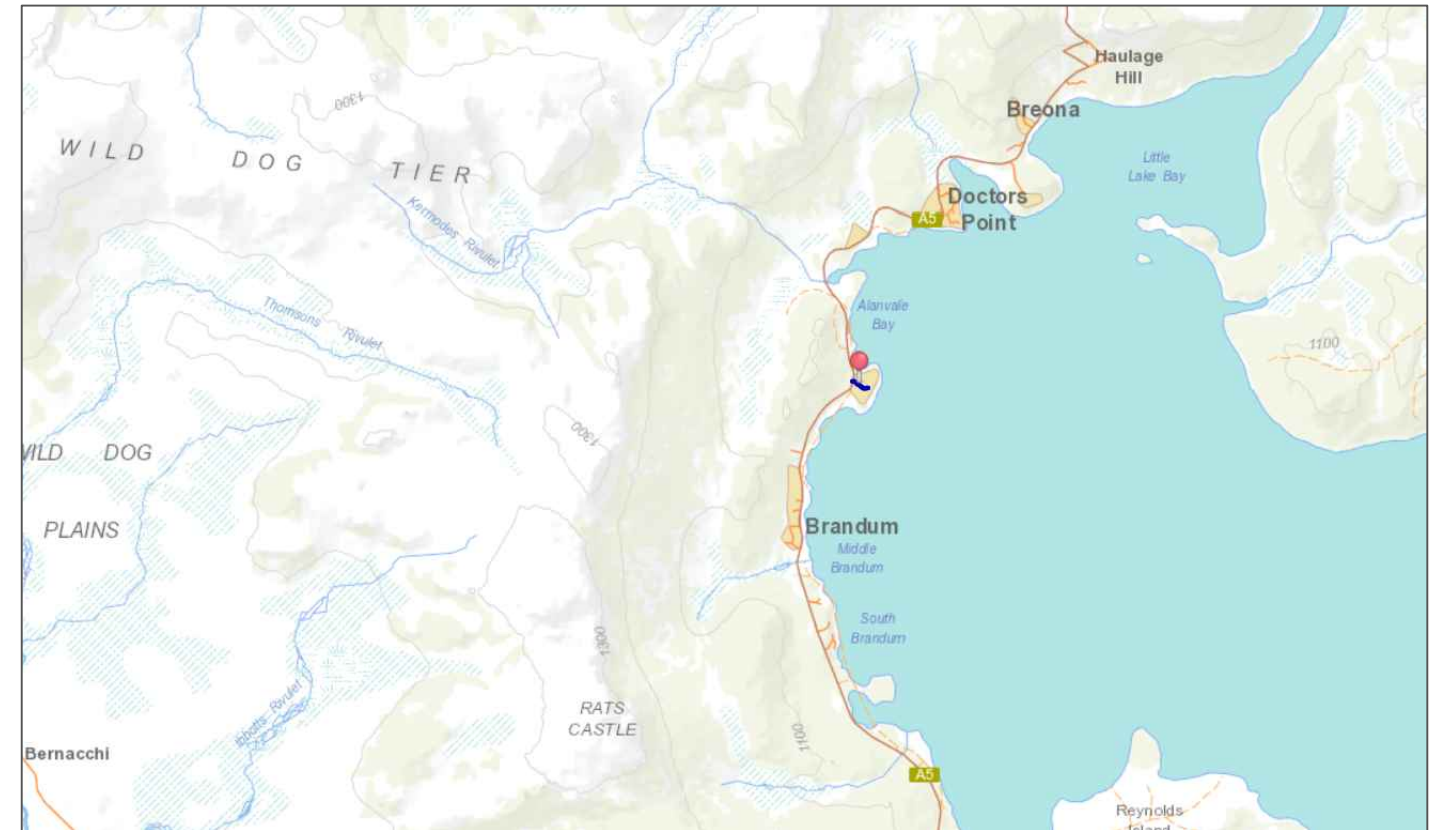
SITE AREA:	2746m ² ±
EXISTING SHED	71.7m ² ±
PROPOSED RESIDENCE	103.5m ²
PROPOSED DECK	47.6m ²

DRAWING SCHEDULE

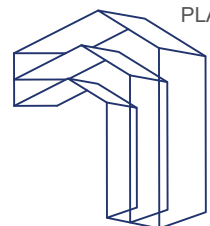
<u>1. COVER PAGE</u>	<u>9. ROOF FRAMING PLAN</u>
<u>2. SITE PLAN</u>	<u>10. ROOF PLAN</u>
<u>3. PROPOSED FLOOR PLAN</u>	<u>11. SECTION</u>
<u>4. WINDOW AND DOOR SCHEDULE</u>	<u>12. REFELCTIVE CEILING PLAN</u>
<u>5. ELEVATIONS</u>	<u>13. WATERPROOFING</u>
<u>6. DRAINAGE</u>	<u>14. FINISHING PLAN</u>
<u>7. SLAB SET OUT</u>	
<u>8. WALL FRAMING PLAN</u>	

PROPOSED RESIDENCE @

LOT 1, HIGHLAND LAKES RD, BRANDUM 7304
JOB NUMBER: NSAUNRES



LOCATION PLAN



PLANS by:

AJM Drafting Services

ABN: 98 602 040 886

154 TARLETON ROAD, TARLETON

Ph: 0417 669 317 E: ben@ajmdrafting.com.au

THESE DESIGNS MUST BE VIEWED IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS, WHICH MAY AT ANY TIME AUGMENT, CHANGE, OR SUPERSEDE THESE DRAWINGS. THESE DRAWINGS DO NOT CONTAIN ALL THE INSTRUCTIONS NEEDED TO FINISH THE PROJECT. THE CONTRACTOR OVERSEES ORGANIZING THE DRAWINGS AND MAKING SURE THE SUBCONTRACTORS HAVE ACCESS TO THE NECESSARY PAPERWORK.

THE CONTRACTOR IS STILL ACCOUNTABLE FOR ACCURACY OF MEASUREMENTS, QUANTITIES, COMPUTATIONS, CONSTRUCTION, FABRICATION METHODS, COORDINATING THE WORK OF OTHER TRADES, AND ADVISING BASED ON THESE DRAWINGS. THESE PLANS ARE PROVIDED WITH THE PREMISE THAT ALL DIMENSIONS WILL BE CHECKED ON LOCATION, AND THAT THE REQUIREMENTS FOR VARIATIONS WILL BE DECIDED UPON IN CONSULTATION WITH THE APPROPRIATE EXPERT.

PLANS BEST VIEWED IN COLOUR.

PROPOSED

PROPOSED RESIDENCE

FOR: N SAUNDERS
 AT: LOT 1, HIGHLAND LAKES RD,
 BRANDUM 7304

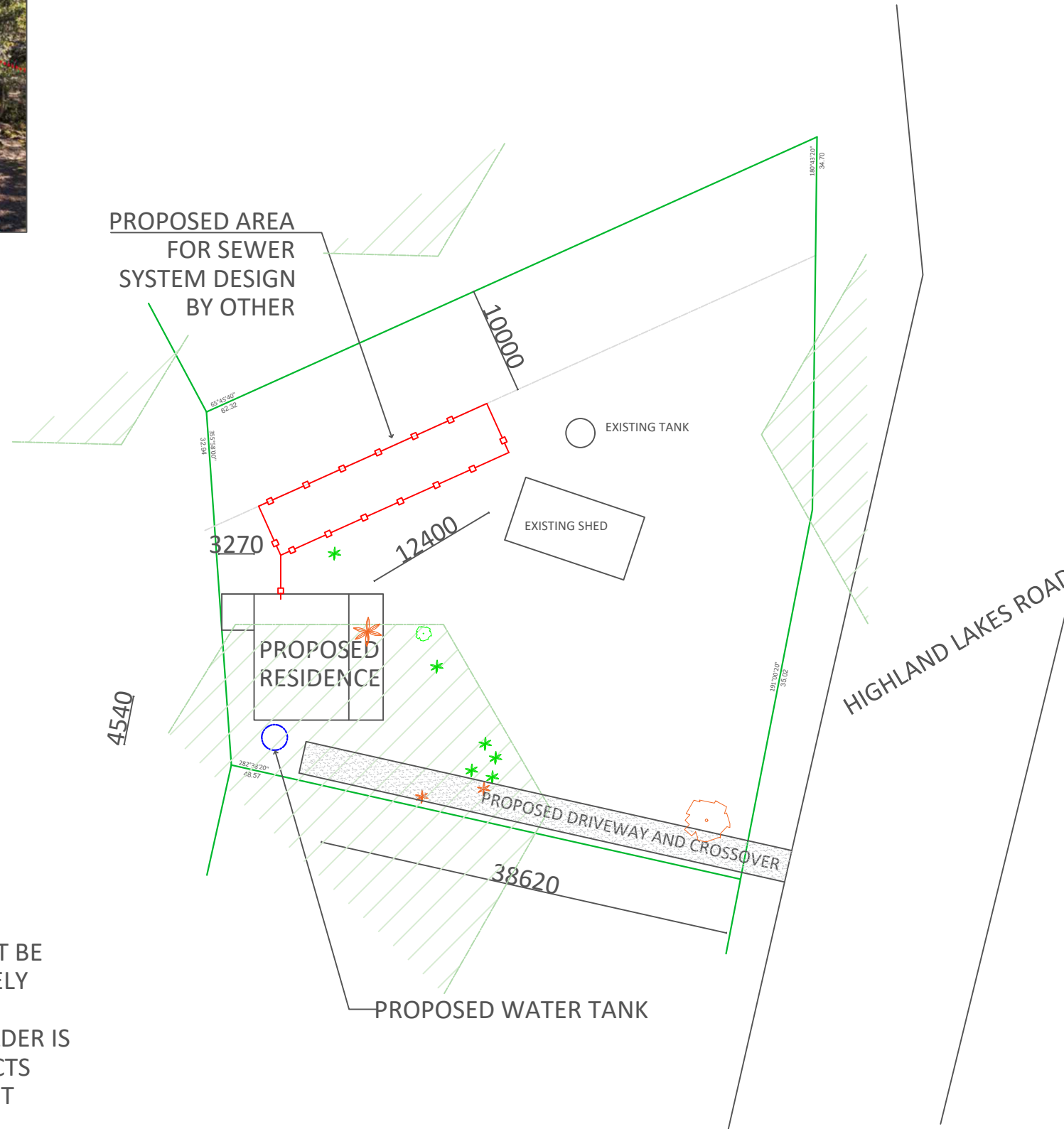
DATE PUBLISHED: 18/09/24

SCALE: 1:100 PAPER: A3 JOB No.: NSAUNRES

DRAWING:



PHOTO OF LAND ILLUSTRATING EXISTING VEGETATION AND MINIMAL IMPACT DEVELOPMENT WITH CAUSE



KEY

SEWER SYSTEM DESIGNED BY OTHER

BOUNDARY

PRIORITY VEGETATION OVERLAY

EXISTING VEGETATION

EXISTING TREE TO BE REMOVED

SHRUB TO BE REMOVED

CAUTION:

PLEASE NOTE THAT ONLY A LIMITED BOUNDARY DEFINITION SURVEY HAS BEEN UNDERTAKEN FOR THIS PLAN AND WE HAVE MARKED THE BOUNDARY AS SHOWN.

1. BEARINGS AND DISTANCES OF THE BOUNDARIES SHOWN ON THE PLAN ARE AS OBTAINED FROM LOCAL GOVERNMENT AND ONLINE RESOURCES. THEY HAVE NOT BEEN VERIFIED BY FIELD SURVEY. THE DIMENSIONS CAN ONLY BE VERIFIED BY UNDERTAKING A COMPREHENSIVE BOUNDARY DEFINITION SURVEY TO ESTABLISH THE AVAILABLE DIMENSIONS OF THE PROPERTY.

2. ALL APPARENT VISIBLE EVIDENCE OF UTILITIES HAS BEEN LOCATED BY FIELD SERVICE. IF NOT ABLE TO BE SO LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF LOCAL AUTHORITIES WHERE READILY AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN. A FULL DIAL BEFORE YOU DIG SEARCH HAS NOT BEEN OBTAINED.

