



## **DISCRETIONARY APPLICATION** *For Public Display*

**Applicant:**

Goldwind Australia Pty Ltd

**Location:**

Den Road, Bothwell (CT 147295/2)

**Proposal:**

Utility (Meteorological Mast)

**DA Number:**

DA 2024 / 26

**Date Advertised:**

30 April 2024

**Date Representation Period Closes:**

14 May 2024

**Responsible Officer:**

Louisa Brown (Planning Officer)

**Viewing Documents:**

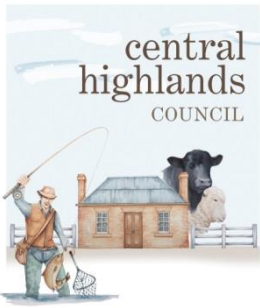
The relevant documents may be viewed at Council's website [www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au) or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

**Representations to:**

General Manager  
19 Alexander Street  
BOTHWELL TAS 7030

**Email:**

development@centralhighlands.tas.gov.au



Development & Environmental Services  
 19 Alexander Street  
 BOTHWELL TAS 7030

Phone: (03) 6259 5503  
 Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

**OFFICE USE ONLY**

Application No.: \_\_\_\_\_

Property ID No.: \_\_\_\_\_

Date Received: \_\_\_\_\_

# Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

**Applicant / Owner Details:**

**Applicant Name**

Postal Address  Phone No:   
  Fax No:

Email address

**Owner/s Name**   
 (if not Applicant)

Postal Address  Phone No:   
  Fax No:

Email address:

**Description of proposed use and/or development:**

Address of new use and development:

Certificate of Title No: Volume No  Lot No:

Description of proposed use or development:

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Current use of land and buildings:

Eg. Are there any existing buildings on this title? If yes, what is the main building used as?

Proposed Material

What are the proposed external wall colours  What is the proposed roof colour


What is the proposed new floor area m<sup>2</sup>.  What is the estimated value of all the new work proposed:

<i>Is proposed development to be staged:</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Tick ✓
<i>Is the proposed development located on land previously used as a tip site?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Is the place on the Tasmanian Heritage Register?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Have you sought advice from Heritage Tasmania?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
<i>Has a Certificate of Exemption been sought for these works?</i>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	

Signed Declaration

**I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:**

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature"); ***Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.***

Applicant Signature  (if not the Owner)	Applicant Name (Please print) Jamie Foster	Date 19 May 2024
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Land Owner(s) Signature <input type="text"/>	Land Owners Name (please print) <input type="text"/>	Date <input type="text"/>
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Land Owner(s) Signature <input type="text"/>	Land Owners Name (please print) <input type="text"/>	Date <input type="text"/>
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<p><b>Information</b></p> <p>If you provide an email address in this form then the Central Highlands Council (“the Council”) will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 (“the Act”).</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, <b>please tick ✓</b> the box</p>	<input type="checkbox"/>
<p><b>Heritage Tasmania</b></p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email <a href="mailto:enquires@heritage.tas.gov.au">enquires@heritage.tas.gov.au</a>)</p>	
<p><b>TasWater</b></p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	
<p><b>Submission of Application</b></p> <p>Applications can be submitted in a number of ways as follows:</p> <ul style="list-style-type: none"> <li>• Electronically: Email to <a href="mailto:development@centralhighlands.tas.gov.au">development@centralhighlands.tas.gov.au</a></li> <li>• Post: 19 Alexander Street, BOTHWELL 7030</li> <li>• In Person: Development &amp; Environmental Services Office, 19 Alexander Street, Bothwell 7030</li> </ul>	

# **DEVELOPMENT APPLICATION SUPPORTING INFORMATION**

METEOROLOGICAL MONITORING MAST  
DEN ROAD, HOLLOW TREE, CENTRAL HIGHLANDS SHIRE

Revision	Author	Reviewer	Date
1	Jamie Foster		27/3/2024
2	Rena Gifford	Jamie Foster	29/3/24

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## ABBREVIATIONS

AS	Australian Standard
DA	Development Application
DNRE	Department of Natural Resources and Environment
HT	Hollow Tree
LPS	Local Provisions Scheme
EMPCA	<i>Environmental Management and Pollution Control Act 1994</i>
RMPS	Resource Management and Planning System objectives to be found in the in Schedule 1 of the EMPCA

## GLOSSARY

### **(the) Development**

The installation and operation of two meteorological monitoring masts to measure wind and climatic conditions. The masts are a galvanized steel construction, and consists of the following:

- Meteorological monitoring mast of 131 m in height
- Concrete mast foundation with dimensions 1.6 wide x 1.6m long and x 0.7m deep
- Guy anchor concrete foundations dimensions:
  - Inner footings (x 3 – 30m from mast foundation) – 0.8m wide x 3.4m long x 1.6 m deep
  - Intermediate footings (x 3 – 60m from mast foundation) – 0.8m wide x 3.4m wide x 2 m deep
  - Outer footings (x 3 – 90m from mast foundation) – 0.8m wide x 3.4m long x 2m deep
  - Gravel/drainage to top-dress the access to site.

**(the) Land** Certificate of Title Volume 147295 Folio 2 which is further refined by the Development Area depicted in **Figure 2**.

**(the) proponent** Goldwind Capital (Australia) Pty Ltd (ABN 34 142 403 950)

**(the) Scheme** Tasmanian Planning Scheme  
Tasmanian Planning Scheme – Central Highlands Local Provisions Schedule.

## PREFACE

### FUNCTION OF THE DEVELOPMENT APPLICATION SUPPORTING INFORMATION

The documentation has been prepared to support a Development Application by Goldwind Capital (Australia) Pty Ltd for the establishment and operation of meteorological monitoring mast to gather information about local climatic and wind conditions.

The document contains the following components –

**Part A** *Information about the proponent* of the Development including details of their name and contact details and the Development location.

**Part B** Proposal Description including details of the form/structure and the timeframe for the Development.

**Part C – D** *Planning information* for use by the Planning Authority, in this case the Central Highlands Council, in assessing the development and use against the requirements of the Tasmanian Planning Scheme and Central Highlands Local Provisions Scheme.

**Part E** Conclusion about the Development.

**Part F** *Attachments* referenced in the Development Application

## PART A – PROPONENT INFORMATION

TABLE 1 PROPONENT INFORMATION

Name of proponent	Goldwind Capital (Australia) Pty Ltd
ABN	<b>34 142 403 950</b>
ACN	<b>142 403 950</b>
Postal address of proponent	Level 4, North Tower Building 485 La Trobe Street, Melbourne, VIC 3000
Contact person's details	Jamie Foster Development Advisor Level 4, North Tower Building 485 La Trobe Street, Melbourne, VIC 3000 M. 0427 694 528 E. jamiefoster@goldwindaustralia.com

## PART B - PROJECT DESCRIPTION

### B.1 PROPOSED DEVELOPMENT

**TABLE 2 PROPOSED DEVELOPMENT DETAILS**

<p>Development</p>	<p>The installation and operation of a meteorological monitoring mast to measure wind and climatic conditions located in the Central Highlands.</p> <p>The Development is located 11.3 km south-east of Bothwell, in the Central Highlands. <b>(Figure 1)</b>.</p> <p>The mast is a constructed of galvanized steel, and consists of the following:</p> <ul style="list-style-type: none"> <li>• Lattice Mast of 131 m in height,</li> <li>• Concrete mast foundation dimensions 1.6 wide x 1.6m long and x 0.7m deep,</li> <li>• Guy anchor concrete foundation dimensions: <ul style="list-style-type: none"> <li>○ Inner footings (x 3 – 30m from mast foundation) – 0.8m wide x 3.4m long x 1.6m deep</li> <li>○ Intermediate footings (x 3 – 60m from mast foundation) – 0.8m wide x 3.4m wide x 2 m deep</li> <li>○ Outer footings (x 3 – 90m from mast foundation) – 0.8m wide x 3.4m long x 2m deep</li> </ul> </li> <li>• Gravel/drainage to top-dress the access to site.</li> </ul>
<p>Construction materials and colour</p>	<p>Mast structure is comprised of galvanized lattice steel with a grey/silver colouration of weathered galvanized steel. For aviation safety, the top third of the masts are painted in three alternating bands of red/white/red. Concrete would be used to establish the foundations for the mast and guy anchors.</p> <p>An example of typical met mast is provided in the photo below.</p>



Transport	All traffic would enter and exit the Land from Den Road and utilize existing farm tracks( <b>Figure 2</b> ).
Major equipment	The equipment likely to be used during the installation (i.e., not all the below listed equipment would be used concurrently) of the Development is as follows: <ul style="list-style-type: none"><li>• Light vehicles to transport workers and equipment such as concrete mixer and products, frame handling equipment etc.</li><li>• Light truck to cart materials to site.</li><li>• Excavator floated to site to prepare footings.</li></ul>

Proposal development timeline	<p>Construction is scheduled for July 2024. The following milestones are proposed.</p> <ul style="list-style-type: none"> <li>• Approvals received: May 2024</li> <li>• Preparation works commence: May 2024</li> <li>• Construction Starts: July 2024</li> <li>• Construction concludes: July – August 2024</li> </ul>
Construction hours	<p>Construction activities would occur on site between 0700 and 1900 hrs Monday to Sunday.</p> <p>The location is remote so it is unlikely that these construction hours would cause any land use conflict or environmental nuisance to the existing and permissible uses on the subject or surrounding lands.</p>
Operating hours	<p>Not applicable.</p> <p>The meteorological mast will operate 24 hrs per day 7 days per week but will be unattended and monitored remotely.</p>

## B.2 LOCATION AND PLANNING CONTEXT

A permit is sought to erect one meteorological monitoring mast at the proposed location as detailed in **Table 3**.

**TABLE 3 DEVELOPMENT LOCALITY DETAILS**

Proposed Masts	Easting	Southing	Shire	Vol-Fol	Owner
Proposed HT mast	507581	5298464	Central Highlands	147295/2	LOVELY BANKS PTY. LTD. and ELIZABETH MARY MCSHANE

FIGURE 1 LOCATION OF THE METEOROLOGICAL MAST (THE 'DEVELOPMENT')

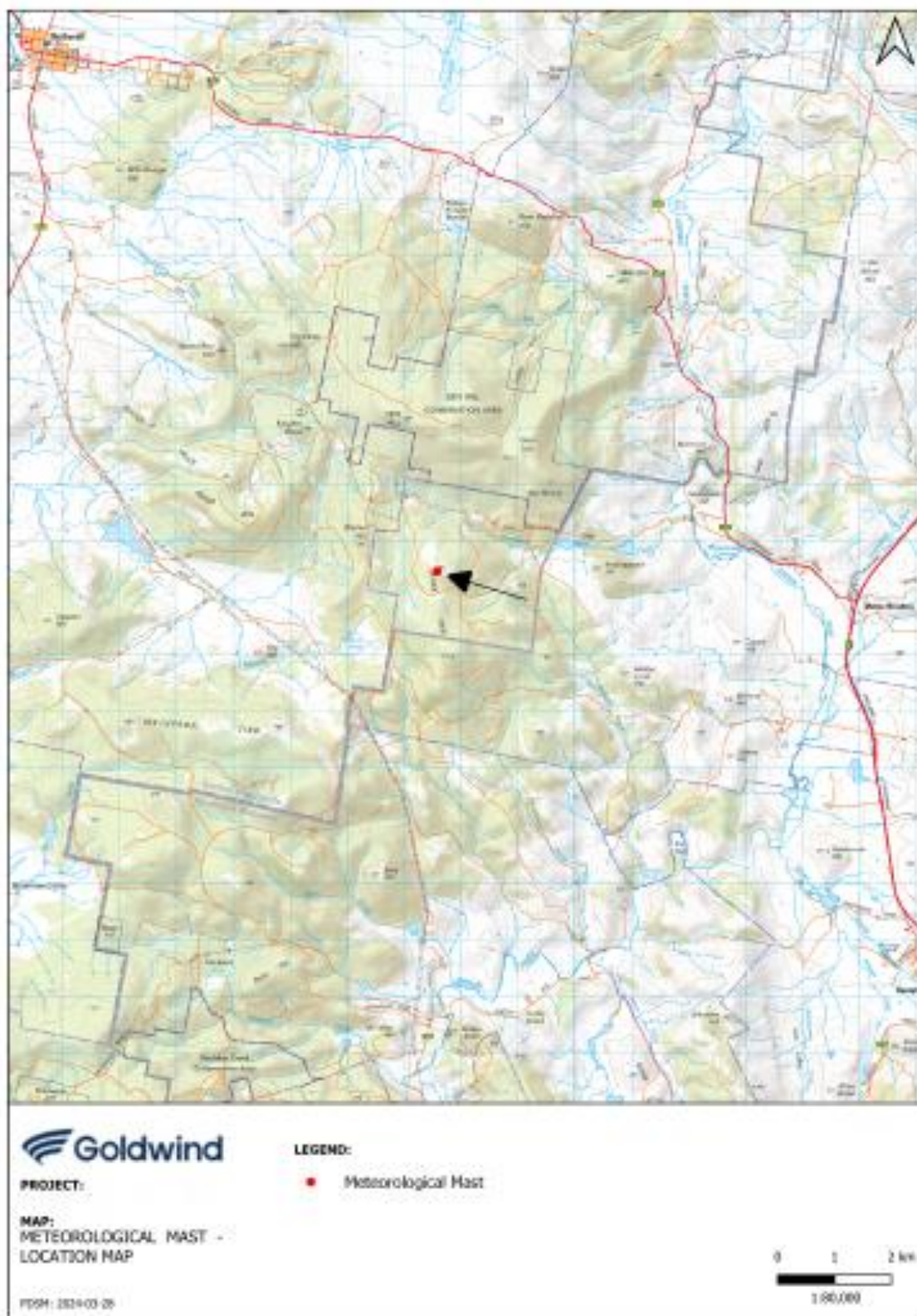




FIGURE 2 ACCESS TO THE DEVELOPMENT

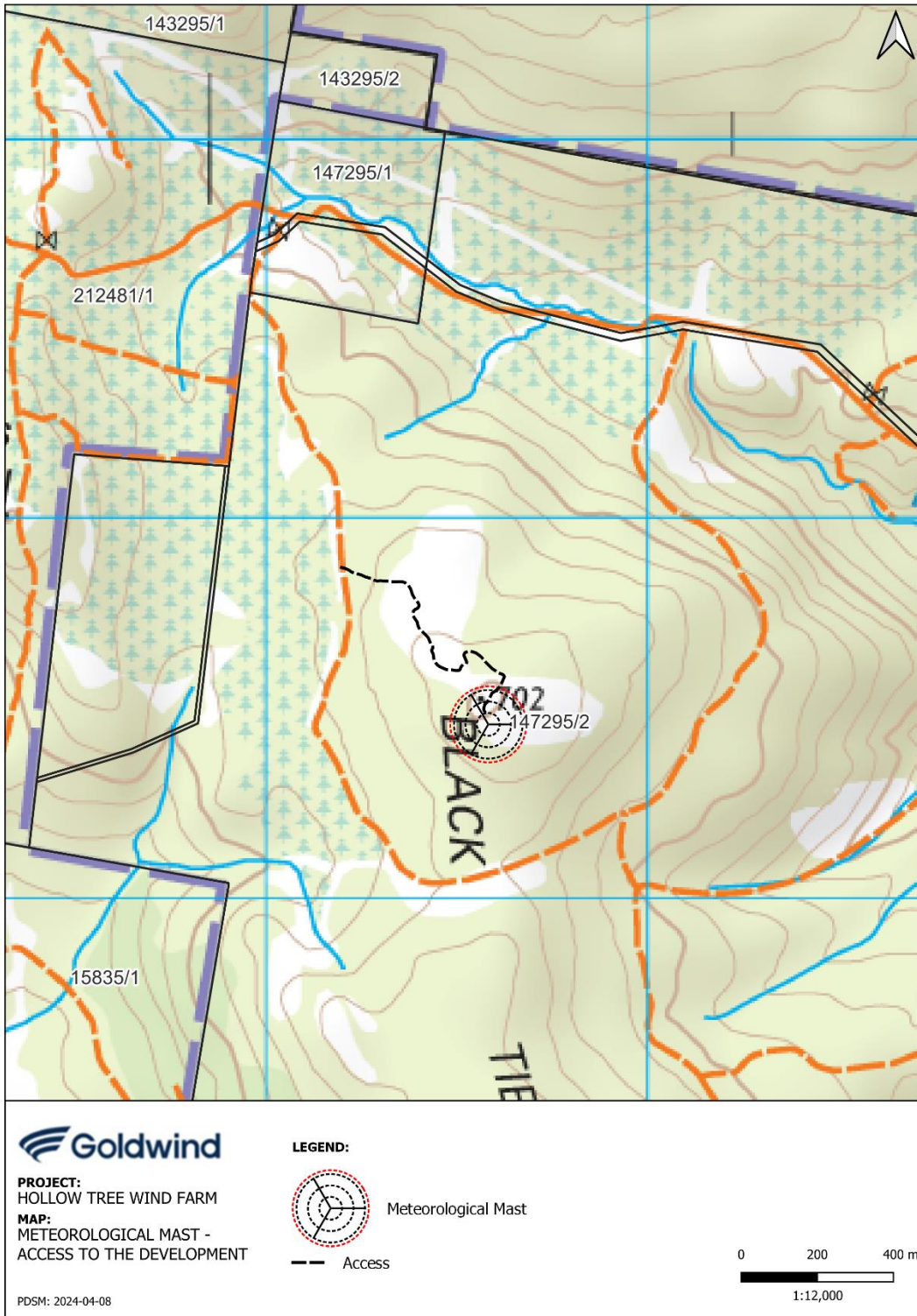
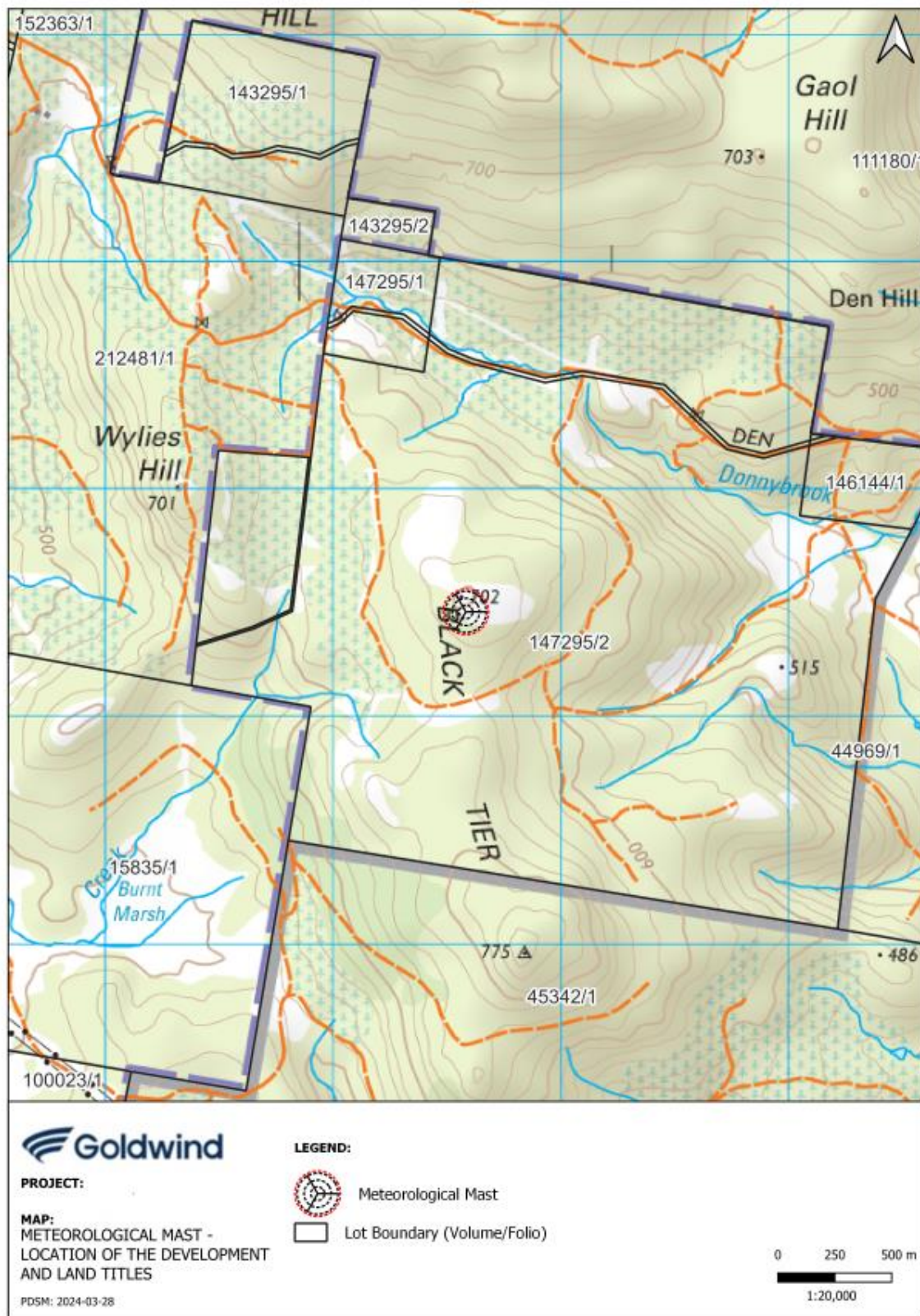


FIGURE 3 DEVELOPMENT LAND TITLE



### B.3 DESCRIPTION OF EXISTING SITE AND SURROUNDS

Provided in **Table 4** are details of the site and surrounds of the proposed location of the Meteorological Mast.

**TABLE 4 LOCATION AND PLANNING CONTEXT**

Issue	Hollow Tree Met Mast
<b>Location and Access</b>	<p>The mast is located 7.3kms west of Melton Mowbray and 11kms south-east of Bothwell.</p> <p>Access to the site will be via the Highland Lakes Road AND Den Road and then via existing farm tracks.</p>
<b>Land Titles</b>	<p>Certificate of Title 147295/2 which is further refined by the Development layout depicted in <b>Figure 3</b>.</p>
<b>Planning Scheme</b>	<p>Tasmanian Planning Scheme</p> <p>Tasmanian Planning Scheme – Central Highlands Local Provisions Schedule</p>
<b>Land zoning and overlays</b>	<p>Zoning (<b>Figure 4</b>)</p> <p>Rural Zone</p>
<b>Use Class and Permissibility</b>	<p>The Development, classified as a <i>Utility</i> (where not <i>minor utilities</i>), is Discretionary in the Rural Resource Zone.</p>

**TABLE 5 DESCRIPTION OF EXISTING SITE AND SURROUNDS**

Issue	Description
<b>Land Use</b>	<p>The location of the development is predominantly native bushland (native forest and woodlands). Approximately 2km to the north is the Den Hill Forest Reserve.</p>

**Geology and Soils**

Soils in the locality are Dermosols  
Basic igneous on Triassic – Jurassic

<b>Land Capability</b>	The Land Capability is modelled by DNRE as Land Class 6 (land marginally suited to grazing due to severe limitations).
<b>Topography and watercourses</b>	The Land is relatively flat with an average elevation of 540 to 680m AHD ( <b>Figure 5</b> ). Donnybrook Rivulet is located to the north and mosquito creek to the east, however they do not intersect the location of the development location.