WE ADVISE THAT PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION WORK ON SITE, A FULL UP TO DATE DIAL BEFORE YOU DIG SEARCH MUST BE OBTAINED AND ANY RELEVANT SERVICE AUTHORITIES SHOULD BE CONTACTED FOR SUB SURFACE UTILITY SERVICE LOCATION INFORMATION. IN ADDITION, ANY SUB SURFACE FOOTINGS OR FOUNDATION ADJACENT TO ANY BOUNDARIES OR ANY UNDERGROUND SERVICES MUST BE CAREFULLY EXPOSED TO ESTABLISH THEIR EXTENT, DEPTH AND LOCATION. THIS SHOULD BE UNDERTAKEN UNDER THE SUPERVISION OF THE RELEVANT AUTHORITY.

NOTE THE LOCATIONS OF SUBSURFACE SERVICES SHOWN HEREON ARE INDICATIVE ONLY AND THAT THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO LOCATE SERVICES ACCURATELY PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON OR AROUND THE SITE.

3. THE LOCATIONS OF ANY IMPROVEMENTS SHOWN ON THE PLAN ARE DIAGRAMMATIC ONLY AS THEY HAVE NOT BEEN ACCURATELY DETERMINED. CONFIRMATION OF THEIR ACCURATE LOCATION SHOULD BE MADE BY FURTHER DEFINITION SURVEY IF IT IS REQUIRED FOR PURPOSES OTHER THAN THAT OF THIS TOPOGRAPHICAL SURVEY.

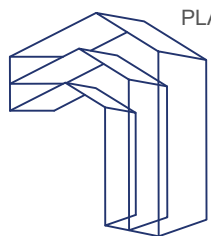
4. THE NORTH POINT ORIENTATION SHOWN HEREON HAS BEEN TAKEN FROM UNDERLYING CADASTRAL PLANS ONLY. NO ATTEMPT HAS BEEN MADE TO DETERMINE THE RELATIONSHIP OF EITHER CURRENT MAGNETIC NORTH OR TRUE NORTH. IT SHOULD BE REGARDED AS APPROXIMATELY ONLY.

5. THE CONTOURS SHOWN GIVE AN APPROXIMATE REPRESENTATION ONLY OF THE SHAPE AND LEVEL OF THE GROUND SURFACE. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.

6. THESE NOTES ARE AN INTEGRAL PART OF THE PLAN.

7. EXCEPT TO THE EXTENT REQUIRED BY COMPETITION AND CONSUMER ACT 2010 OR SIMILAR CONSUMER PROTECTION LEGISLATION, NO RESPONSIBILITY CAN BE ACCEPTED BY AJM DRAFTING SERVICES FOR ANY DAMAGE CAUSED TO UNDERGROUND SERVICES OR ANY LOSS OR INJURY.

CLEARANCE OF NATIVE VEGETATION MUST BE APPROPRIATELY MANAGED TO ADEQUATELY PROTECT VEGETATION IN THE PRIORITY VEGETATION OVERLAY MARKED. THE BUILDER IS RESPONSIBLE FOR MINIMISING THE IMPACTS FROM CONSTRUCTION AND DEVELOPMENT ACTIVITIES TO LOCAL FAUNA AND FAUNA.



PLANS by:

AJM Drafting Services

ABN: 98 602 040 886

154 TARLETON ROAD, TARLETON

Ph: 0417 669 317 E: ben@ajmdrafting.com.au

NOTES:

REVISION:

NORTH:



PROPOSED

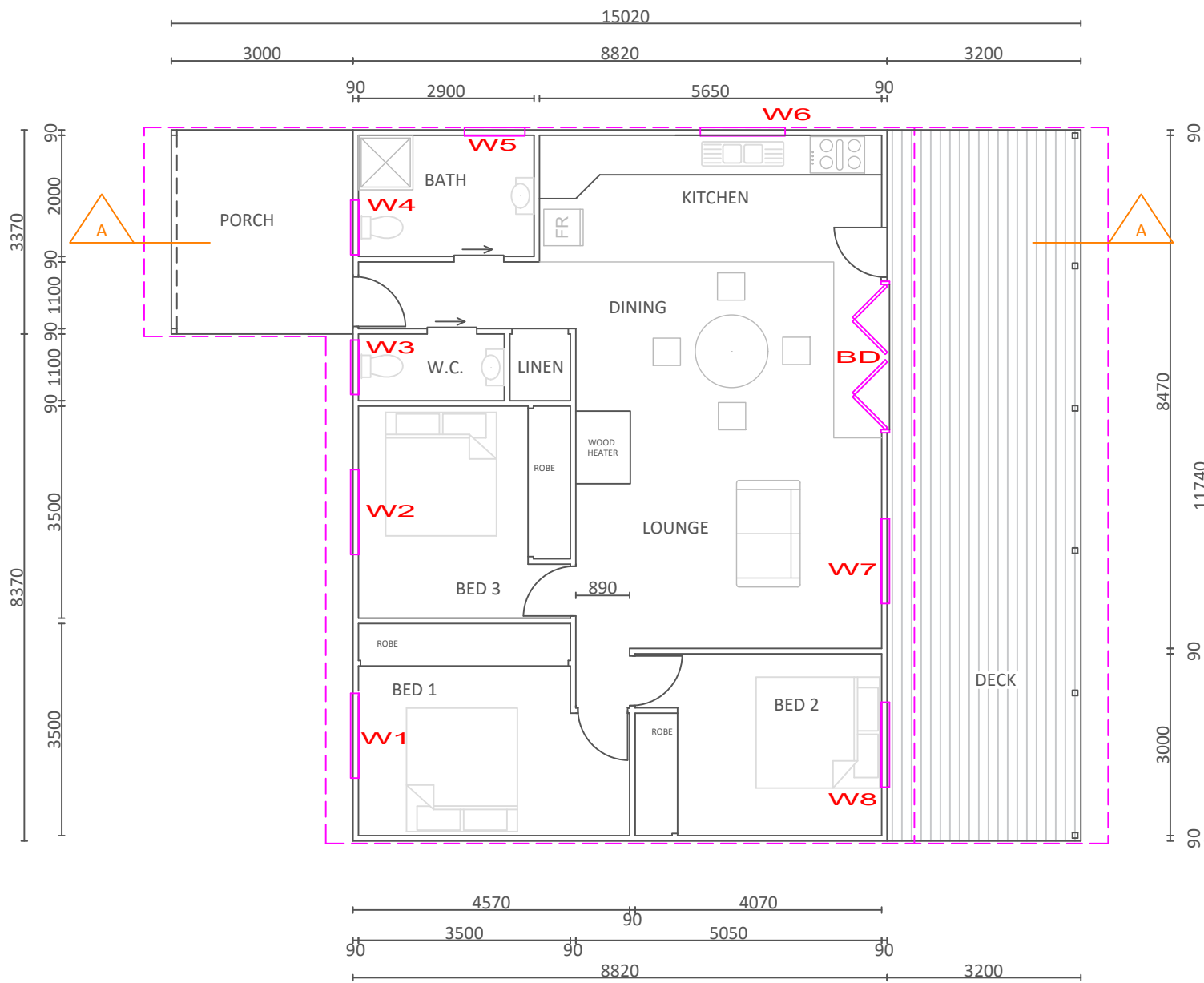
PROPOSED RESIDENCE

FOR: N SAUNDERS
AT: LOT 1, HIGHLAND LAKES RD,
BRANDUM 7304

DATE PUBLISHED: 18/09/24

SCALE: 1:500 PAPER: A3 JOB No.: NSAUNRES

DRAWING:



FLOOR PLAN

NOTES

ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS, BUILDING CODE OF AUSTRALIA, RELEVANT STANDARDS AND LOCAL AUTHORITY.

IT IS THE BUILDERS RESPONSIBILITY TO VERIFY ALL DIMENSIONS, LEVELS AND EXISTING CONDITIONS ON SITE AND ENSURE ANY DISCREPANCIES AND /OR OMISSIONS IN THESE DOCUMENTS ARE RESOLVED PRIOR TO STARTING WORK. THE BUILDER SHALL INCUR ALL COSTS AS A RESULT OF NOT VERIFYING THE ABOVE MENTIONED.

ARCHITECTURAL DETAILS ARE ILLUSTRATIVE ONLY.

CLADDING NOT INCLUDED IN DIMENSIONS. CLADDING PROFILE AND DIMENSIONS BY OWNER.

DRAINAGE SHALL COMPLY WITH PLUMBING CODE OF AUSTRALIA TO COUNCIL APPROVAL.

ELECTRICAL INSTALLATION SHALL BE TO S.A.A.3000 WIRING RULES

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY UNNOTIFIED CHANGES MADE TO PLANS, DETAILS, MATERIALS AND DIFFERENCES BETWEEN THESE & ENGINEER'S PLANS.

FOR LINTELS & LOAD BEARING BEAMS REFER TO ENGINEERING/TRUSS MANUFACTURERS DETAILS FOR SIZE AND TYPE

SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH NCC 9.5

WOOD HEATER

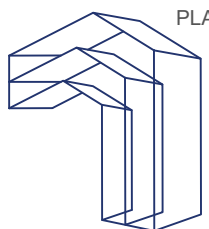
SELECTED HEATER MUST BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS.

CLEARANCES TO WALLS SPECIFIED WITHIN THE BCA MAY BE REDUCED IF THE APPLIANCE HAS A BUILT-IN HEAT SHIELD AND MANUFACTURER'S INSTRUCTIONS CAN PROVE COMPLIANCE WITH AS/NZS 2918. (PROVIDE MANUFACTURERS CERTIFICATION TO BUILDING SURVEYOR PRIOR TO APPLIANCE INSTALLATION).

MIN. 400mm CLEARANCE BETWEEN TRIPLE SKIN FLUE AND WALL BEHIND.

IF HEATER MANUFACTURER PERMITS, A PROPRIETARY TITLE/SLATE HEARTH OVERLAY MAY BE USED. ALTERNATIVELY HEARTH CAN BE CONSTRUCTED AS FOLLOWS:

- 150mm HIGH HEARTH, WITH TILED TOP AND SIDE. HEIGHT ACHIEVED BY LAYING 9mm COMPRESSED SHEETING OVER SHEET FLOORING.
- THE HEARTH MUST EXTEND A MIN. OF 400mm BEYOND THE FRONT AND THE SIDES OF THE HEATER.



PLANS by:

AJM Drafting Services

ABN: 98 602 040 886

154 TARLETON ROAD, TARLETON

Ph: 0417 669 317 E: ben@ajmdrafting.com.au

NOTES:

CONTRACTOR BEFORE COMMENCING WORK:
 -ALL RELEVANT START WORK CHECKS HAVE BEEN COMPLETED
 -SITE HEIGHT, SITE NUMBER, SITE DIMENSIONS AND ALL SITE DETAILS ARE CORRECT
 DO NOT SCALE FROM DRAWINGS
 CONFIRM PRODUCTS LISTED ARE CORRECT WITH OWNER BEFORE INSTALLING.