FIGURE 4 DEVELOPMENT LOCATION LAND USE ZONING

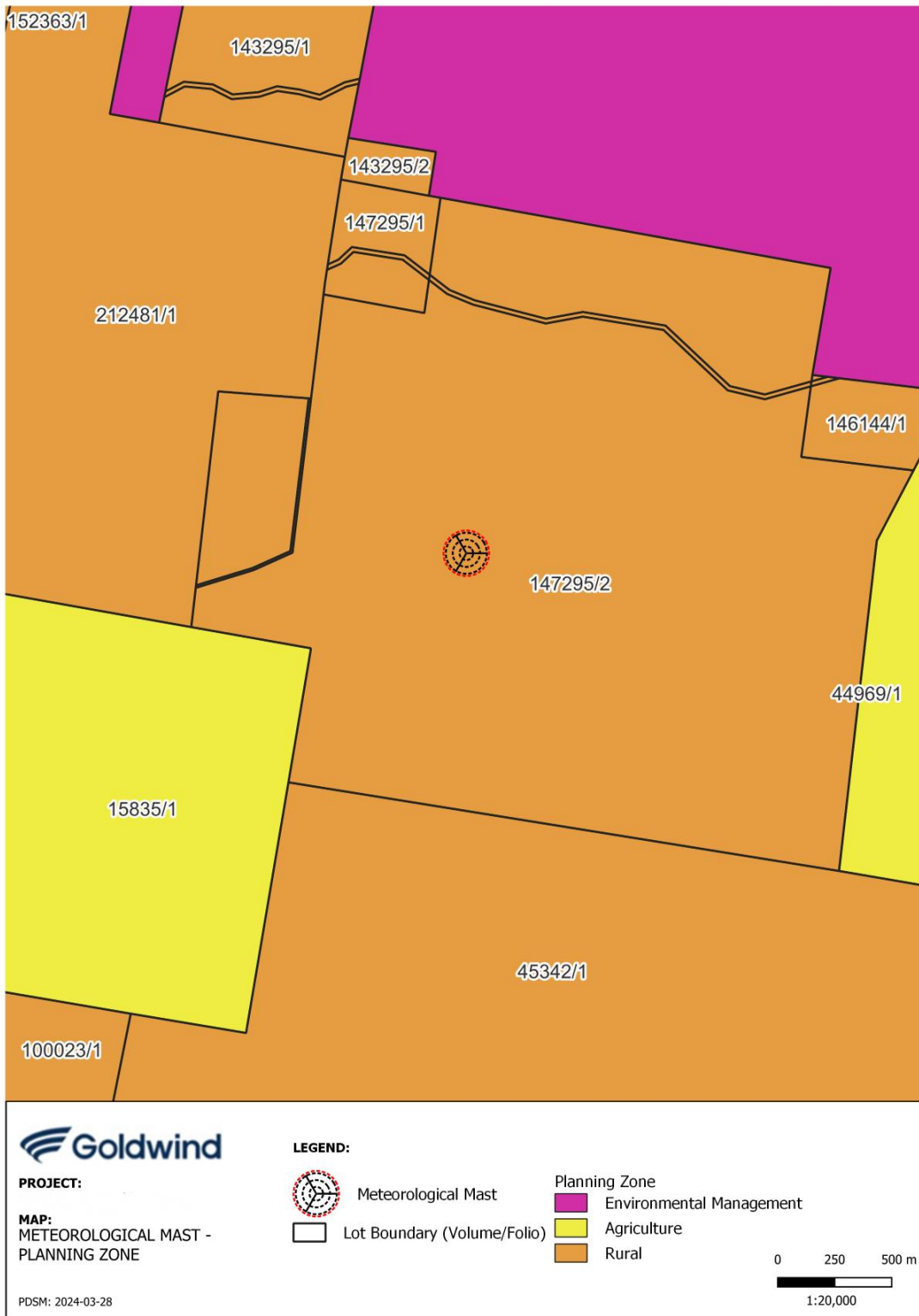


FIGURE 5 DEVELOPMENT LOCATION TOPOGRAPHY



## B.4 DEVELOPMENT LAYOUT

The Development consists of the infrastructure shown in **Attachment 2**. Additional comments about each component of the meteorological mast are provided below.

### B.4.1 Mast and anchor guys

The installation and operation of a meteorological mast to measure wind and climatic conditions. The location of the mast is provided in **Figure 1**.

The mast is constructed of galvanised steel, and consists of the following:

- Galvanised steel lattice mast of 131 m in height,
- Concrete mast foundation dimension 1.6 wide x 1.6m long and x 0.7m deep,
- Guy anchor concrete foundations dimension:
  - Inner footings (x 3 – 30m from mast foundation) – 0.8m wide x 3.4m long x 1.6 m deep
  - Intermediate footings (x 3 – 60m from mast foundation) – 0.8m wide x 3.4m wide x 2 m deep
  - Outer footings (x 3 – 90m from mast foundation) – 0.8m wide x 3.4m long x 2m deep

Technical drawings are provided in **Attachment 2** which show dimensions and the form of the structure.

### B.4.2 Access

The location of the development will be accessed from Den Road via Highland Lakes Rd and then existing farm tracks as shown in **Figure 2**.

The concrete (for the footings of the mast and guy anchors) will be covered with topsoil that was removed for its construction.

Once constructed, the mast will have sporadic and infrequent visitation for maintenance and repair as required.



## PART C - PLANNING SCHEME REQUIREMENTS – STATE PLANNING PROVISIONS

### C.1 USE CLASSIFICATION AND ZONING

The Development is to construct and operate a meteorological monitoring mast to collect wind and climatic data. Clause 6.2.4 of the Scheme requires that if a use or development does not readily fit any use class, it must be categorised into the most similar use class.

This Use best fits the definition of *Utilities* in Table 8.2 of the Scheme 'use of land for utilities and infrastructure including:

- (a) telecommunications;
- (b) electricity generation;
- (c) transmitting or distributing gas, oil, or power;
- (d) transport networks;
- (e) collecting, treating, transmitting, storing or distributing water; or
- (f) collecting, treating, or disposing of storm or floodwater, sewage, or sillage.

Examples include an electrical sub-station or powerline, gas, water or sewerage main, optic fibre main or distribution hub, pumping station, railway line, retarding basin, road, sewage treatment plant, storm or flood water drain, water storage dam and weir.'

The land upon which the Development is located occurs within the **Agricultural Zone** of the Tasmanian Planning Scheme – Central Highlands 2023 (**Figure 4**).

The Development, classified as a *Utilities* use, is **Discretionary** in the Agricultural Zone.

## C.2 ZONING – RURAL ZONE

### C.2.1 Zone Purpose Statements

The Scheme has the following purpose statements.

20.1.1	To provide for a range of use or development in a rural location: (a) where agricultural use is limited or marginal due to topographical, environmental or other site or regional characteristics; (b) that requires a rural location for operational reasons; (c) is compatible with agricultural use if occurring on agricultural land; (d) minimises adverse impacts on surrounding uses.
20.1.2	To minimise conversion of agricultural land for non-agricultural use.
20.1.3	To ensure that use or development is of a scale and intensity that is appropriate for a rural location and does not compromise the function of surrounding settlements.

The Development does not conflict with any of the zone purpose statements.

### C.3.2 Local Area Objectives

The Scheme has no following local area objectives for this zone.

### C.3.3 Desired Future Character Statements

The Scheme has no desired future character statements for this zone.

### C.3.4 Use Standards

The following Use Standards have been considered in the supporting documentation.

#### C.3.4.1 Discretionary Uses

<b>Clause 20.3.1 Discretionary uses</b>	
<b>Objectives</b>	That the location, scale and intensity of a use listed as Discretionary: (a) is required for operational reasons; (b) does not unreasonably confine or restrain the operation of uses on adjoining properties; (c) is compatible with agricultural use and sited to minimise conversion of agricultural

<b>Clause 20.3.1 Discretionary uses</b>	
	<p>land; and</p> <p>(d) is appropriate for a rural location and does not compromise the function of surrounding settlements.</p>
<b>Acceptable Solution (P1);</b>	<p>A use listed as Discretionary, excluding Residential, must require a rural location for operational reasons, having regard to:</p> <p>(a) the nature, scale and intensity of the use;</p> <p>(b) the importance or significance of the proposed use for the local community;</p> <p>(c) whether the use supports an existing agricultural use;</p> <p>(d) whether the use requires close proximity to infrastructure or natural resources; and</p> <p>(e) whether the use requires separation from other uses to minimise impacts.</p>
<b>Acceptable Solution (P2);</b>	<p>A use listed as Discretionary must not confine or restrain existing use on adjoining properties, having regard to:</p> <p>(a) the location of the proposed use;</p> <p>(b) the nature, scale and intensity of the use;</p> <p>(c) the likelihood and nature of any adverse impacts on adjoining uses;</p> <p>(d) whether the proposed use is required to support a use for security or operational reasons; and</p> <p>(e) any off site impacts from adjoining uses.</p>
<b>Acceptable Solution (P3);</b>	<p>A use listed as Discretionary, located on agricultural land, must minimise conversion of agricultural land to non-agricultural use and be compatible with agricultural use, having regard to:</p> <p>(a) the nature, scale and intensity of the use;</p> <p>(b) the local or regional significance of the agricultural land; and</p> <p>(c) whether agricultural use on adjoining properties will be confined or restrained.</p>
<b>Acceptable Solution (P4);</b>	<p>A use listed as Discretionary, excluding Residential, must be appropriate for a rural location, having regard to:</p>

<b>Clause 20.3.1 Discretionary uses</b>	
	<p>(a) the nature, scale and intensity of the proposed use;</p> <p>(b) whether the use will compromise or distort the activity centre hierarchy;</p> <p>(c) whether the use could reasonably be located on land zoned for that purpose;</p> <p>(d) the capacity of the local road network to accommodate the traffic generated by the use; and</p> <p>(e) whether the use requires a rural location to minimise impacts from the use, such as noise, dust and lighting.</p>
<b>Comments with reference to the Development</b>	<p>Complies.</p> <p>The use and development does not include an agricultural use however the development of a meteorological monitoring mast will not conflict with or fetter agricultural use on the site or adjoining land.</p> <p>The adjoining and subject lands are used for forestry (plantation and native forest silviculture) and cattle/sheep grazing.</p> <p>Very little of the subject land is suitable for agriculture (intensive or improved) given the high elevation of the site. It has a Land Capability of Land Class 6 due to severe limitations to livestock grazing activities. Therefore, there are no likely additional agricultural uses of the land.</p> <p>The use will minimise the land converted from agricultural and will have minimal impact to surrounding agricultural land use.</p> <p>The existing and likely agricultural uses don't pose an amenity risk to the proposed development – no sensitive use is proposed</p>

#### C.3.4.2 Development Standards for Buildings and Works

The following Development Standards have been considered in the supporting documentation.

<b>Clause 20.4.1 Building Height</b>	
<b>Objectives</b>	<p>To provide for a building height that:</p> <p>(a) is necessary for the operation of the use; and</p> <p>(b) minimises adverse impacts on adjoining properties.</p>

<b>Clause 20.4.1 Building Height</b>	
<b>Performance Outcome (P1);</b>	<p>Building height must be necessary for the operation of the use and not cause an unreasonable impact on adjoining properties, having regard to:</p> <ul style="list-style-type: none"> <li>(a) the proposed height of the building;</li> <li>(b) the bulk and form of the building;</li> <li>(d) separation from existing use on adjoining properties; and</li> <li>(e) any buffers created by natural or other features.</li> </ul>
<b>Comments with reference to the Development</b>	<p>Complies</p> <p>The building (i.e., mast) height satisfies the required criteria as described below.</p> <ul style="list-style-type: none"> <li>a) The proposed development is not a residential use, and the height is necessary for its intended use.</li> <li>b) The location is necessary for the functional requirements of the infrastructure.</li> <li>c) The site is surrounded agricultural land used for grazing.</li> <li>d) The mast will not impact on any natural or other features in the locality.</li> </ul>

<b>Clause 20.4.2 Setback</b>	
<b>Objectives</b>	That the siting of buildings minimises potential conflict with use on adjoining properties
<b>Acceptable Solution;</b>	Comments with reference to the Development

<b>Clause 20.4.2 Setback</b>	
<p>A1</p> <p>Buildings must have a setback from all boundaries of:</p> <p>(a) not less than 5m; or</p> <p>(b) if the setback of an existing building is within 5m, not less than the existing building.</p>	<p>Complies.</p> <p>There are no adjoining properties to the Met Masts. Setbacks from site boundary are provided in <b>Figure 6</b>.</p>
<p>A2</p> <p>Buildings for a sensitive use must have a setback from all boundaries of:</p> <p>(a) not less than 200m; or</p> <p>(b) if the setback of an existing building for a sensitive use on the site is within 200m of that boundary, not less than the existing building.</p>	<p>Not relevant.</p> <p>No sensitive use is proposed.</p>

FIGURE 6 DEVELOPMENT SITE BOUNDARY SET-BACKS



<b>Clause 20.4.3 Access for new dwellings</b>	
<b>Objectives</b>	That new dwellings have appropriate vehicular access to a road maintained by a road authority.
<b>Acceptable Solution (A);</b>	New dwellings must be located on lots that have frontage with access to a road maintained by a road authority.
Not relevant The use is not for a dwelling	

The provisions described at Clause 20.5 Development Standards for Subdivision or not relevant because subdivision is not proposed.



## C.4 APPLICATION OF CODES

**Table 6** provides a summary of which Codes apply to the Development. Comment is provided on each of the Codes relevant to the Development.

**TABLE 6 DEVELOPMENT APPLICABLE CODES IN THE SCHEME**

Code Number and Name	Application to the Development
C1.0 Signs	Not applicable No signs are proposed
C2.0 Parking and Sustainable Transport	Applicable
C3.0 Road and Railway Asset Codes	Not applicable The development will not result in increased traffic or require a new vehicle crossing or junction.
C4.0 Electricity transmission infrastructure protection	Not applicable. The development does not involve any of the land use as prescribed in C 4.2.1
C5.0 Telecommunications	Not applicable No telecommunications are proposed
C6.0 Local Historic Heritage	Not applicable No items of local heritage are present on the development land as per C6.2.1
C7.0 Natural Assets	Not applicable The development is not on land as identified in C7.2.1
C8.0 Scenic Protection	No applicable The development is not located on lands identified for scenic protection.
C9.0 Attenuation	Not applicable The development is not listed in Table C9.1

C10.0 Coastal Erosion Hazard	Not applicable The development is not located on coastal land.
C11.0 Coastal Inundation Hazard	Not applicable The development is not located on coastal land.
C12.0 Flood Prone Areas	Not applicable The development is not located on flood prone land
C13.0 Bushfire Prone Areas	Not applicable. The development is not defined a vulnerable or hazardous as per Table C 13.3.1
C14.0 Potentially Contaminated	Not applicable The development is not located on contaminated land.
C15.0 Landslip Hazard	Not applicable Development does not intersect with any landslip hazard bands.
C16.0 Safeguarding of Airports	Not applicable The development is not in proximity to an airport.