REVISION:

NORTH:



PROPOSED

PROPOSED RESIDENCE

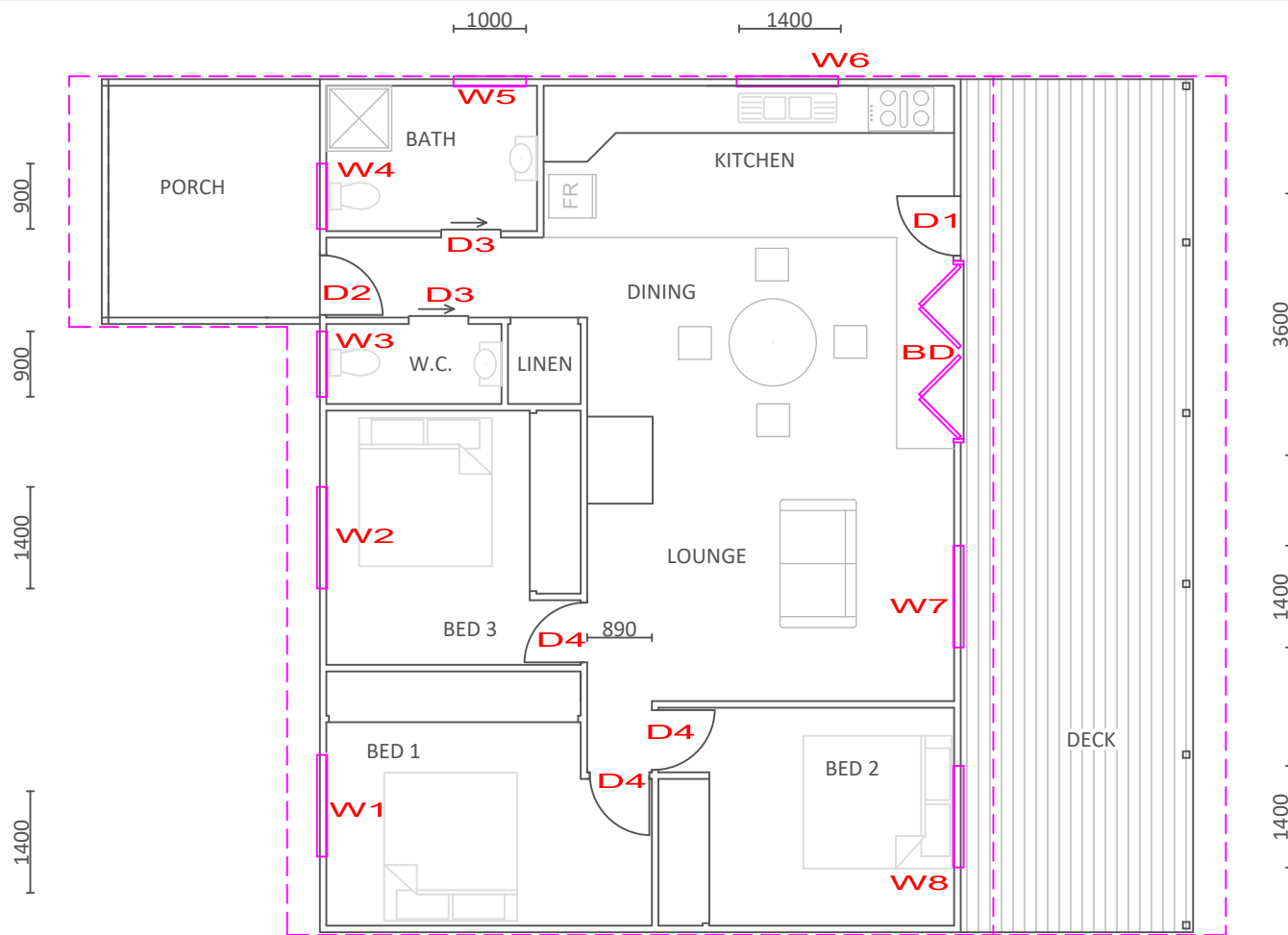
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 BRANDUM 7304

DATE PUBLISHED: 18/09/24

SCALE: 1:100 PAPER: A3 JOB No.: NSAUNRES

DRAWING:

FLOOR PLAN 03



WINDOW SETOUT PLAN

DOOR SCHEDULE

D1	ALUMINIUM GLASS EXTERNAL DOOR
D2	35mm PRE PRIMED SOLID EXTERNAL DOOR
D3	35mm PRE PRIMED INTERNAL CAVITY SLIDING DOOR
D4	35mm PRE PRIMED INTERNAL DOOR
BD	BI FOLD ALUMINIUM DOOR

WINDOW AND GLASS SCHEDULE

ROOM	No.	W	H	AREA	GLASS VALUES	GLASS TYPE	ORIENT	SHADE
BED1	W1	1.4	1.2	1.68	U2.6,SHGC0.55 OR LESS	CLEAR DOUBLE GLAZED	W	450
BED3	W2	1.4	1.2	1.68	U2.6,SHGC0.55 OR LESS	CLEAR DOUBLE GLAZED	W	450
W.C.	W3	0.9	0.9	0.81	U2.6,SHGC0.55 OR LESS	BY OWNER	W	450
BATH	W3	0.9	0.9	0.81	U2.6,SHGC0.55 OR LESS	BY OWNER	W	3
BATH	W4	1	0.4	0.4	U2.6,SHGC0.55 OR LESS	CLEAR DOUBLE GLAZED	N	0
KITCH	W5	1.4	0.9	1.26	U2.6,SHGC0.55 OR LESS	CLEAR DOUBLE GLAZED	N	0
OUNGE	W6	1.4	1.2	1.68	U2.6,SHGC0.55 OR LESS	CLEAR DOUBLE GLAZED	E	3.2
BED2	W7	1.4	1.2	1.68	U2.6,SHGC0.55 OR LESS	CLEAR DOUBLE GLAZED	E	3.2

WINDOWS

GENERALLY GLAZING TO BE IN ACCORDANCE WITH NCC PART 8

BUILDER/ WINDOW MANUFACTURER TO ENSURE WINDOW SIZING WORKS CLADDING PROFILE, BRICKS AND WALLS. CHECK WITH WINDOW MANUFACTURER FOR SIZING. SIZING IS SHOWN AS A GUIDE ONLY.

IT IS THE BUILDERS RESPONSIBILITY TO ENSURE WINDOW SPACING WORKS BRICK SPACING.

CONFIRM PRODUCTS LISTED ARE CORRECT WITH OWNER BEFORE ORDERING.

FOR STUD SPACING CHECK WITH WINDOW MANUFACTURER.

FRAMES: ALUMINIUM
TYPE: AWNING
COLOUR: BY OWNER
WINDOW SCREENS: CHECK BAL REPORT FOR REQUIREMENT.

WALL CLADDING

WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH NCC7.5 AND MANUFACTURERS SPECIFICATIONS.
FLASHINGS AND CAPPINGS IN ACCORDANCE WITH NCC 7.2.7
CLEARANCE BETWEEN CLADDING AND GROUND IN ACCORDANCE WITH NCC 7.5.7
CHECK BAL FOR REQUIREMENTS

ANCILLARY PROVISIONS

GENERALLY TO BE IN ACCORDANCE WITH NCC PART 12.
CONSTRUCTION IN ALPINE AREAS TO BE IN ACCORDANCE WITH NCC12.2
ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF WALLS USING A WALING PLATE TO BE IN ACCORDANCE WITH NCC 12.3
HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES TO BE IN ACCORDANCE WITH NCC 12.4

ENERGY EFFICIENCY

GENERALLY TO BE IN ACCORDANCE WITH NCC PART 13.
BUILDING FABRIC IN ACCORDANCE WITH NCC 13.2, INSULATION TO COMPLY WITH AS/NZ4859.1
EXHAUST FANS IN ACCORDANCE WITH NCC 13.4.5

Glazing

Calculator

1. Enter building name and description below - identifying the particular part(s) covered by this assessment.

LOT 1, HIGHLAND LAKES RD, BRANDUM 7304

Floor construction: Area: Number of storeys:

Direct contact: Ground suspended: Suspended upper floor(s):

Area of dwelling: Area of glazing: (17% of floor area) Number of rows for table below: (as currently displayed)

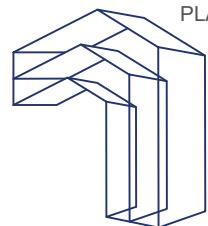
Climate zone: Constants: C_g 7.02 C_{sec} 0.0839 Allowances C_g / C_{sec} 7.0 C_{sec} x area 8.7

ID	Description (optional)	Facing sector	Size			Factors affecting impact of glazing performance				Performance		Shading			Calculation data		Winter outcomes		Summer outcomes		
			Height (m)	Width (m)	Area (m²)	Room type	Level	Floor type	Frame colour	Openability	Total System U-Value (AFRC)	Total System SHGC (AFRC)	P (m)	H (m)	P/H	E _s	Area used (m²)	% of winter heat loss	% of winter heat gain	SHGC's E _s x Area	Element share % of allowance used
1	W1	V	1.20	1.40	1.68	Bedroom	Ground Direct	Caspet	Dark	Awning	2.90	0.70	0.46	1.30	0.35	0.45	1.68	3%	10%	0.5	10% of 48%
2	W2	V	1.20	1.40	1.68	Bedroom	Ground Direct	Caspet	Dark	Awning	2.90	0.70	0.46	1.30	0.35	0.45	1.68	3%	10%	0.5	10% of 48%
3	W3	V	0.90	0.90	0.81	Utility	Ground Direct	Vinyl Tile	Dark	Awning	2.90	0.70	0.46	1.30	0.35	0.45	0.81	4%	5%	0.3	8% of 48%
4	W4	V	0.90	0.90	0.81	Utility	Ground Direct	Vinyl Tile	Dark	Awning	2.90	0.70	1.50	2.10	0.38	0.45	0.81	4%	5%	0.3	8% of 48%
5	W5	N	0.90	1.00	0.90	Utility	Ground Direct	Vinyl Tile	Dark	Awning	2.90	0.70	0.10	0.10	1.00	0.13	0.40	3%	2%	0.0	1% of 48%
6	W6	N	0.90	1.40	1.26	Utility	Ground Direct	Vinyl Tile	Dark	Awning	2.90	0.70	0.10	0.10	1.00	0.13	1.26	1%	10%	0.1	3% of 48%
7	W7	E	1.20	1.40	1.68	Utility	Ground Direct	Caspet	Dark	Awning	2.90	0.70	1.50	2.10	0.38	0.41	1.68	3%	10%	0.5	10% of 48%
8	W8	E	1.20	1.40	1.68	Bedroom	Ground Direct	Caspet	Dark	Awning	2.90	0.70	1.50	2.10	0.38	0.41	1.68	3%	10%	0.5	10% of 48%
9	abd	E	2.10	3.60	7.56	Utility	Ground Direct	Caspet	Dark	Highly Operable	2.90	0.70	1.50	2.10	0.71	0.30	7.56	41%	38%	1.6	38% of 48%

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE GLAZING CALCULATOR
By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website: abc.gov.au. The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (however caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, reasonableness, fitness for any purpose or completeness of this publication or any information which may appear on any linked website, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.

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If inputs are valid



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NOTES:

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REVISION:

NORTH:



PROPOSED

PROPOSED RESIDENCE

FOR: N SAUNDERS
AT: LOT 1, HIGHLAND LAKES RD,
BRANDUM 7304

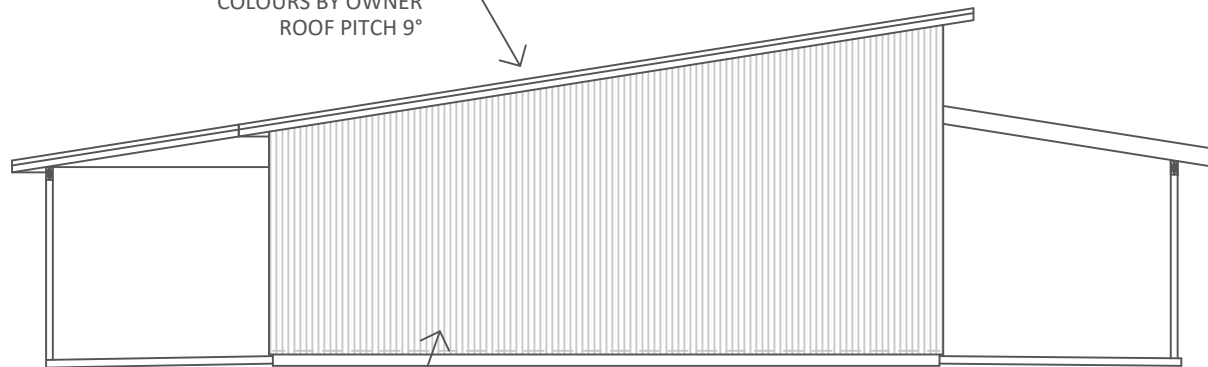
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SCALE: 1:100 PAPER: A3 JOB No.: NSAUNRES

DRAWING:

WINDOW SETOUT 04

COLORBOND ROOF, FASCIA, GUTTERS AND CAPPINGS
COLOURS BY OWNER
ROOF PITCH 9°

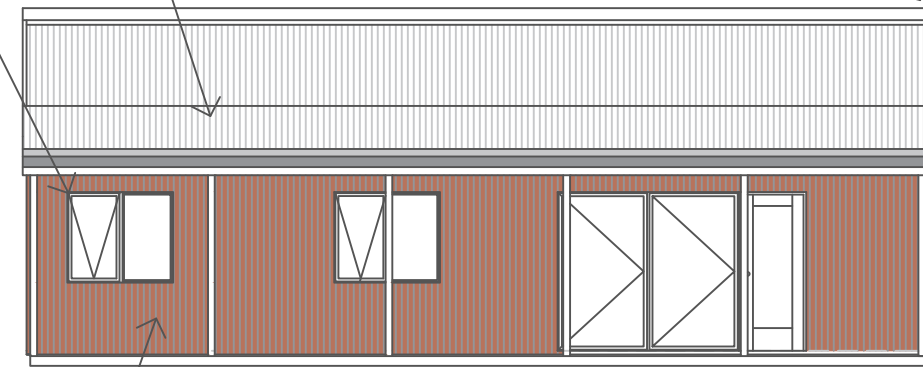


SOUTH ELEVATION

COLORBOND CLADDING AND CAPPINGS
COLOURS BY OWNER

COLORBOND ROOF, FASCIA, GUTTERS AND CAPPINGS
COLOURS BY OWNER
ROOF PITCH 9°

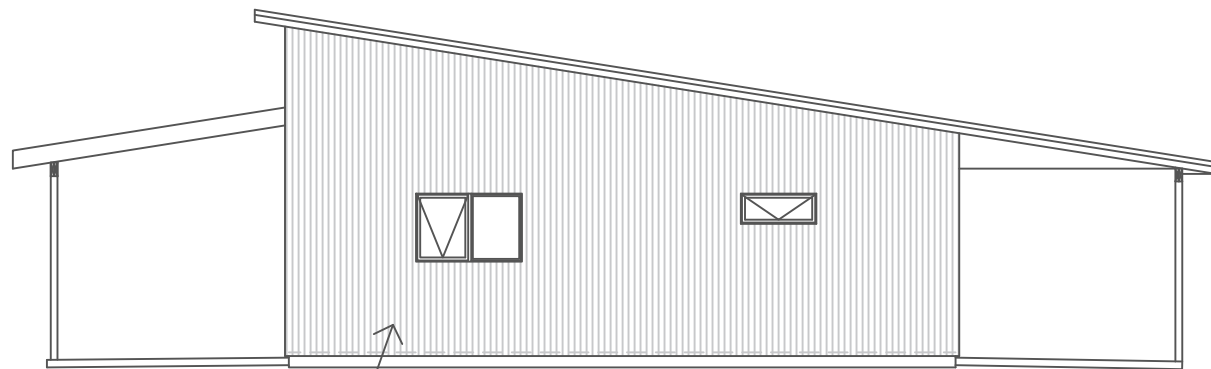
ALUMINIUM FRAMED WINDOWS
COLOUR BY OWNER



EAST ELEVATION

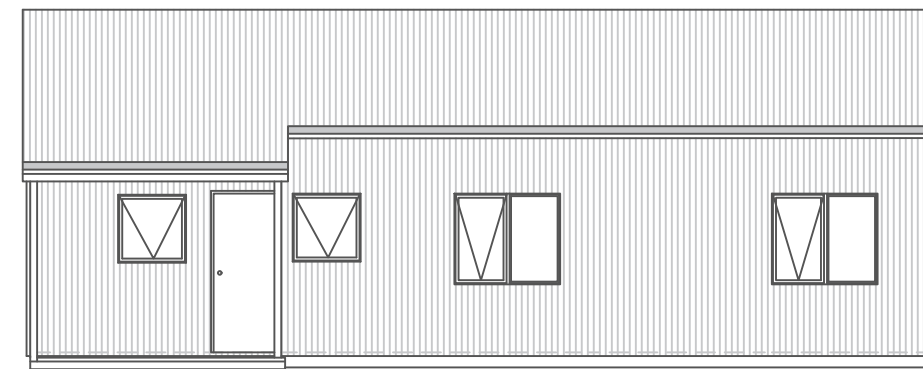
WEATHERTEX CLADDING AND CAPPINGS
COLOURS BY OWNER

COLORBOND ROOF, FASCIA, GUTTERS AND CAPPINGS
COLOURS BY OWNER
ROOF PITCH 9°



NORTH ELEVATION

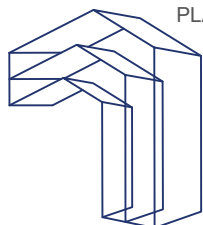
COLORBOND CLADDING AND CAPPINGS
COLOURS BY OWNER



WEST ELEVATION

WALL CLADDING

WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH NCC7.5 AND MANUFACTURERS SPECIFICATIONS.
FLASHINGS AND CAPPINGS IN ACCORDANCE WITH NCC 7.2.7
CLEARANCE BETWEEN CLADDING AND GROUND IN ACCORDANCE WITH NCC 7.5.7
CHECK BAL FOR REQUIREMENTS



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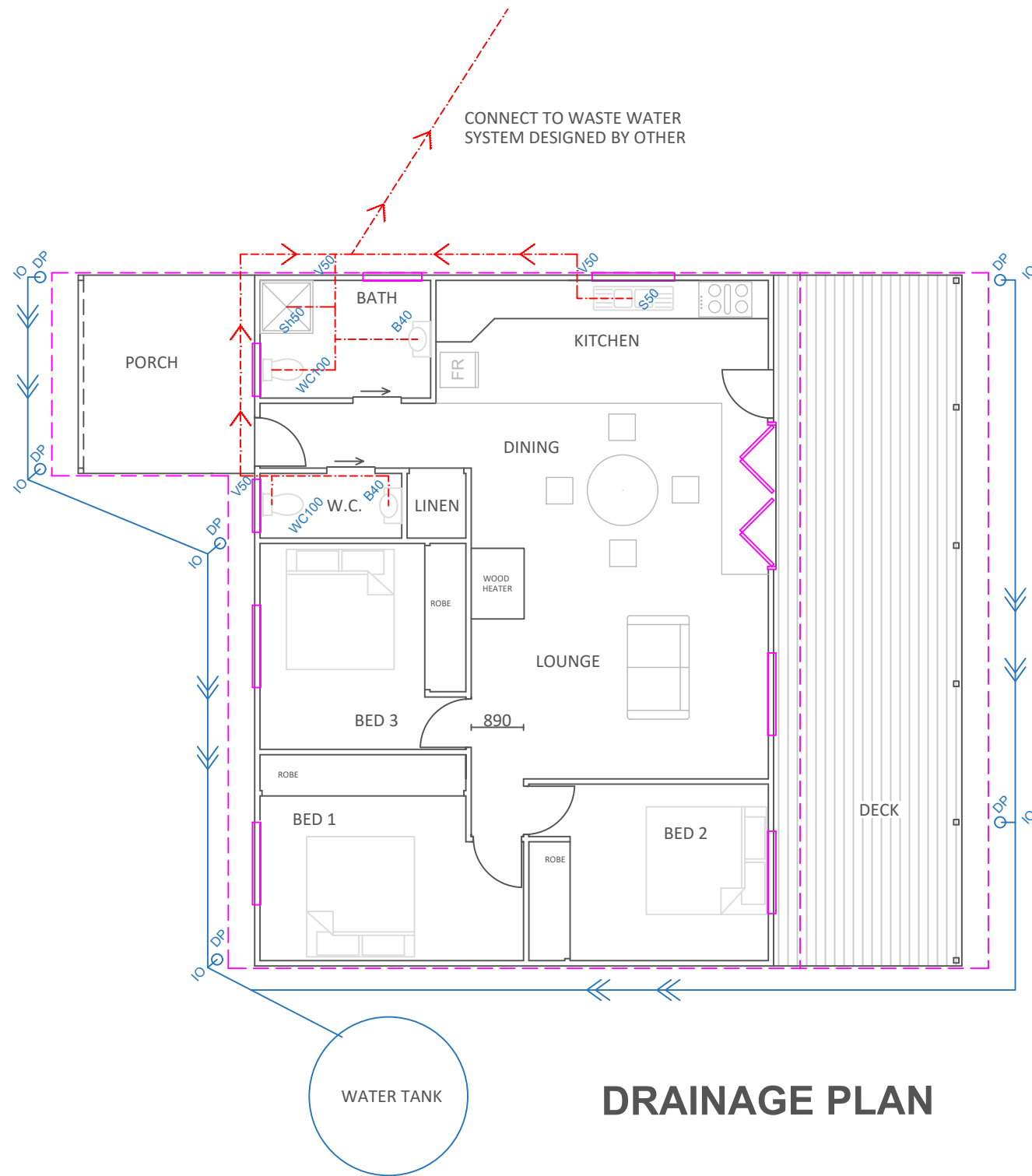
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BRANDUM 7304

DATE PUBLISHED: 18/09/24

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DRAWING:



DRAINAGE PLAN

LEGEND AND NOTES:

- STORMWATER LINES (100mm UPVC)
- SEWER LINE (100mm UPVC)
- DP - DOWNPIPE (90mm UPVC)

INSTALL INSPECTION OPENINGS AT MAJOR BENDS FOR STORMWATER AND ALL LOW POINTS OF DOWNPIPES.

PROVIDE SURFACE DRAIN TO BACK OF BULK EXCAVATIONS TO DRAIN LEVELED PAD PRIOR TO COMMENCING FOOTING EXCAVATION.

FOR FURTHER PLUMBING NOTES REFER TO NCC NOTES PAGE

CONTRACTOR TO INSPECT ONSITE BEFORE CONSTRUCTION TO DETERMINE ON SITE CONNECTION AND WASTE WATER REPORT INSTRUCTIONS. SHOWN IS A GUIDE ONLY

ENSURE ALL WET AREAS ARE WATERPROOFED IN ACCORDANCE WITH NCC 10.2. REFER TO WATERPROOFING PAGE FOR FURTHER DETAILS.

SERVICES:

STORMWATER TO DISCHARGE TO PROPOSED STORMWATER TANK.

SEWER TO DISCHARGE TO SEPTIC SYSTEM DESIGNED BY OTHER. SHOWN IS A GUIDE ONLY.

THE HEATED WATER SYSTEM MUST BE DESIGNED AND INSTALLED WITH PART B2 OF NCC VOLUME THREE - PLUMBING CODE OF AUSTRALIA

DOWNPIPES MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH FOR EACH DOWNPIPE.

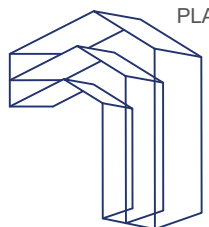
ROOF DRAINAGE, ROOFING AND CLADDING IN ACCORDANCE WITH NCC PART 7.

FACILITIES

GENERALLY IN ACCORDANCE WITH NCC 10.4 REFER TO PLAN FOR LOCATION. CHECK WITH OWNER ON LOCATION AND TYPE BEFORE INSTALLATION.