#### **C.4.1 Code 2.0 Parking and Sustainable Transport**

The purpose of this provision is to:

C2.1.1 To ensure that an appropriate level of parking facilities is provided to service use and development.

C2.1.2 To ensure that cycling, walking and public transport are encouraged as a means of transport in urban areas.

C2.1.3 To ensure that access for pedestrians, vehicles and cyclists is safe and adequate.

C2.1.4 To ensure that parking does not cause an unreasonable loss of amenity to the surrounding area.

C2.1.5 To ensure that parking spaces and accesses meet appropriate standards.

C2.1.6 To provide for parking precincts and pedestrian priority streets.

## Use Standards

The following Use Standards have been considered in the supporting documentation.

<b>C.2.5.1 Car Parking Numbers</b>	
<b>Objective</b>	That an appropriate level of car parking spaces are provided to meet the needs of the use.
<b>Acceptable Solution A1</b>	<p>The number of on-site car parking spaces must be no less than the number specified in Table C2.1, less the number of car parking spaces that cannot be provided due to the site including container refund scheme space, excluding if:</p> <p>(a) the site is subject to a parking plan for the area adopted by council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p> <p>(b) the site is contained within a parking precinct plan and subject to Clause C2.7;</p> <p>(c) the site is subject to Clause C2.5.5; or</p> <p>(d) it relates to an intensification of an existing use or development or a change of use where:</p> <p>(i) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is greater than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case no additional on-site car parking is required; or</p> <p>(ii) the number of on-site car parking spaces for the existing use or development specified in Table C2.1 is less than the number of car parking spaces specified in Table C2.1 for the proposed use or development, in which case on-site car parking must be calculated as follows:</p> $N = A + (C - B)$ <p>N = Number of on-site car parking spaces required</p> <p>A = Number of existing on site car parking spaces</p> <p>B = Number of on-site car parking spaces required for the existing use or development specified in Table C2.1</p> <p>C = Number of on-site car parking spaces</p>

<b>C.2.5.1 Car Parking Numbers</b>	
<b>Comments with reference to the Development</b>	Complies. There is no <i>minimum</i> allocation of car spaces required for the Use. No car spaces are to be provided as they are not required as per Table C2.1

<b>C2.5.2 Bicycle Parking Numbers</b>	
<b>Objective</b>	That an appropriate level of bicycle parking spaces are provided to meet the needs of the use.
<b>Acceptable Solution A1</b>	Bicycle parking spaces must: (a) be provided on the site or within 50m of the site; and (b) be no less than the number specified in Table C2.1.
<b>Comments with reference to the Development</b>	Not relevant. There is no required allocation.

Use Standards in 2.5.3 and 2.5.4 do not apply to Utility use.

<b>C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone</b>	
<b>Objective</b>	To: (a) facilitate the reuse of existing non-residential buildings within the General Residential Zone and Inner Residential Zone; and (b) to not cause an unreasonable impact on residential amenity by the car parking generated by that reuse.
<b>Acceptable Solution A1</b>	Within existing non-residential buildings in the General Residential Zone and Inner Residential Zone, on-site car parking is not required for:

	<p>(a) Food Services uses up to 100m<sup>2</sup> floor area or 30 seats, whichever is the greater; and</p> <p>(b) General Retail and Hire uses up to 100m<sup>2</sup> floor area provided the use complies with the hours of operation specified in the relevant Acceptable Solution for the relevant zone.</p>
<b>Comments with reference to the Development</b>	<p>Not relevant.</p> <p>There is no required allocation.</p>

### Development Standards

The following Development Standards have been considered in the supporting documentation.

<b>C2.6.1 Construction of Parking Areas</b>	
<b>Objective</b>	That parking areas are constructed to an appropriate standard.
<b>Acceptable Solution A1</b>	<p>All parking, access ways, maneuvering and circulation spaces must:</p> <p>(a) be constructed with a durable all weather pavement;</p> <p>(b) be drained to the public stormwater system, or contain stormwater on the site; and</p> <p>(c) excluding all uses in the Rural Zone, Agriculture Zone, Landscape Conservation Zone, Environmental Management Zone, Recreation Zone and Open Space Zone, be surfaced by a spray seal, asphalt, concrete, pavers or equivalent material to restrict abrasion from traffic and minimise entry of water to the pavement.</p>
<b>Comments with reference to the Development</b>	<p>Complies.</p> <p>There is only one access (existing) to the frontage to the development site which will support the Development</p>

<b>C2.6.2 Design and layout of parking areas</b>	
<b>Objective</b>	That parking areas are designed and laid out to provide convenient, safe and efficient parking.

<b>Performance Criterion (P)</b>	<p>All parking, access ways, maneuvering and circular spaces must be designed and readily identifiable to provide convenient, safe and efficient parking, have regard to:</p> <ul style="list-style-type: none"> <li>(a) the characteristics of the site;</li> <li>(b) the proposed slope, dimensions and layout;</li> <li>(c) useability in all weather conditions;</li> <li>(d) vehicle and pedestrian traffic safety;</li> <li>(e) the nature and use of the development;</li> <li>(f) the expected number and type of vehicles;</li> <li>(g) the likely use of the parking areas by persons with a disability;</li> <li>(h) the nature of traffic in the surrounding area;</li> <li>(i) the proposed means of parking delineation; and</li> <li>(j) the provisions of Australian Standard AS 2890.1:2004 - Parking facilities, Part 1: Off-street car parking and AS 2890.2 -2002 Parking facilities, Part 2: Off-street commercial vehicle facilities.</li> </ul>
<b>Comments with reference to the Development</b>	<p>Not relevant</p> <p>Car parking is not required.</p>

### C2.6.3 Number of access for vehicles

<b>Objective</b>	<p>That:</p> <ul style="list-style-type: none"> <li>(a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;</li> <li>(b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and</li> <li>(c) the number of accesses minimise impacts on the streetscape.</li> </ul>
------------------	---

<b>Performance Criterion (P1)</b>	<p>The number of accesses for each frontage must be minimised, having regard to:</p> <ul style="list-style-type: none"> <li>(a) any loss of on-street parking; and</li> <li>(b) pedestrian safety and amenity;</li> <li>(c) traffic safety;</li> <li>(d) residential amenity on adjoining land; and</li> <li>(e) the impact on the streetscape.</li> </ul>
<b>Comments with reference to the Development</b>	<p>Complies.</p> <p>The road network to the Development exists.</p> <p>There is only minor use of the existing road network both private and public to construct the Development and then irregular and infrequent visitation to the Development by service operators.</p>

#### **C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone**

<b>Objective</b>	<p>That parking and vehicle circulation roads and pedestrian paths within the General Business Zone and Central Business Zone, which are used outside daylight hours, are provided with lighting to a standard which:</p> <ul style="list-style-type: none"> <li>(a) enables easy and efficient use;</li> <li>(b) promotes the safety of users;</li> <li>(c) minimises opportunities for crime or anti-social behavior; and</li> <li>(d) prevents unreasonable light overspill impacts.</li> </ul>
<b>Performance Criteria (P)</b>	<p>In car parks within the General Business Zone and Central Business Zone, parking and vehicle circulation roadways and pedestrian paths, which are used outside daylight hours must be provided with lighting, having regard to:</p> <ul style="list-style-type: none"> <li>(a) enabling easy and efficient use of the area;</li> <li>(b) minimising potential for conflicts involving pedestrians, cyclists and vehicles;</li> <li>(c) minimising opportunities for crime or anti-social behavior though the creation of concealment spaces;</li> </ul>

<b>C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone</b>	
	(d) any unreasonable impact on the amenity of adjoining properties through light overspill; and (e) the hours of operation of the use.
<b>Comments with reference to the Development</b>	Not Relevant The Use is not within General or Central Business Zone

<b>C2.6.5 Pedestrian Access</b>	
<b>Objective</b>	That pedestrian access within parking areas is provided in a safe and convenient manner.
<b>Performance Criteria (P)</b>	Safe and convenient pedestrian access must be provided within parking areas, having regard to: (a) the characteristics of the site; (b) the nature of the use; (c) the number of parking spaces; (d) the frequency of vehicle movements; (e) the needs of persons with a disability; (f) the location and number of footpath crossings; (g) vehicle and pedestrian traffic safety; (h) the location of any access ways or parking aisles; and (i) any protective devices proposed for pedestrian safety.
<b>Comments with reference to the Development</b>	Not Relevant No car parking spaces are required.



<b>E6.7.5 Layout of Parking Areas</b>	
<b>Objective</b>	To ensure that parking areas for cars (including assessable parking spaces), motorcycles and bicycles are located, designed and constructed to enable safe, easy and efficient use.
<b>Acceptable Solution (A)</b>	P1 The layout of car parking spaces, access aisles, circulation roadways and ramps must be safe and must ensure ease of access, egress and maneuvering on-site.
<b>Comments with reference to the Development</b>	Not relevant. No car spaces are required or being installed.

<b>C 2.6.6 Loading Bays</b>	
<b>Objective</b>	That the area and dimensions of loading bays are adequate to provide safe and efficient delivery and collection of goods.
<b>Acceptable Solution (A)</b>	A1 The area and dimensions of loading bays and access way areas must be designed in accordance with <i>Australian Standard AS 2890.2–2002, Parking facilities, Part 2: Off-street commercial vehicle facilities</i> , for the type of vehicles likely to use the site.  A2 The type of commercial vehicles likely to use the site must be able to enter, park and exit the site in a forward direction in accordance with <i>Australian Standard AS 2890.2 – 2002, Parking Facilities, Part 2: Parking facilities - Off-street commercial vehicle facilities</i> .
<b>Comments with reference to the Development</b>	Not relevant Loading bays are not required.

<b>C 2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone</b>	
<b>Objective</b>	That parking for bicycles are safe, secure and convenient, within the General Business Zone and Central Business Zone.
<b>Acceptable Solution (A)</b>	<p>A1</p> <p>Bicycle parking for uses that require 5 or more bicycle spaces in Table C2.1 must:</p> <p>(a) be accessible from a road, cycle path, bicycle lane, shared path or access way;</p> <p>(b) be located within 50m from an entrance;</p> <p>(c) be visible from the main entrance or otherwise signed; and</p> <p>(d) be available and adequately lit during the time they will be used, in accordance with Table 2.3 of <i>Australian/New Zealand Standard AS/NZS 1158.3.1: 2005 Lighting for roads and public spaces - Pedestrian area</i> (Category P) lighting - Performance and design requirements.</p> <p>A2</p> <p>Bicycle parking spaces must:</p> <p>(a) have dimensions not less than:</p> <p>(i) 1.7m in length;</p> <p>(ii) 1.2m in height; and</p> <p>(iii) 0.7m in width at the handlebars;</p> <p>(b) have unobstructed access with a width of not less than 2m and a gradient not steeper than 5% from a road, cycle path, bicycle lane, shared path or access way; and</p> <p>(c) include a rail or hoop to lock a bicycle that satisfies <i>Australian Standard AS 2890.3-2015 Parking facilities - Part 3: Bicycle parking</i>.</p>

### C 2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone

**Comments with reference to the Development**

Not relevant.  
Development is not within General or Central Business Zone.

### C 2.6.8 Siting of parking and turning areas

**Objective**

That the siting of vehicle parking and access facilities in an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone or Central Business Zone does not cause an unreasonable visual impact on streetscape character or loss of amenity to adjoining properties.

**Acceptable Solution (A)**

Within an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone or General Business Zone, parking spaces and vehicle turning areas, including garages or covered parking areas must be located behind the building line of buildings, excluding if a parking area is already provided in front of the building line.

Within the Central Business Zone, on-site parking at ground level adjacent to a frontage must:

- (a) have no new vehicle accesses, unless an existing access is removed;
- (b) retain an active street frontage; and
- (c) not result in parked cars being visible from public places in the adjacent roads.

**Comments with reference to the Development**

Not relevant.  
Development is not within the listed zones.

## PART D – Central Highlands Local Planning Scheme

The Tasmanian Planning Scheme – Central Highlands is a combination of the Local Planning Scheme and the State Planning Provisions which apply to the entire state of Tasmania (refer to Section C). This came into effect in February 2023 and replaces Central Highlands Interim Planning Scheme 2015. This applies to all land within the shire.