PLUMBING KEY AND SCHEDULE

FIXTURE	KEY	DRAINAGE
BASIN	B40	40mm Ø
SINK	S50	50mm Ø
SHOWER	Sh50	50mm Ø
BATH	Bth40	40mm Ø
TOILET	WC100	100mm Ø
TROUGH	Tr50	50mm Ø
VENT	V50	50mm Ø
INSPECTION OUTLET	IO	
DOWNPIPE	DP	



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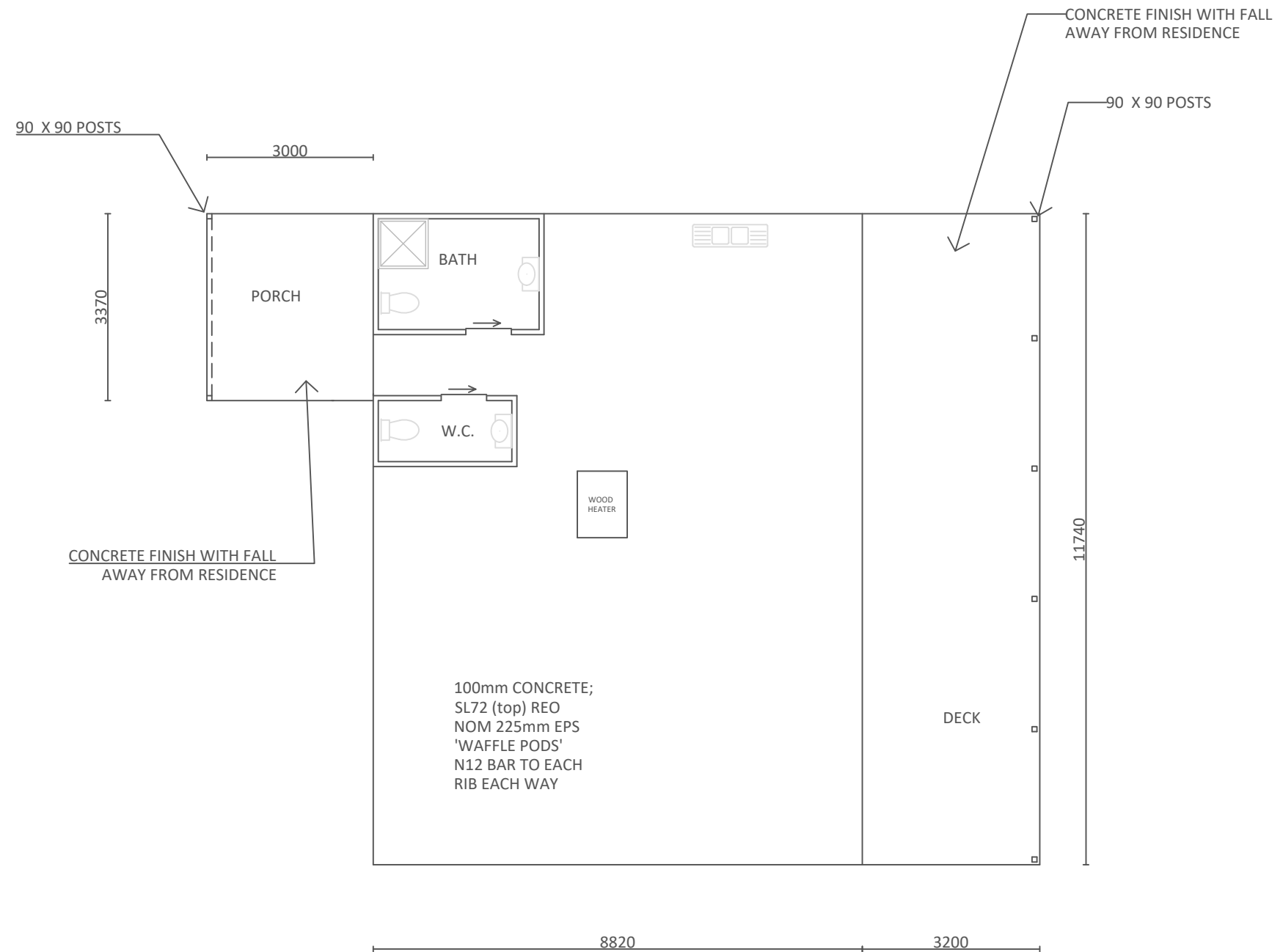
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 BRANDUM 7304

DATE PUBLISHED: 18/09/24

1:100 PAPER: A3 JOB No.: NSAUNRES

DRAWING:

DRAINAGE PLAN 06



SLAB SET OUT PLAN

REFER TO THE PROJECT ENGINEER'S DRAWINGS FOR SLAB CONSTRUCTION DETAILS. ENGINEERS DETAILS TAKE PRECEDENT OVER THESE DRAWINGS. DRAWN ARE A GUIDE ONLY.

SITWORKS:

GENERALLY IN ACCORDANCE WITH NCC PART 3, EARTHWORKS IN ACCORDANCE WITH NCC 3.2 COMPLY WITH ALL REQUIREMENTS TO LIMIT STORMWATER RIN OFF FROM THE SITE DURING CONSTRUCTION.
 CHECK WITH LOCAL COUNCIL FOR TEMPORARY AND PERMANENT SITE ACCESS REQUIREMENTS.
 OWNERS SHALL VERIFY THE CORRECT BOUNDARY LINE OF THE PROPOERTY, CONSEQUENT TO THAT THE BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SETTING OUT OF THE PROPOSED WORKS. ALL DIMENSIONS TO BE SITE CHECKED.
 THE BUILDER SHALL CONFIRM GROUND LEVELS AND DETERMINE THE FINISHED FLOOR LEVEL ON SITE WITH OWNERS.
 EXCAVATION AND BACK FILLING SHALL COMPLY WITH NCC 3.1.1
 DRAINAGE WORK SHALL COMPLY WITH NCC 3.3
 FLOOR SLABS SHALL BE A MIN. OF:
 - 150mm ABOVE FINISHED GROUND LEVELS
 - 50mm ABOVE PAVED SURFACES.
 SURFACE WATER DRAINAGE IN ACCORDANCE WITH NCC 3.3.3
 SITE TO FALL AWAY FROM BUILDING AT 50mm OVER THE FIRST 1m

CONCRETE:

CONCRETE IN ACCORDANCE WITH NCC4.2..10 & AS3600.

FOOTINGS SHALL BE FOUNDED ON APPROVED MATERIAL HAVING A BEARING CAPACITY OF 100kPA

CONCRETE SLUMP: 100mm
 CONCRETE STRENGTH: 20MPa @ 28 DAYS
 AGGREGATE SIZE: 20mm NOMINAL
 FINISH: STEEL TROWEL

ALL CONCRETE SHALL BE CURED FOR 7 DAYS. THE ENGINEERS APPROVAL OF THE PROPOSED METHOD OF CURING SHALL BE OBTAINED BEFORE POURING.

FORM & STEEL WORK

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.

UNLESS OTHERWISE NOTED, ALL STEEL SHALL BE IN ACCORDANCE WITH:
 AS3679.1 GRADE 300 FOR ROLLED SECTION
 AS1163 GRADE 350 FOR RHS SECTIONS
 AS1163 GRADE 350 FOR CHS SECTIONS
 AS3378 GRADE 350 FOR ALL PLATE
 AS3679.1 GRADE 350 FOR ALL FLAT
 AS1397 GRADE 450 FOR 1.5, 1.9, 2.4 AND 3.0 BMT OF COLD-FORMED STEEL SECTIONS.

SITE:

GENERALLY IN ACCORDANCE WITH NCC PART 3.

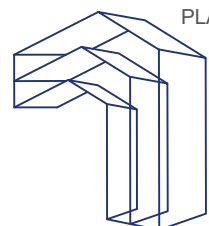
UNDER FLOOR AREA TO BE CLEARED OF ALL VEGETATION, TOP SOIL AND SOFT MATERIAL. FOR TYPICAL FOOTING AND FLOOR CONSTRUCTION VIEW ENGINEERS DETAILS.

SOIL & WATER MANAGEMENT

DOWN PIPES TO BE CONNECTED INTO COUNCIL STORMWATER AS AS ROOF IS INSTALLED
 INSTALL AG DRAIN PRIOR TO FOOTING EXCAVATION
 EXCAVATED MATERIAL TO BE PLACED UPSLOPE OF AG DRAIN
 EXCAVATED MATERIAL TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE AND / OR USED AS FILL ONSITE FOR ANY LOW POINTS.

KEY

SLAB EDGE



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DRAWING:

**SLAB SET OUT
 PLAN 07**

REFER TO THE PROJECT ENGINEER'S DRAWINGS FOR FLOOR FRAME CONSTRUCTION DETAILS. ENGINEERS DETAILS TAKE PRECEDENT OVER THESE DRAWINGS. DRAWN ARE A GUIDE ONLY.

ENGINEERED PRODUCTS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

LOAD BEARING WALLS SHOWN AS A GUIDE ONLY. TRUSS MANUFACTURERS DETAILS TAKE PRECEDENT OVER THESE DRAWINGS.

BOTTOM PLATE TO FLOOR FRAME	CHEMICAL, EXPANSION OR FIRED PROPRIETARY FASTENERS TO MANUFACTURERS REC. OR 1-M10 BOLT AT 900crs GENERALLY
TOP AND BOTTOM PLATES TO STUDS	30 X 0.8MM G.I. STRAP AT 1200 MAX CRS 6 / 30 X 2.8MM Ø NAILS EACH END OF STRAP
LINTELS TO STUDS	1800MM SPAN MAX. 30 X 0.8MM G.I. STRAP 4 / 30 X 2.8MM Ø NAILS EACH END 6000MM SPAN MAX. 2 / 30 X 0.8MM G.I. STRAPS 6 / 30 X 2.8MM Ø NAILS EACH END

BRACING

REFER TO BRACING DETAILS FROM ENGINEER. BRACING AND TIE DOWNS ARE TO COMPLY WITH AS1684.4

CONSTRUCTION NOTES:

ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS1684.2 AND NCC PART 6.

LINTEL SCHEDULE:

AS A GUIDE ONLY TRUSS MANUFACTURER TO CONFIRM LINTELS

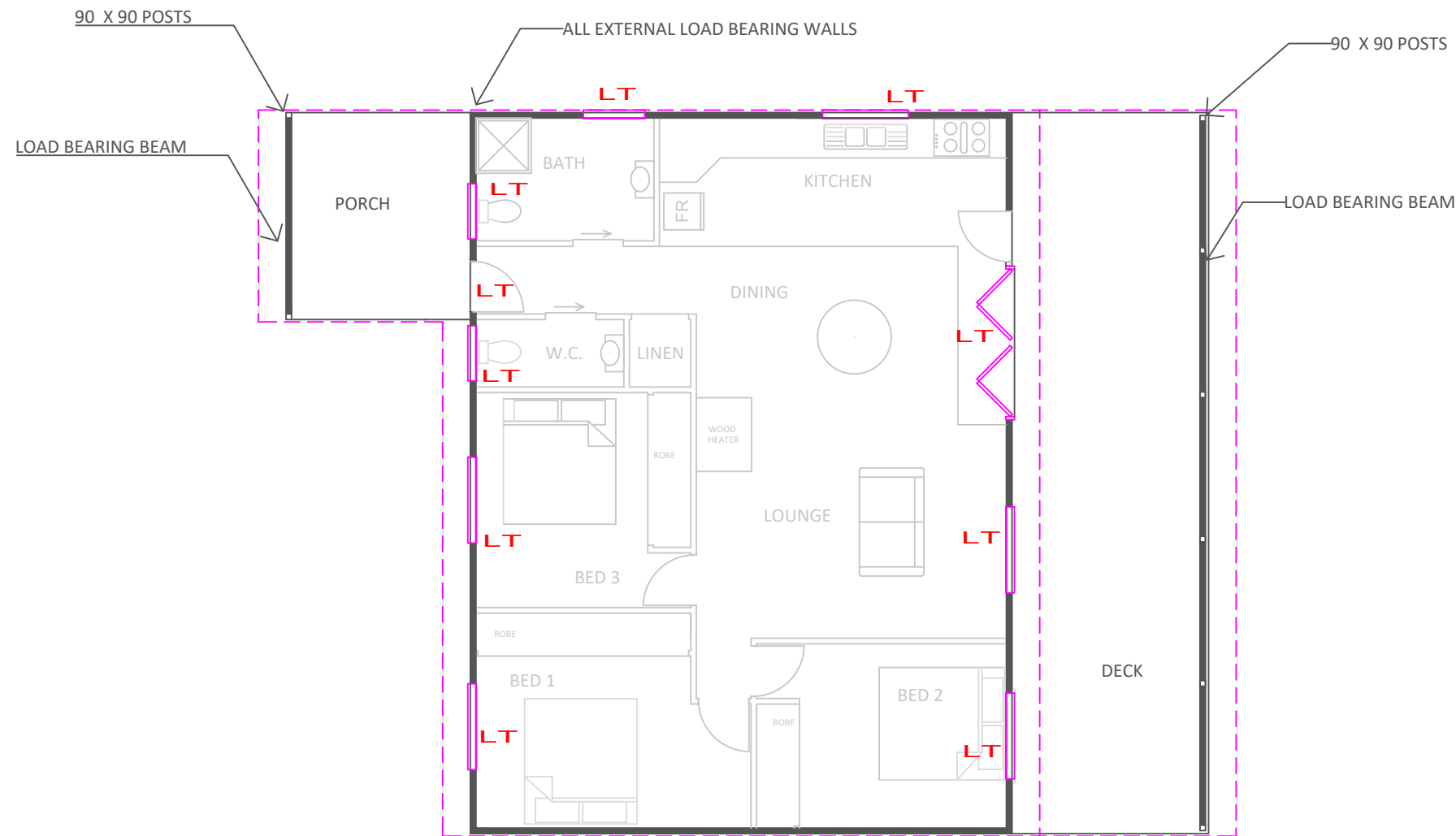
SPAN	STEEL	TIMBER (F17)
0 - 1500mm	75 X 100 X 10 UA	140 X 45
1500mm - 2400mm	100 X 100 X 10 EA	190 X 45
2400mm - 2800mm	1500 X 100 X 10 UA	240 X 45

ENGINEERS SELECTED LINTELS AND BEAMS TAKE PRECEDENCE OVER THIS PLAN.

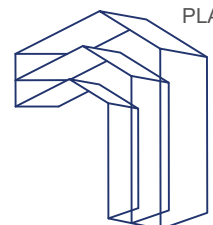
WALL FRAMING:

WALL FRAMING TO BE A MIN. MGP10 RADIATA PINE

COMMON STUDS	90 X 35 @ 450 crs
STUDS AROUND WET AREAS	90 X 45 @ 450 crs
NOGGINGS	90 X 35
OPEN STUDS	90 X 35
TOP & BOTTOM PLATES	90 X 35



WALL FRAMING PLAN



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REVISION:

NORTH:



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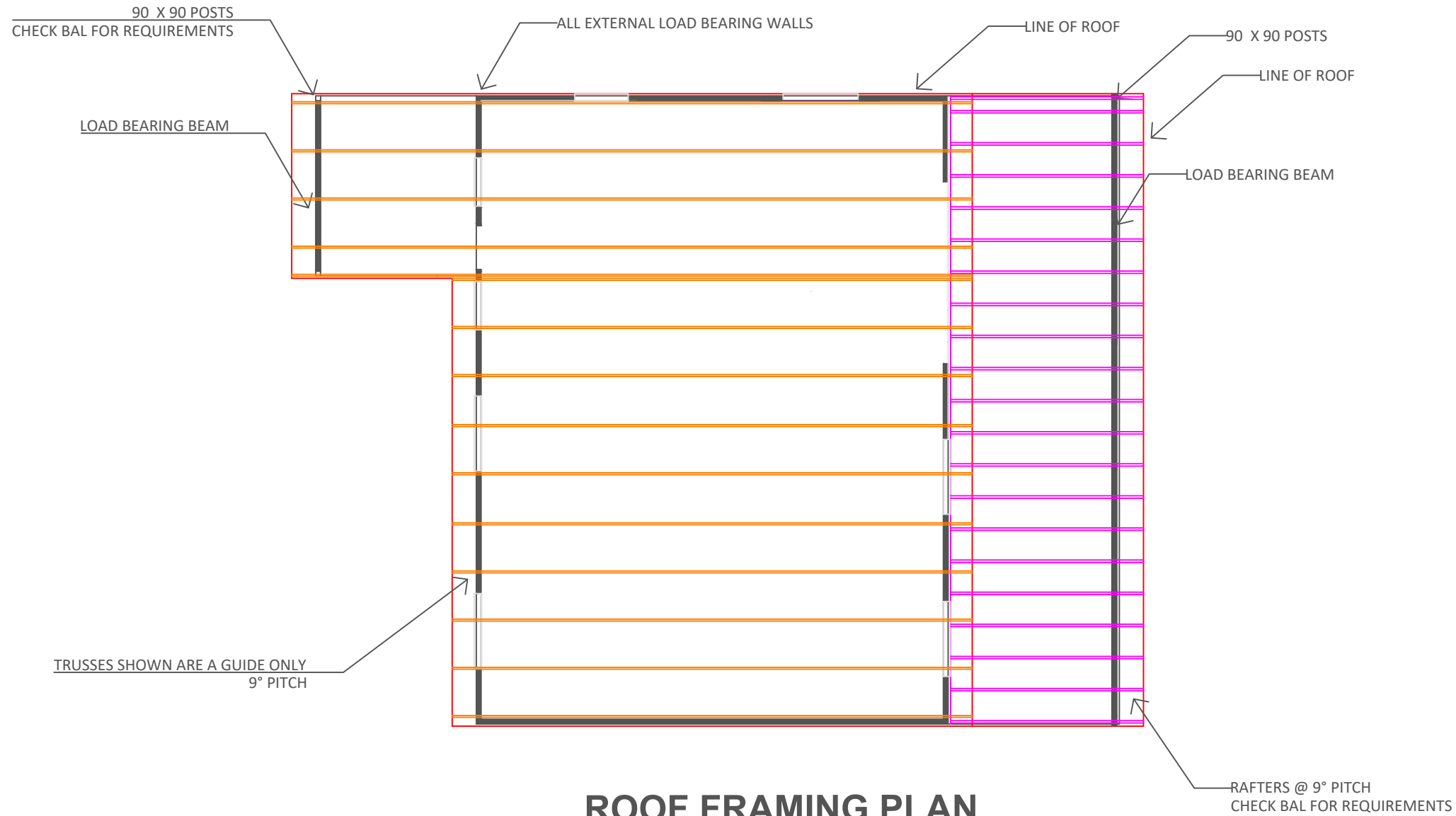
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SCALE: 1:100 **PAPER:** A3 **JOB No.:** NSAUNRES

DRAWING:

WALL FRAMING PLAN 08

ENGINEERED PRODUCTS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
 LOAD BEARING WALLS SHOWN AS A GUIDE ONLY. TRUSS MANUFACTURERS DETAILS TAKE PRECEDENT OVER THESE DRAWINGS.



ROOF FRAMING PLAN

ROOF TRUSSES TO TOP PLATES	30 X 0.8MM G.I. STRAP 4 / 30 X 2.8MM Ø NAILS EACH END OR TWO FRAMING ANCHORS
ROOF BATTENS TO TRUSSES	WITHIN 1200MM OF ANY EDGE: 2 / 75 X 3.05MM Ø DEFORMED SHANK NAILS OR 75 LONG - NO. 14 TYPE SCREW OR 1 FRAMING ANCHOR 4-2.8MM Ø NAILS EACH LEG
	GENERAL AREA: MORE THAN 1200MM OF ANY EDGE 2 / 75 X 3.05MM Ø DEFORMED SHANK NAILS AT 900 CRS EACH WAY.

ALL NAILS USED FOR FRAMING ANCHORS & STRAPS SHALL BE CORROSION PROTECTED FLAT HEAD CONNECTOR NAILS. (GALVANISED CLOUTS CAN BE USED FOR THIS PURPOSE)

LINTEL SCHEDULE:

AS A GUIDE ONLY TRUSS MANUFACTURER TO CONFIRM LINTELS

SPAN	STEEL	TIMBER (F17)
0 - 1500mm	75 X 100 X 10 UA	140 X 45
1500mm - 2400mm	100 X 100 X 10 EA	190 X 45
2400mm - 2800mm	1500 X 100 X 10 UA	240 X 45

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CONSTRUCTION NOTES:

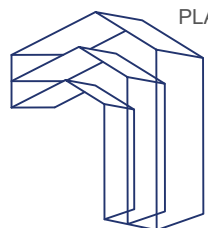
BATTENS TYPICALLY 70 X 35 (MGP12) @ 900 crs MAX. FIX WITH ROOFZIPS M6 X 50mm OR SIMILAR

ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS1684.2 AND NCC

ROOF RAFTERS AND TRUSS LAYOUT IS A GUIDE ONLY. MANUFACTURERS AND ENGINEERS LAYOUT TAKES PRECEDENCE OVER THIS PLAN.

REFER TO SECTION PLAN FOR CONSTRUCTION TO ALLOW FOR VENTILATION

REFER TO ENGINEERING/ROOF TRUSS MANUFACTURER DETAIL FOR BRACING DETAILS



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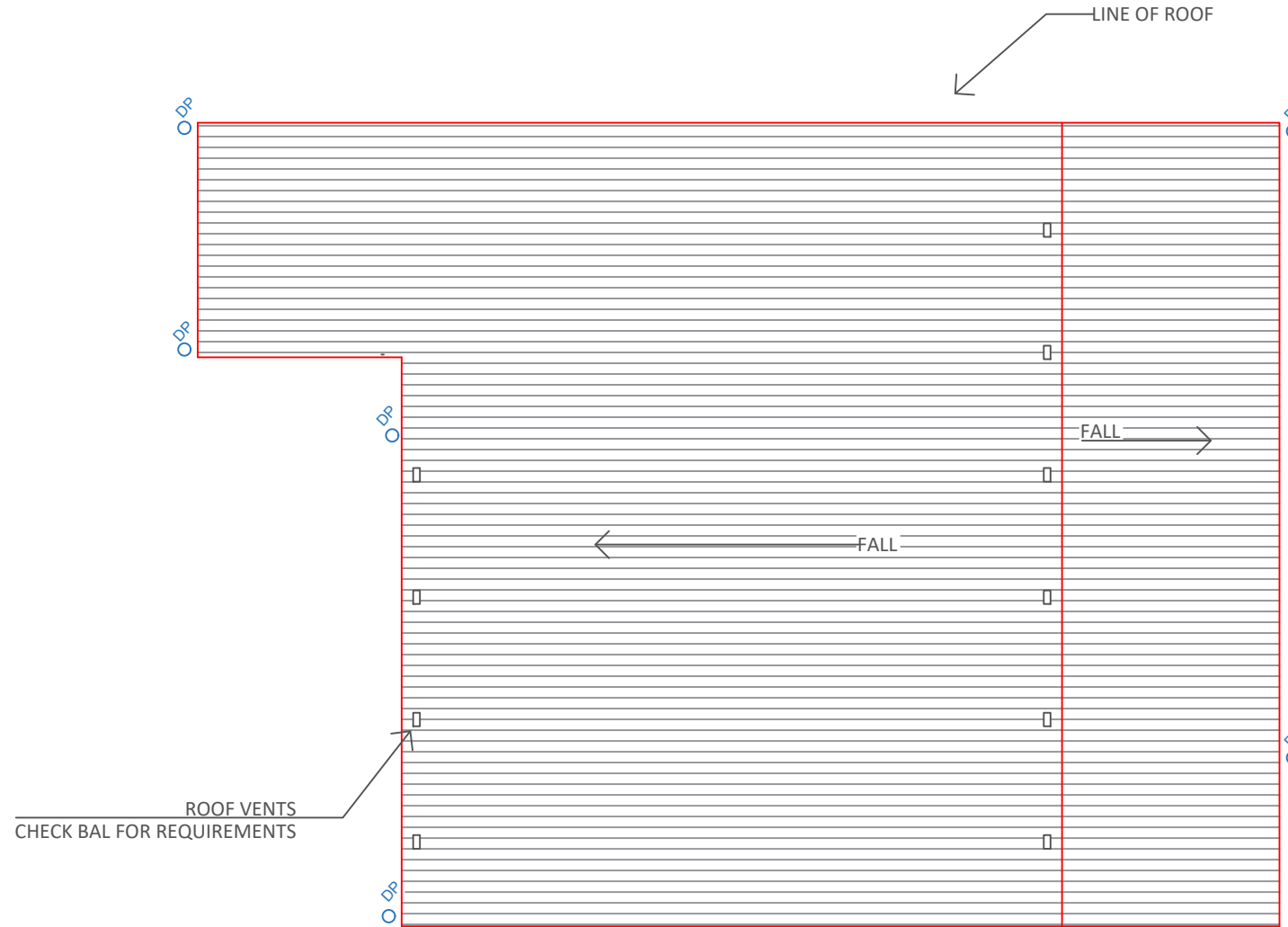
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DRAWING:

**ROOF FRAMING
 PLAN 09**

**ROOF 9° PITCH
FRONT AWNING ROOF PITCH 9°**



ROOF AND WALL CLADDING

GENERALLY TO BE IN ACCORDANCE WITH NCC PART 7

ROOF CLADDING TO BE IN ACCORDANCE WITH NCC 7.2 AND ; ROOF TILES AS2049 & AS 2050 METAL SHEET ROOFING AS 1562.1

PLASTIC SHEET ROOFING AS/NZS 4256.1,.2,.3 & 5 & AS 1562.3.