### CHI – Specific Plans

<b>CHI S1.0 Meadowbank Lake Specific Area Plan</b>	
<b>Application of this Plan</b>	<p>CHI-S1.2.1 The specific area plan applies to the area of land designated as Meadowbank Lake Specific Area Plan on the overlay maps.</p> <p>CHI-S1.2.2 In the area of land to which this plan applies, the provisions of the specific area plan are in substitution for, and in addition to the provisions of:</p> <p>(a) Rural Zone; and</p> <p>(b) Environmental Management Zone, as specified in the relevant provision.</p> <p>CHI-S1.2.3 Applications requiring assessment against the CHI-S1.7.6 performance criteria will be referred to Aboriginal Heritage Tasmania as part of the Section 57 notification under the Act.</p> <p>CHI-S1.2.4 Applications requiring assessment against the CHI-S1.7.7 performance criteria will be referred to Hydro Tasmania as part of the Section 57 notification under the Act.</p>
<b>Comments with reference to the Development</b>	<p>Not relevant.</p> <p>The sites of the met masts are not within the Meadowbank Lake Specific Area Plan.</p>

## PART F – SUMMARY

The installation and operation of meteorological masts to measure wind and climatic conditions. The Development is located three potential sites.

The mast is constructed of galvanised lattice steel, and consists of the following:

- Galvanised lattice steel mast of 131 m in height,
- Concrete mast foundation dimensions 1.6 wide x 1.6m long and x 0.7m deep,
- Guy anchor concrete foundation dimensions:
  - Inner footings (x3 – 30m from mast foundation) – 0.8m wide x 3.4m long x 1.6 m deep
  - Intermediate footings (x3 – 60m from mast foundation) – 0.8m wide x 3.4m wide x 2m deep
  - Outer footings (x3 – 90m from mast foundation) – 0.8m wide x 3.4m long x 2m deep

It is concluded that:

1. The Resource Management and Planning Systems (RMPS) and *Environmental Management and Pollution Control Act 1994* (EMPC) objectives have been duly and properly pursued while sourcing and compiling information on the proposal, and
2. the DA Supporting Information for the proposed activity has been prepared in accordance with the Tasmanian Planning Provisions.

PART G – ATTACHMENTS

## ATTACHMENT 1. LAND TITLE

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 147295	FOLIO 2
EDITION 2	DATE OF ISSUE 21-Mar-2007

SEARCH DATE : 23-May-2023

SEARCH TIME : 12.22 PM

DESCRIPTION OF LAND

Parish of BEAUFORT Land District of MONMOUTH  
 Lot 2 on Plan 147295  
 Derivation : Whole of granted Lots as follows: Lot 14504 to F McDowall, Lot 12664 to C Wylie, Lot 12663 to J Wylie, Lot 5408 to D Wylie, Lot 25516 to WB Stuart, Lots 4855 & 8635 A McDowall  
 Prior CT 146144/2

SCHEDULE 1

C697234 LOVELY BANKS PTY LTD and ELIZABETH MARY MCSHANE as tenants in common in equal shares

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

C733863 Instrument Creating a Forestry Right for Gunns Plantations Limited for the term of 15 years from 1-Apr-2006 and ending on the 31-Mar-2021 or the date of completion of harvest whichever is the later over the lands shown hatched on the Forestry Right Diagrams filed in "Plan-Related Documents" against the titleplan to the within land (together with ancillary rights) Registered 09-Jan-2007 at noon

C734093 Partial Release of Registered Forestry Right C733863 over that part of the said land within described (after excepting thereout the hatched portions of the land shown on the Forestry Right Diagram attached to the said Release) Registered 27-Aug-2008 at noon

C789502 Instrument creating Forestry Right for Gunns Plantations Limited for the term of fifteen years from 1st October 2006 and ending on the 30th September 2021 or the date of completion of harvest whichever is the later over the lands shown hatched on the Forestry Right Diagrams filed in "Plan-Related Documents" against the titleplan to the within land (together with ancillary rights) Registered 27-Aug-2008 at 12.01 PM



## RESULT OF SEARCH

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

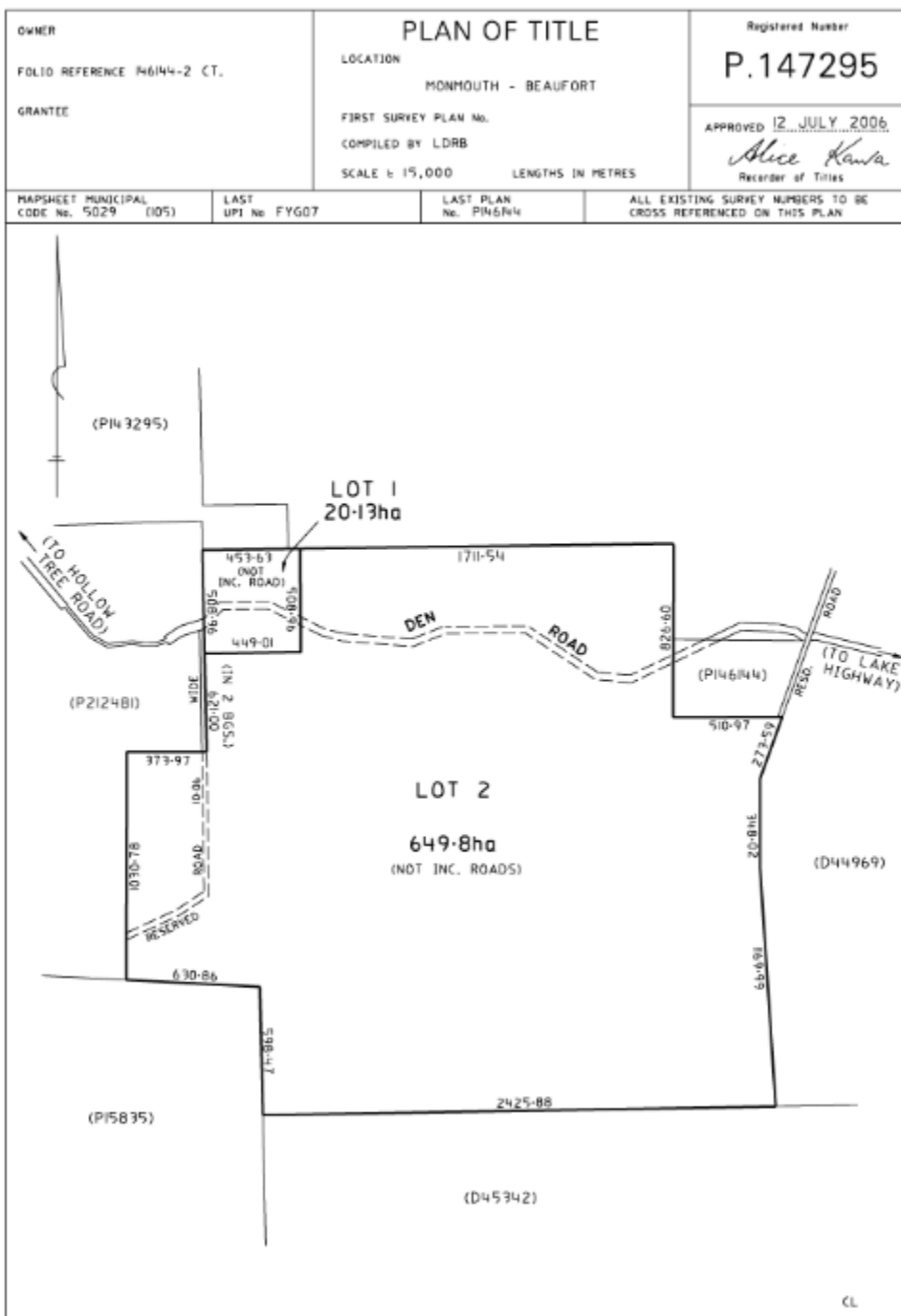


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### UNREGISTERED DEALINGS AND NOTATIONS

162186 Plan - Pending Lodged by FORESTRY TASMANIA on  
29-Jun-2011 BP: 162186

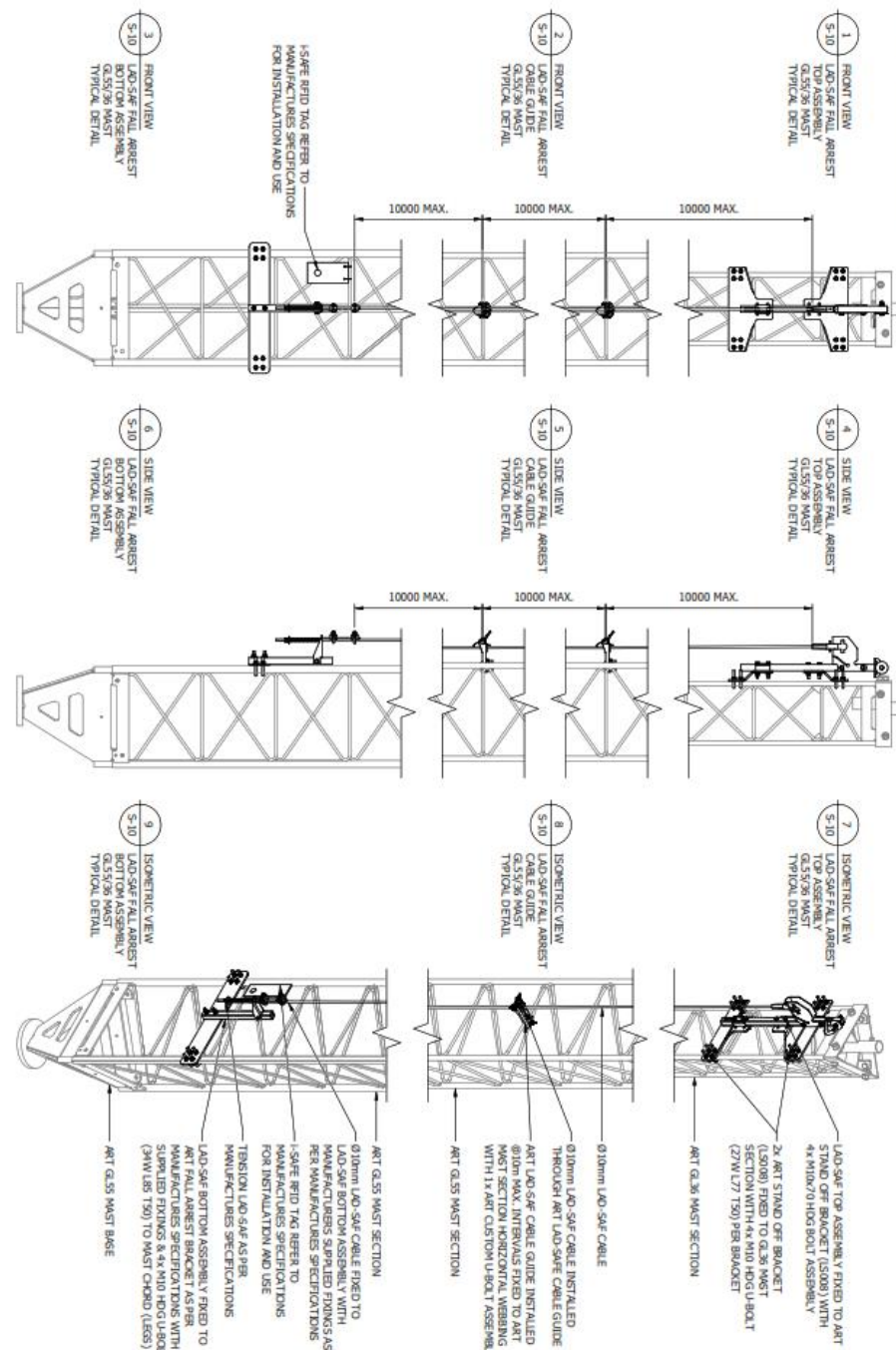






ATTACHMENT 2. TECHNICAL DRAWINGS

- LAO-SAF FALL ARREST SYSTEM INSTALLATION NOTES**
- INSTALL LAO-SAF FALL ARREST SYSTEM AS PER MANUFACTURERS SPECIFICATIONS. GENERALLY, THE LAO-SAF SYSTEMS IS INSTALLED FROM THE TOP DOWN WITH THE FOLLOWING PROCEDURE:
1. INSTALL THE TOP DOWNSTOP TO BRACKETS
  2. INSTALL THE CABLE TO THE TOP DOWNSTOP
  3. INSTALL THE CABLE GUIDE
  4. INSTALL THE BOTTOM DOWNSTOP TO BRACKET
  5. ASPECT THE INSTALLATION
  6. INSTALL THE SAFER IPED TIGHT BOTTOM OF MAST



NOTES

NO.	REVISION/CONSTRUCTION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/22
02	REVISION	

PROJECT: GOLDBIND  
 119-125 OLIVERS ROAD  
 MARIBYNDILLI NSW 2494 NSW  
 (02) 6072 6200  
 admin@goldbind.com.au  
 sales@goldbind.com.au

CLIENT: GOLDWIND

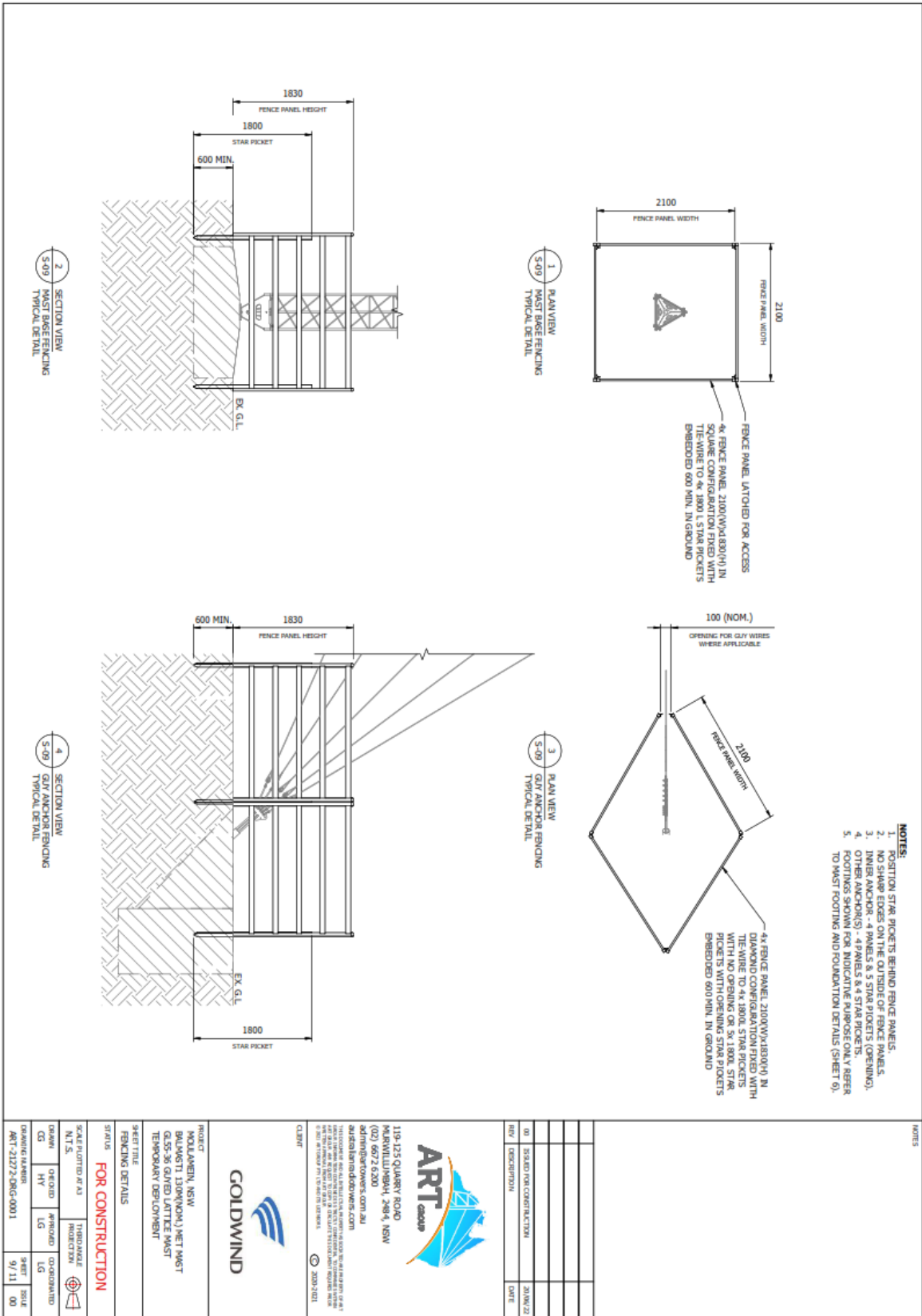
PROJECT: GOLDBIND  
 119-125 OLIVERS ROAD  
 MARIBYNDILLI NSW 2494 NSW  
 (02) 6072 6200  
 admin@goldbind.com.au  
 sales@goldbind.com.au

SCALE: AS SHOWN  
 DRAWING NUMBER: ART-2122-2-0810-0011

DATE: 10/11/20

STATUS: FOR CONSTRUCTION

DESIGNER: H.Y. LG  
 CHECKER: H.Y. LG  
 APPROVED: H.Y. LG



- NOTES:**
1. POSITION STAR PICKETS BEHIND FENCE PANELS.
  2. NO SHARP EDGES ON THE OUTSIDE OF FENCE PANELS.
  3. OTHER ANCHORS - 4 PILES 8.4 STAR PICKETS.
  4. OTHER ANCHORS - 4 PILES 8.4 STAR PICKETS.
  5. FOOTINGS SHOWN FOR INDICATIVE PURPOSE ONLY REFER TO MAST FOOTING AND FOUNDATION DETAILS (SHEET 6).

NOTES

NO.	REVISION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/22
02	REVISION	

**ART GROUP**

119-125 OLIVARY ROAD  
 MARRINDILLI NSW 2494 NSW  
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 admin@artgroup.com.au  
 australia@artgroup.com.au

**GOLDWIND**

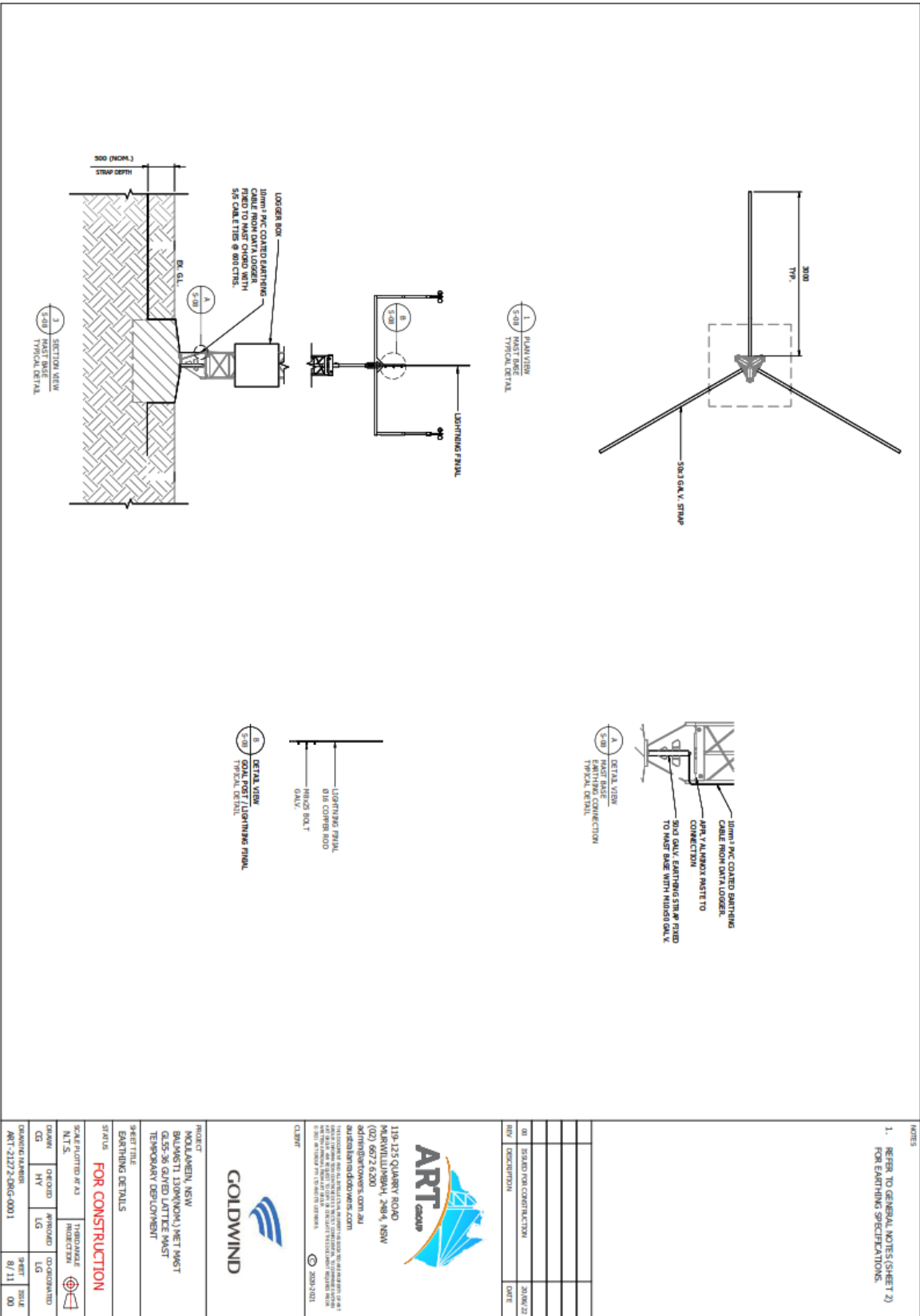
PROJECT: MARRINDILLI TOWN (NOM) NET MAST  
 SHEET: 119-125-001 NET MAST  
 TEMPORARY DEPLOYMENT

PROJECT: MARRINDILLI TOWN (NOM) NET MAST  
 SHEET: 119-125-001 NET MAST  
 TEMPORARY DEPLOYMENT

STATUS: **FOR CONSTRUCTION**

SCALE PLOTTED AT A3	THERMAGE
NT S	
DESIGN: GCS	DESIGNED: GCS
HY: HV	PROJECTION: LG
DATE: 9/11	SHEET: 00

DRAWING NUMBER: ART-2127-2-ENG-0001



NOTES  
 1. REFER TO GENERAL NOTES (SHEET 2) FOR EARTHING SPECIFICATIONS.

NO	REVISION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/22
02	REVISION	

**ART** design

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 MARRINDUBI, 2494, NSW  
 (02) 6072 6200  
 admin@artdesign.com.au  
 australia@artdesign.com.au

**GOLDWIND**

PROJECT: KOLUAMBIN, NSW  
 SUBJECT: 100M(NOM.) MET MAST  
 STATUS: FOR CONSTRUCTION  
 TEMPORARY DEPLOYMENT

PROJECT: KOLUAMBIN, NSW  
 SUBJECT: 100M(NOM.) MET MAST  
 STATUS: FOR CONSTRUCTION  
 TEMPORARY DEPLOYMENT

SHEET TITLE: EARTHING DETAILS

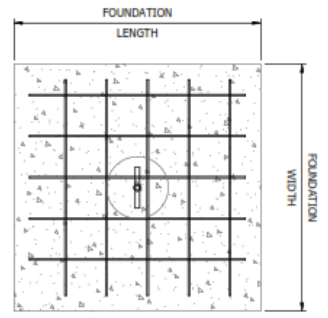
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DATE: 8/11/20

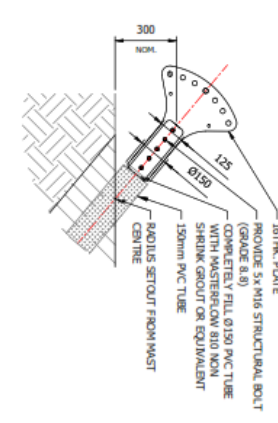
DRAWN: J. HAY  
 CHECKED: L.G.  
 APPROVED: L.G.