GUTTERS AND DOWNPIPES, GENERALLY TO BE IN ACCORDANCE WITH NCC 7.4 & AS/NZS 3500.3.2. & THE TASMANIAN PLUMBING CODE.

EAVES, INTERNAL AND VALLEY GUTTERING TO HAVE CROSS SECTIONAL AREA OF 6500MM².

DOWNPIPES TO BE 90 DIA. OR 100X50 RECTANGULAR SECTION AT MAX. 12000 CRS AND TO BE WITHIN 1000 OF INTERNAL/ VALLEY GUTTER.

WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH NCC 7.5 & MANUFACTURERS SPECIFICATION.

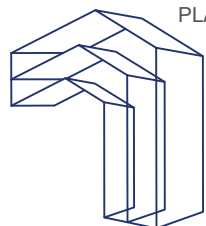
FLASHINGS AND CAPPINGS IN ACCORDANCE WITH NCC 7.2.7

WATER DISCHARGE IN ACCORDANCE WITH NCC 7.2.8

CLEARANCE BETWEEN CLADDING AND GROUND IN ACCORDANCE WITH NCC 7.5.7

EAVE VENTS AT MAX 1800CRS

ROOF PLAN



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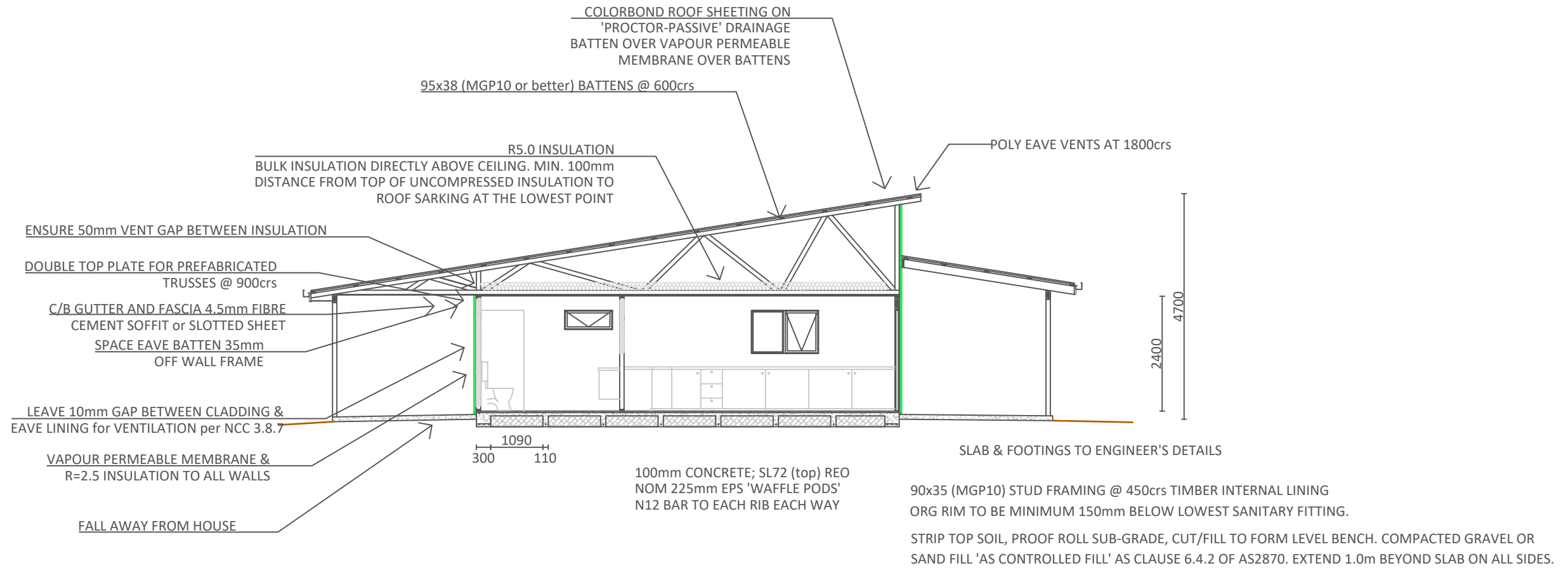
PROPOSED RESIDENCE

FOR: N SAUNDERS
AT: LOT 1, HIGHLAND LAKES RD,
BRANDUM 7304

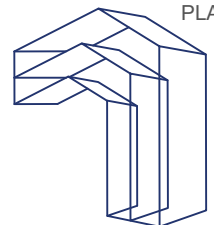
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DRAWING:



SECTION A - A



PLANS by:

AJM Drafting Services

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NOTES:

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SECTION A - A 11

DIMMER SWITCHES TO BE INSTALLED ON LIGHTS IN BEDROOMS, LIVING AND DINING AREAS.

EXTERNAL LIGHTS MUST BE CONTROLLED BY A DAYLIGHT SENSOR OR HAVE AN AVERAGE LIGHT SOURCE EFFICIENCY OF NOT LESS THAN 40 LUMENS/W

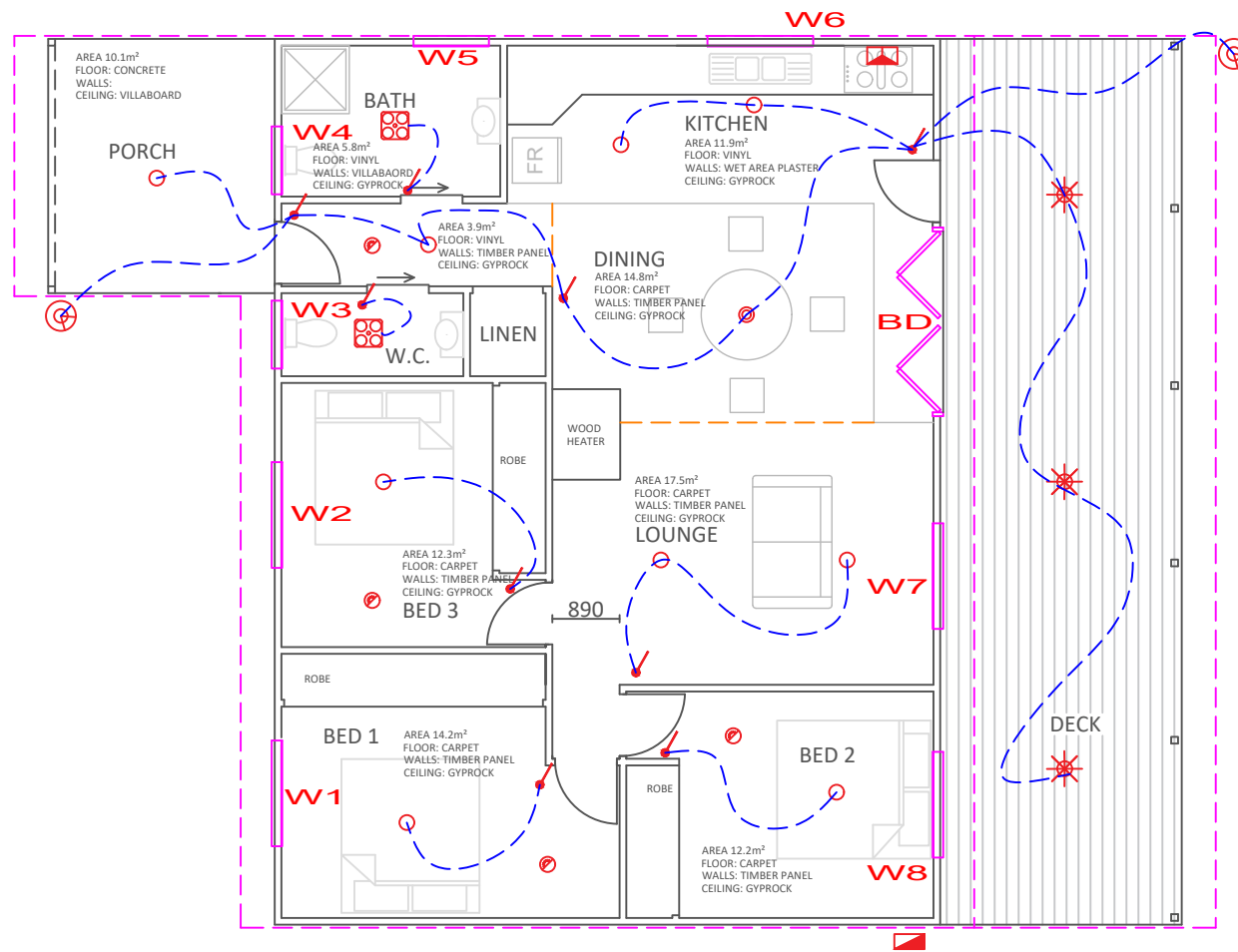
ALL BATHROOM FANS TO BE FITTED WITH BACKDRAUGHT DAMPERS

SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH NCC 9.5

LIGHTING KEY AND SCHEDULE

DESCR.	KEY	
SURFACE MNT BATTEN LIGHT 11W LED GLOBES		1
SWITCH 2W = 2 WAY DIM = DIMMER		
METER BOX		
SMOKE ALARM, HARD WIRED - BATTERY BACKUP		3
RANGE HOOD		1
RECESSED DOWNLIGHT 11W LED GLOBES		9
COMBO - 45 - 60 WATTS		2
SURFACE MNT 1 X 28W FLURO		
LED UP/DOWN INTERIOR WALL AT 1800mm 12W		
LED UP/DOWN INTERIOR WALL AT 1800mm 12W		
LED UP/DOWN INTERIOR WALL AT 1800mm 12W		
SURFACE MNT LED 1 X 11W		3
OUTDOOR SENSOR 13W		2

REFLECTIVE CEILING PLAN



Class 1 & 10a buildings

Building name/description: LOT 1, HIGHLAND LAKES RD, BRANDUM 7304

Classification: Class 1

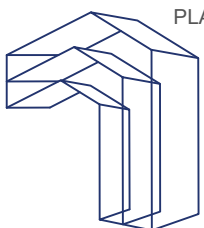
ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			SATISFIES PART 13.7.6		
						Adjustment factor	Dimming % area	Dimming % of full power	Lamp or illumination power density	System share of % of aggregate allowance used	
1	PORCH	Verandah or balcony	10.1 m ²	24 W	Verandah or balcony				4.0 W/m ²	2.4 W/m ²	67% of 35%
2	BATH	Bathroom	5.8 m ²	60 W	Class 1 building				5.0 W/m ²	10.3 W/m ²	25% of 46%
3	KITCHEN	Kitchen	11.9 m ²	22 W	Class 1 building				5.0 W/m ²	1.8 W/m ²	4% of 46%
4	HALL	Corridor	3.9 m ²	11 W	Class 1 building				5.0 W/m ²	2.8 W/m ²	7% of 46%
5	DINING	Living room	14.8 m ²	11 W	Class 1 building				5.0 W/m ²	0.7 W/m ²	2% of 46%
6	LOUNGE	Lounge room	17.5 m ²	22 W	Class 1 building				5.0 W/m ²	1.3 W/m ²	3% of 46%
7	W.C.	Toilet	2.7 m ²	57 W	Class 1 building				5.0 W/m ²	21.1 W/m ²	52% of 46%
8	BED3	Bedroom	12.3 m ²	11 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	2% of 46%
9	BED1	Bedroom	14.2 m ²	11 W	Class 1 building				5.0 W/m ²	0.8 W/m ²	2% of 46%
10	BED2	Bedroom	12.2 m ²	11 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	2% of 46%
11	DECK	Verandah or balcony	37.5 m ²	44 W	Verandah or balcony				4.0 W/m ²	1.2 W/m ²	33% of 35%

142.9 m² 284 W

Class 1 building: 5.0 W/m² 2.3 W/m²
Verandah or balcony: 4.0 W/m² 1.4 W/m²

Average: 4.8 W/m² Average: 4.8 W/m²

if inputs are valid



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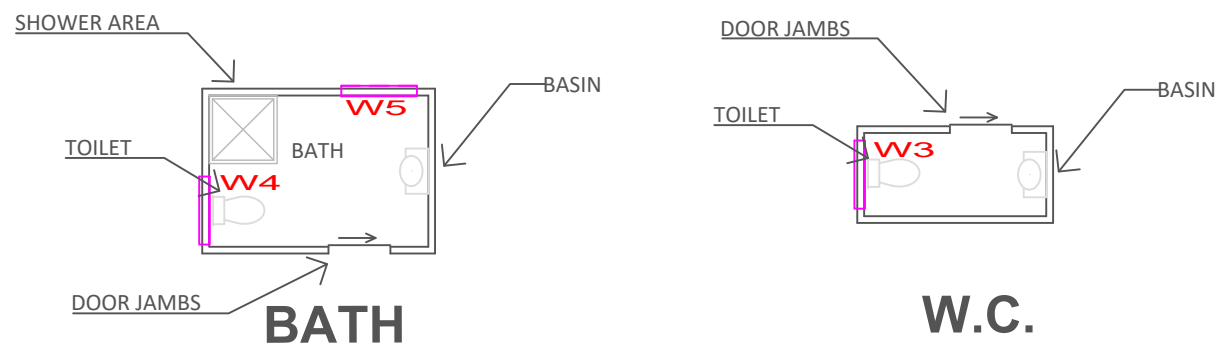
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REFLECTIVE CEILING PLAN 12

WATERPROOFING

The NCC defines a wet area as an area within a building supplied with water from a water supply system, which includes bathrooms, showers, laundries and sanitary compartments and excludes kitchens, bar areas, kitchenettes or domestic food and beverage preparation.