MAST BASE FOUNDATION			
WIDTH	LENGTH	DEPTH	VOL. OF CONCRETE
1600	1600	700	1,792m <sup>3</sup>

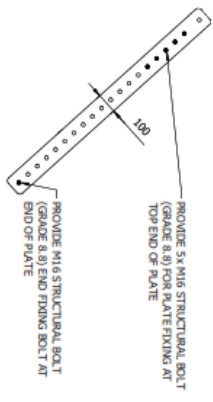
GUY ANCHOR FOOTING SCHEDULE														
FOOTING	RADIUS	NO. OF GAYS	EXC. WIDTH	EXC. LENGTH	EXC. DEPTH	ANCHOR BEAM DEPTH	CONC. ANGLE	DIM A	DIM B	DIM C	GROUT(WS)	CONC. VOL. PER ANCHOR(m <sup>3</sup> )	PIPE ANCHOR HEAD LENGTH	ANCHOR HEAD LENGTH
INNER	3000	4	800	1800	1600	1500	42.5°	1495	400	2630	60	0.72m <sup>3</sup>	2200	5 HOLE
INTERMEDIATE	6000	4	1000	1800	2200	1500	49.2°	1510	400	2975	76	0.9m <sup>3</sup>	2700	5 HOLE
OUTER	9000	3	1000	1800	2200	1500	49.2°	1526	400	2889	77	0.9m <sup>3</sup>	2700	5 HOLE



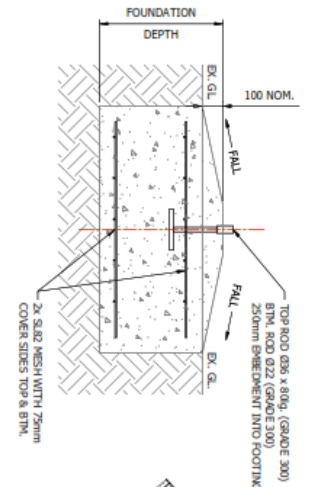
1 PLAN VIEW  
S-06/ CONCRETE INST/ MAST BASE  
TYPICAL DETAIL



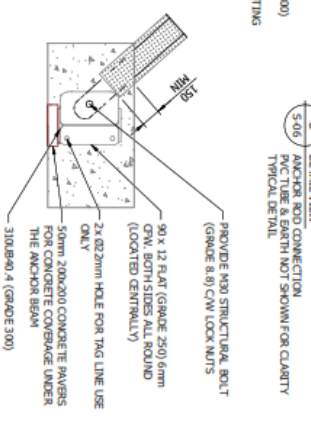
A DETAIL VIEW  
S-06/ ANCHOR HEAD ASSEMBLY  
TYPICAL DETAIL



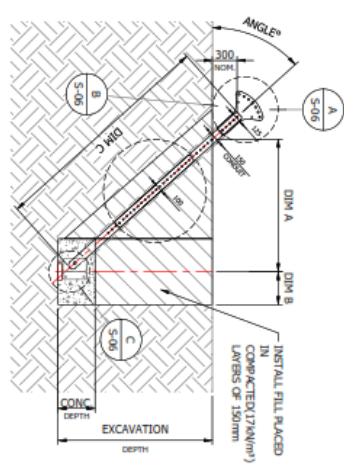
4 PLAN VIEW  
S-06/ GUY ANCHOR FOOTING  
TYPICAL DETAIL



2 SECTION VIEW  
S-06/ CONCRETE INST/ MAST BASE  
TYPICAL DETAIL



B DETAIL VIEW  
S-06/ ANCHOR ROD CONNECTION  
TYPICAL DETAIL



5 SECTION VIEW  
S-06/ GUY ANCHOR FOOTING  
TYPICAL DETAIL

NO.	DESCRIPTION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/22
02	REVISION	
03	REVISION	
04	REVISION	
05	REVISION	

**ART** Group

119-125 OLIVARY ROAD  
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admin@artgroup.com.au  
aust@artgroup.com.au

**GOLDWIND**

PROJECT: KOUJABEN, NSW  
SUBJECT: 119-125 OLIVARY ROAD MAST  
FOUNDATION FOR CONSTRUCTION  
TEMPORARY DEPLOYMENT

3 SHEET TITLE: MAST FOOTING DETAILS - CONCRETE  
STATUS: FOR CONSTRUCTION

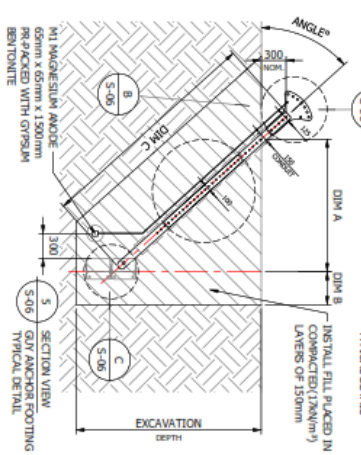
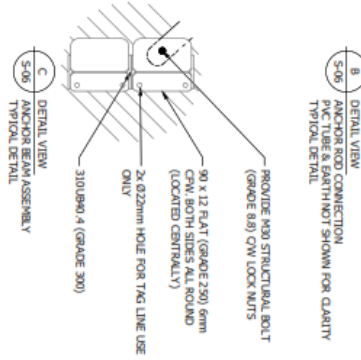
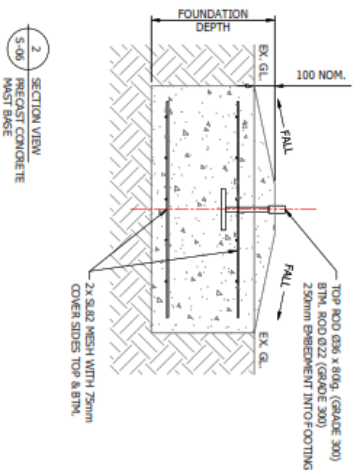
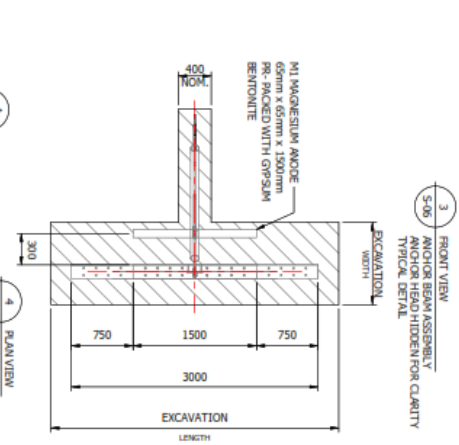
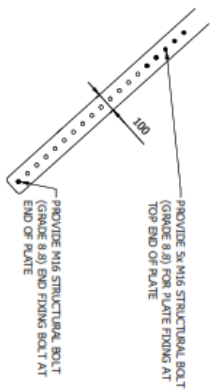
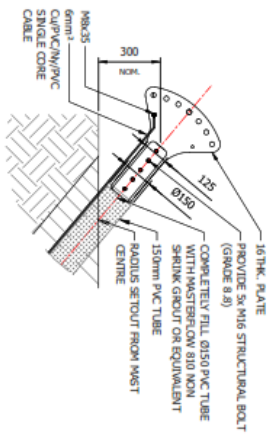
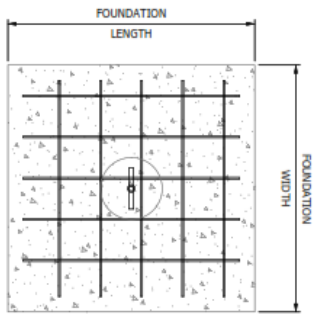
SCALE: PLotted at A3  
DRAWN: G.F. GARDNER  
CHECKED: H.V. TIG  
DATE: 17/11/20

NOTES

1. REFER TO GENERAL NOTES (SHEET 2) FOR CONCRETE SPECIFICATIONS

MAST BASE FOUNDATION			
WIDTH	LENGTH	DEPTH	VOL. OF CONCRETE
1600	1600	700	1,792m <sup>3</sup>

GUY ANCHOR FOOTING SCHEDULE												
FOOTING NUMBER	RADIUS	No. GUS	WIDTH	LENGTH	DEPTH	ANCHOR BEAM ANGLE	DIM A	DIM B	DIM C	GROUT(KG)	PIPE LENGTH	ANCHOR HEAD
INNER	3000	4	800	3400	1600	3x 1500	42.5°	1495	400	2630	61	2200
INTERMEDIATE	6000	4	800	3400	2000	3x 1500	49.2°	1510	400	2676	69	2500
OUTER	9000	3	800	3400	2000	3x 1500	49.2°	1538	400	2899	69	2500



NOTES  
1. REFER TO GENERAL NOTES (SHEET 2) FOR CONCRETE SPECIFICATIONS

PROJECT: KOUJABENI NSW  
SUBJECT: 110M(NOM) NET MAST  
DRAWN BY: J. BENTONITE  
TEMPORARY DEPLOYMENT

STATUS: FOR CONSTRUCTION

SCALE: PLotted AS 1:100

DATE: 6/11/00

CLIENT: GOLDWIND

ART Group

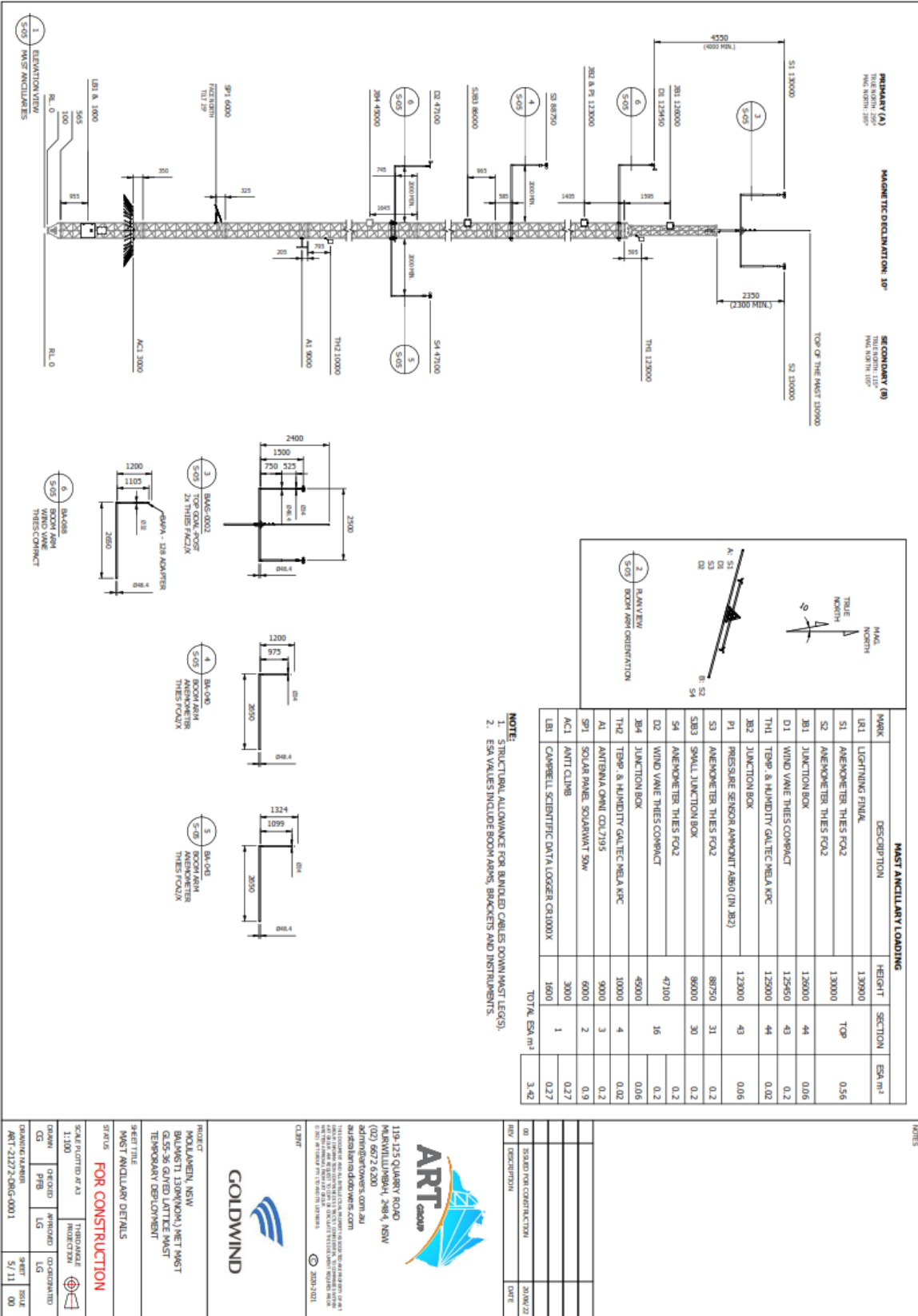
119-125 QUARRY ROAD  
MARRINDUBI NSW 2494 NSW  
(02) 6672 6200  
admin@artgroup.com.au  
sales@artgroup.com.au

CONCRETE: 5:00

REVISIONS:

NO.	DESCRIPTION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/20
02	REVISION	





**ART Group**

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 MARRINDRIE NSW 2094 NSW  
 (02) 6672 6200  
 admin@artgroup.com.au  
 australia@artgroup.com.au