WET AREA WATERPROOFING

Generally in accordance with NCC Part 10.2
 Shower area (enclosed and unenclosed) in accordance with NCC 10.2.2
 Waterproofing Area outside shower area in accordance with NCC 10.2.3
 Areas Adjacent to baths and spas without showers in accordance with NCC10.2.4
 Other areas in accordance with NCC10.2.5

WATERPROOFING SYSTEMS

Waterproofing systems to comply with NCC 10.2.6

WATERPROOFING MATERIALS

Materials - Where required to be installed in accordance with 10.2.2 to 10.2.6, materials used in wet areas forming a waterproofing system must be either waterproof or water resistant in accordance with 10.2.8 and 10.2.9.
 Water resistant surface materials in accordance with NCC10.2.10

WATERPROOFING CONSTRUCTION

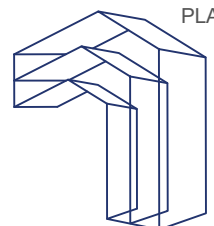
Materials used in wall and floor substrates must comply with NCC 10.2.9.
 Wet area floor falls in accordance with NCC 10.2.12
 Wall and floor surface materials in accordance with NCC 10.2.13
 Shower areas must be designed as either enclosed or unenclosed—
 (a) to include a floor waste with falls complying with 10.2.12; and
 (b) with a -
 (i) stepdown complying with 10.2.15; or
 (ii) hob complying with 10.2.16; or
 (iii) level threshold complying with 10.2.17.
 Unenclosed showers to comply with NCC 10.2.18
 Preformed Shower bases in accordance with NCC10.2.19
 Bath and Spas in accordance with NCC10.2.20

MEMBRANE AND FLOOR APPLICATIONS

Where a screed is used in conjunction with a waterproof membrane, the waterproof membrane can be installed either above or below the tile bed or screed.

Substrate surface preparation for application of membrane
 The substrate surface area where a membrane is to be applied must -
 (a) be clean and dust free; and
 (b) free of indentations and imperfections.
 Penetrations must comply with NCC10.2.23
 Flashings/junctions in accordance with NCC10.2.24
 Shower floor membrane application - For hobless showers, or showers with hobs or stepdowns, the membrane must be applied over the floor and up the vertical face of the wall substrate to a minimum height of 1800 mm above the finished tile level of the floor.
 Shower area membrane requirements for wall sheeting substrates in accordance with NCC10.2.26
 Bond breaker installation for bonded membranes in accordance with NCC10.2.27
 Installation of internal membranes in accordance with NCC10.2.28
 Membrane to drainage connection in accordance with NCC10.2.29
 Drainage riser connection
 (1) Where a preformed shower base is used, the drainage riser must be connected to the tray with a waterproof joint.
 (2) Where an in situ shower tray is used, the membrane must be able to form a permanent waterproof seal to the drainage riser or drainage flange (see Figure 10.2.29).

Door jambs on tiled floors - Where the bottom of a door jamb does not finish above the floor tiling, the portion of the door frame below the floor tiling must be waterproofed to provide a continuous seal between the perimeter flashing and the waterstop.
 Shower Screens in accordance with NCC10.2.23



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NCC COMPLIANCE NOTES

SITWORKS

Generally in accordance with NCC Part 3, Earthworks in accordance with NCC 3.2.
Check with local Authorities regarding Tree Preservation Orders over the site.
Comply with all requirements to limit storm water run off from the site during construction.
Check with local Council for temporary and permanent site access requirements
The Owners shall verify the correct Boundary line of the property. Consequent to that the Builder shall be responsible for the correct setting out of the proposed works. All dimensions to be site checked
The Builder shall confirm ground levels and determine the finished floor level on site with the Owners.
Refer to the Contract for excavation in rock procedures and rates.
Excavation and back filling shall comply with NCC 3.1.1
Drainage work shall comply with NCC 3.3
Floor slabs shall be a minimum of
- 150 mm above finished ground levels
- 50 mm above paved surfaces
Surface water drainage in accordance with NCC 3.3.3
Site to fall away from building at 50mm over the first 1m

Caution:

Please note that only a limited boundary definition survey has been undertaken for this plan and we have marked the boundary as shown.

1. Bearings and distances of the boundaries shown on the plan are as obtained from local government and online resources. They have not been verified by field survey. The dimensions can only be verified by undertaking a comprehensive boundary definition survey to establish the available dimensions of the property.

2. All apparent visible evidence of utilities has been located by field service. If not able to be so located, services have been plotted from the records of local authorities where readily available and have been noted accordingly on this plan. A full dial before you dig search has not been obtained.

We advise that prior to any demolition, excavation or construction work on site, a full up to date dial before you dig search must be obtained and any relevant service authorities should be contacted for sub surface utility service location information. In addition, any sub surface footings or foundation adjacent to any boundaries or any underground services must be carefully exposed to establish their extent, depth and location. This should be undertaken under the supervision of the relevant authority.

Note the locations of subsurface services shown hereon are indicative only and that the relevant service authority should be contacted to locate services accurately prior to any demolition, excavation or construction on or around the site.

3. The locations of any improvements shown on the plan are diagrammatic only as they have not been accurately determined. Confirmation of their accurate location should be made by further definition survey if it is required for purposes other than that of this topographical survey.

4. The north point orientation shown hereon has been taken from underlying cadastral plans only. No attempt has been made to determine the relationship of either current magnetic north or true north. It should be regarded as approximately only.

5. The contours shown give an approximate representation only of the shape and level of the ground surface. They do not represent the exact level at any particular point.

6. These notes are an integral part of the plan.

7. Except to the extent required by competition and consumer act 2010 or similar consumer protection legislation, no responsibility can be accepted by AJM drafting services for any damage caused to underground services or any loss or injury.

SOIL & WATER MANAGEMENT

Down pipes to be connected into council stormwater as soon as roof is installed.
Install ag drain prior to footing excavation.
Excavated material placed upslope of ag drain.
Excavated material to be removed when building works are complete and/or used as fill on site for any low points.

FOOTINGS AND SLABS

Generally to be accordance with NCC Part 4.
Excavation for footings in accordance with NCC4.2.3
Concrete in accordance with NCC 4.2.10 and AS3600
Steel reinforcement to be in accordance with NCC 4.2.11 and AS2870.

MASONRY

Generally in accordance with NCC part 5
Masonry bed and perpendicular joints to be nominal 10MM, raked joints to NCC 5.6.4
Wall ties in accordance with NCC 5.6.5 and AS2699.1
Lintels in accordance with NCC5.6.7
Articulation joints in accordance with NCC 5.6.8 and to be at not more than 5m crs and not more than 4.5m from all corners, and not more than 1.2m from openings greater than 900 x 900mm. Weep holes at 1200crs and cavity from any materials that may bridge the cavity.
Flashings and damp course in accordance with NCC part 5.

TIMBER FRAMING, BRACING & TIE DOWNS

Generally in accordance with NCC part 6.
Manufactured timber members to be in accordance with prescribed framing manual.
Sub floor ventilation in accordance with NCC 6.2.
Sub floor area to be clear of organic materials & rubbish.
Provide vent openings in substructure walls at a rate of 6000mm² / m of wall length, with vents not more than 600 mm from corners.
150 mm clearance required to underside of floor framing members unless specified otherwise by flooring material specification.
Tie down and bracing of frame to be in accordance with AS 1684 & AS 4055.
Structural steel framing to be in accordance with NCC 6.3, AS 1250, AS 4100 & structural engineers design & specification.

ROOF AND WALL CLADDING

Generally to be in accordance with NCC part 7
Roof cladding to be in accordance with NCC 7.2 and ; Roof tiles AS2049 & AS 2050 Metal sheet roofing AS 1562.1
Plastic sheet roofing AS/NZS 4256.1,2,3 & AS 1562.3.
Gutters and downpipes, generally to be in accordance with NCC 7.4 & AS/NZS 3500.3.2. & The Tasmanian Plumbing Code.
Eaves, internal and valley guttering to have cross sectional area of 6500mm². Downpipes to be 90 dia. or 100x50 rectangular section at max. 12000 crs and to be within 1000 of internal/ valley gutter.
Wall cladding to be installed in accordance with NCC 7.5 & Manufacturers specification.
Flashings and cappings in accordance with NCC 7.2.7
Water discharge in accordance with NCC 7.2.8
Clearance between cladding and ground in accordance with NCC 7.5.7

GLAZING

Generally glazing to be in accordance with NCC part 8.
Refer to window legend for sizes and type.

FIRE SAFETY

Generally to be in accordance with NCC part 9.
Fire separation to be in accordance with NCC 9.2
Smoke alarm installation to be in accordance with NCC 9.5.
Installation locations ceilings - 300 away from wall junction. cathedral ceiling - 500 down from apex. walls - 300 down from ceiling junction.

HEALTH AND AMENITY

Generally in accordance with NCC part 10.
Wet area waterproofing in accordance with NCC 10.2
Ceiling heights to be in accordance with NCC 10.3.

FACILITIES

Generally to be in accordance with NCC 10.4.
Refer to plan for locations.
Provision of natural light to be in accordance NCC 10.5.
Ventilation to be in accordance with NCC 10.6.

SAFE MOVEMENT AND ACCESS

Generally to be in accordance with NCC PART 11.
Stairway and ramp construction in accordance with Part 11.2.
Max. of 18 risers to each flight.
Riser opening to be less than 125mm
Riser min 115mm and max 190mm
Tread min 240mm and max 355mm.
Barriers and handrails in accordance with NCC 11.3.
Balustrade/handrail required where area is not bounded by a wall or where level exceeds 1m above ground level, 865mm high on stairs, measured from line of stair nosing. Openings between infill members to be constructed so as to not allow 125mm sphere to pass between members.
Ramps slope gradient shall not exceed 1:8 and have a non-slip surface and comply with NCC 11.2.3

ANCILLARY PROVISIONS

Generally to be in accordance with NCC PART 12.
Construction in alpine areas to be in accordance with NCC12.2
Attachment of framed decks and balconies to external walls of walls using a waling plate to be in accordance with NCC 12.3
Heating appliances, fireplaces, chimneys and flues to be in accordance with NCC 12.4

ENERGY EFFICIENCY

Generally to be in accordance with NCC part 13.
Building fabric in accordance with NCC 13.2, insulation to comply with AS/NZ4859.1
Exhaust fans in accordance with NCC 13.4.5
Use only vapour permeable membranes tested to AS/NZ 4200.1