**GOLDWIND**

PROJECT: INKILAMBIN NSW  
 SUBJECT: 119-125 GLASSBY ROAD  
 DRAWING: MAST ANEMOMETER  
 TEMPORARY DEPLOYMENT

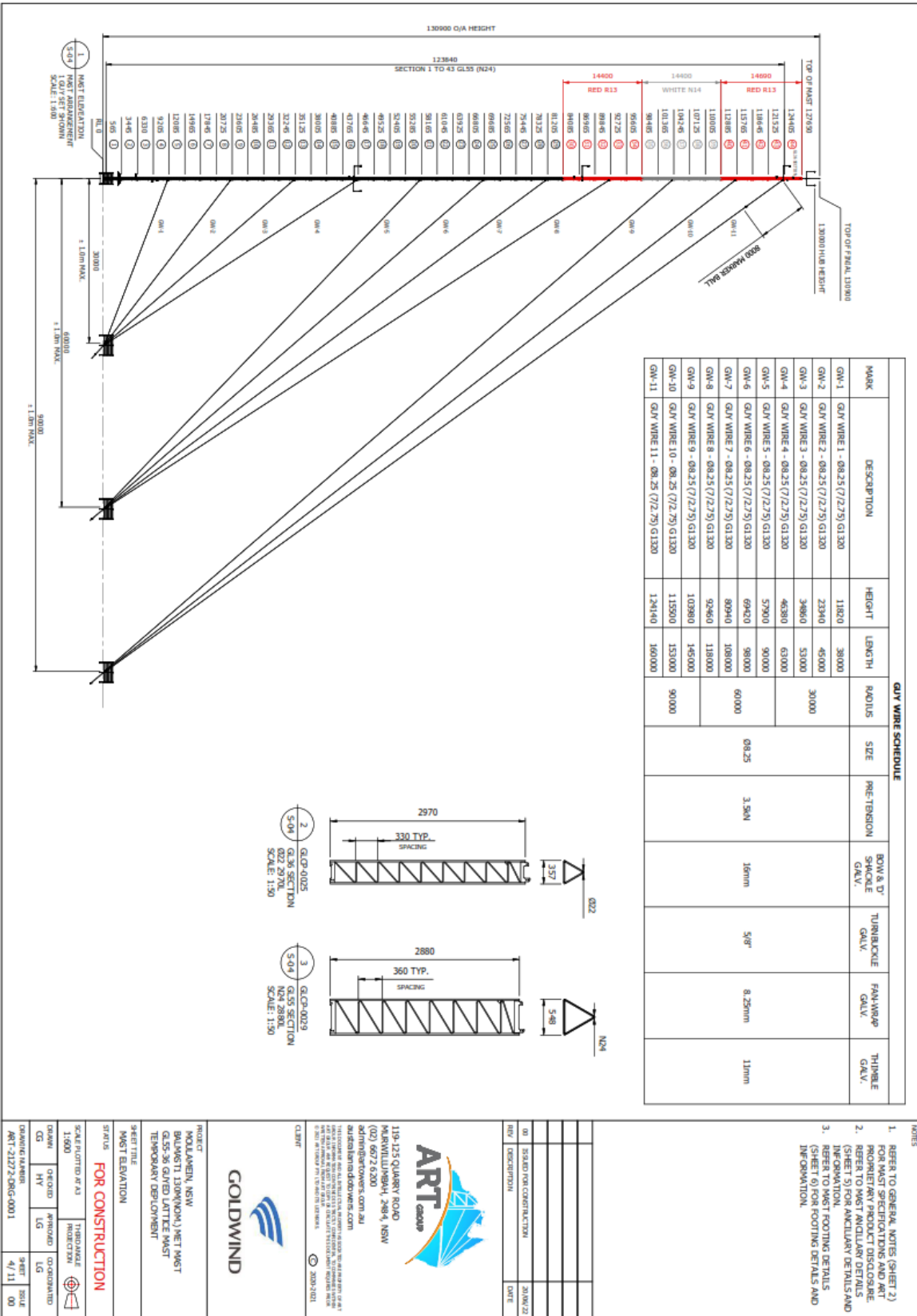
3 SHEET TITLED  
 MAST ANEMOMETER  
 STATUS: FOR CONSTRUCTION

SCALE: PLOTTED AT A3  
 1:100

DESIGN: PFB  
 CHECK: LG

DATE: 20/06/22

SHEET: 5/11  
 OF: 00



- NOTES
- REFER TO GENERAL NOTES (SHEET 2)
  - REFER TO GENERAL NOTES (SHEET 2) FOR ANCHORAGE AND PRODUCT DISCREPANCY
  - REFER TO GENERAL NOTES (SHEET 2) FOR ANCHORAGE DETAILS AND INFORMATION
  - REFER TO MAST FOOTING DETAILS (SHEET 6) FOR FOOTING DETAILS AND INFORMATION

NO.	REVISION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/22
02	REVISION	

**ART** *design*

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 admin@artdesign.com.au  
 australia@artdesign.com.au

**GOLDWIND**

PROJECT: MARRINDUBENAH, NSW  
 SUBJECT: 130900 OJA MAST  
 SHEET: MAST ELEVATION  
 TEMPORARY DEPLOYMENT

SCALE: 1:100

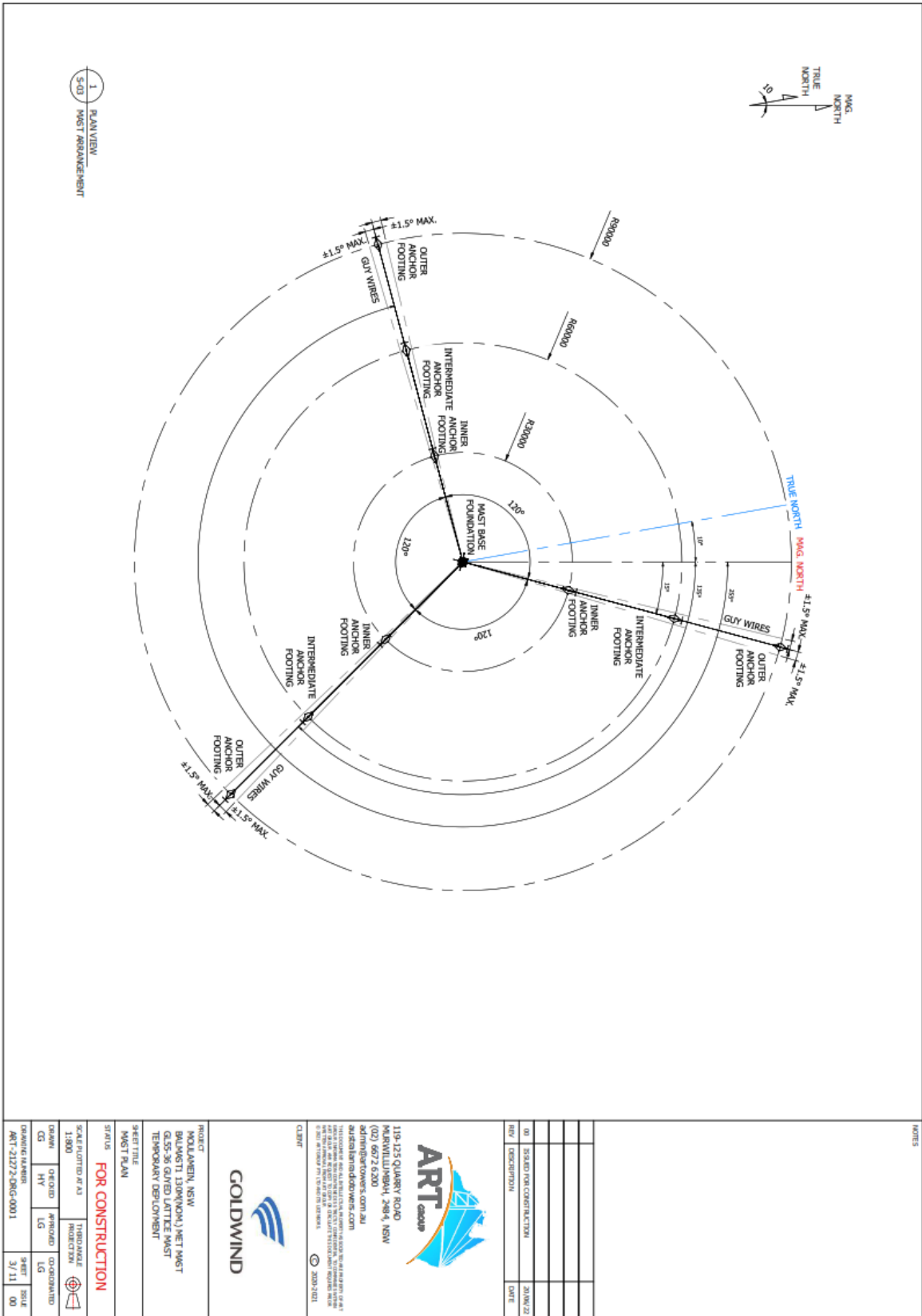
DATE: 4/11/22

**FOR CONSTRUCTION**

SCALE: 1:100

DATE: 4/11/22

PROJECT: MARRINDUBENAH, NSW  
 SUBJECT: 130900 OJA MAST  
 SHEET: MAST ELEVATION  
 TEMPORARY DEPLOYMENT



1 PLAN VIEW  
5.03 MAST ARRANGEMENT

NOTES

NO.	DESCRIPTION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/20

**ART Group**

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**GOLDWIND**

PROJECT: KOLUAMBIN, NSW  
 SUBJECT: 1.0MW/100M TWT MAST  
 5.03 MAST ARRANGEMENT  
 TEMPORARY DEPLOYMENT

PROJECT: KOLUAMBIN, NSW  
 SUBJECT: 1.0MW/100M TWT MAST  
 5.03 MAST ARRANGEMENT  
 TEMPORARY DEPLOYMENT

SHEET TITLE: MAST PLAN

STATUS: **FOR CONSTRUCTION**

SCALE	1:800	THROUGHT	PROJECTION	DATE
DESIGN	HY	REVISION	LG	3/11/20
CHECK	HY	APPROVED	LG	00

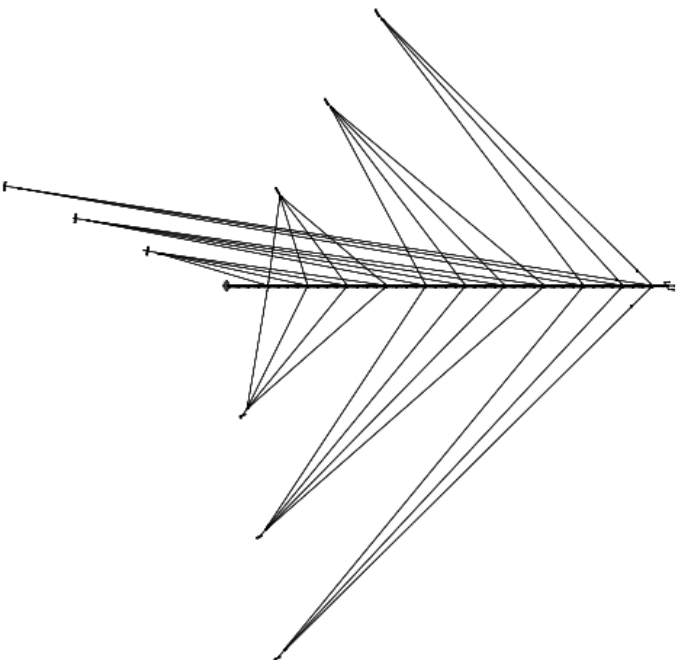
DRAWING NUMBER: AWT-21272-5.03G-0001





DRAWING REGISTER	
SHEET TITLE	SHEET No.
TITLE SHEET & DRAWING REGISTER	1/11
GENERAL NOTES	2/11
MAST PLAN	3/11
MAST ELEVATION	4/11
MAST ANCILLARY DETAILS	5/11
MAST FOOTING DETAILS - CONCRETELESS ANCHORS	6/11
MAST FOOTING DETAILS - CONCRETE ANCHORS	7/11
EARTHING DETAILS	8/11
FENCING DETAILS	9/11
FALL ARREST DETAILS	10/11
BAT MIC DETAILS	11/11

**CLIENT:** GOLDWIND AUSTRALIA  
**SITE:** MOLLAMEIN, NSW  
**MAST NAME:** BALMAST1  
**COORDINATES:** UTM S 55 H: 233157, 6141801  
 dd: dddd° -34.831139°N, 144.08217°E  
**DESCRIPTION:** 130m (NOM.) TEMPORARY GL55/36 GUYED LATTICE MAST  
**WIND REGION:** A0  
**TERRAIN CATEGORY:** 2  
**STRUCTURAL IMPORTANCE:** TYPE III / LEVEL 1  
AS3995-1994 & AS1170.2:2021



1 ISOMETRIC VIEW  
(ANGLES NOT SHOWN)

NOTES

ID	REVISION / DESCRIPTION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/21


  
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 MOLLAMEIN NSW 2894, NSW  
 (02) 6072 6200  
[admin@artgroup.com.au](mailto:admin@artgroup.com.au)  
[www.artgroup.com.au](http://www.artgroup.com.au)

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**GOLDWIND**

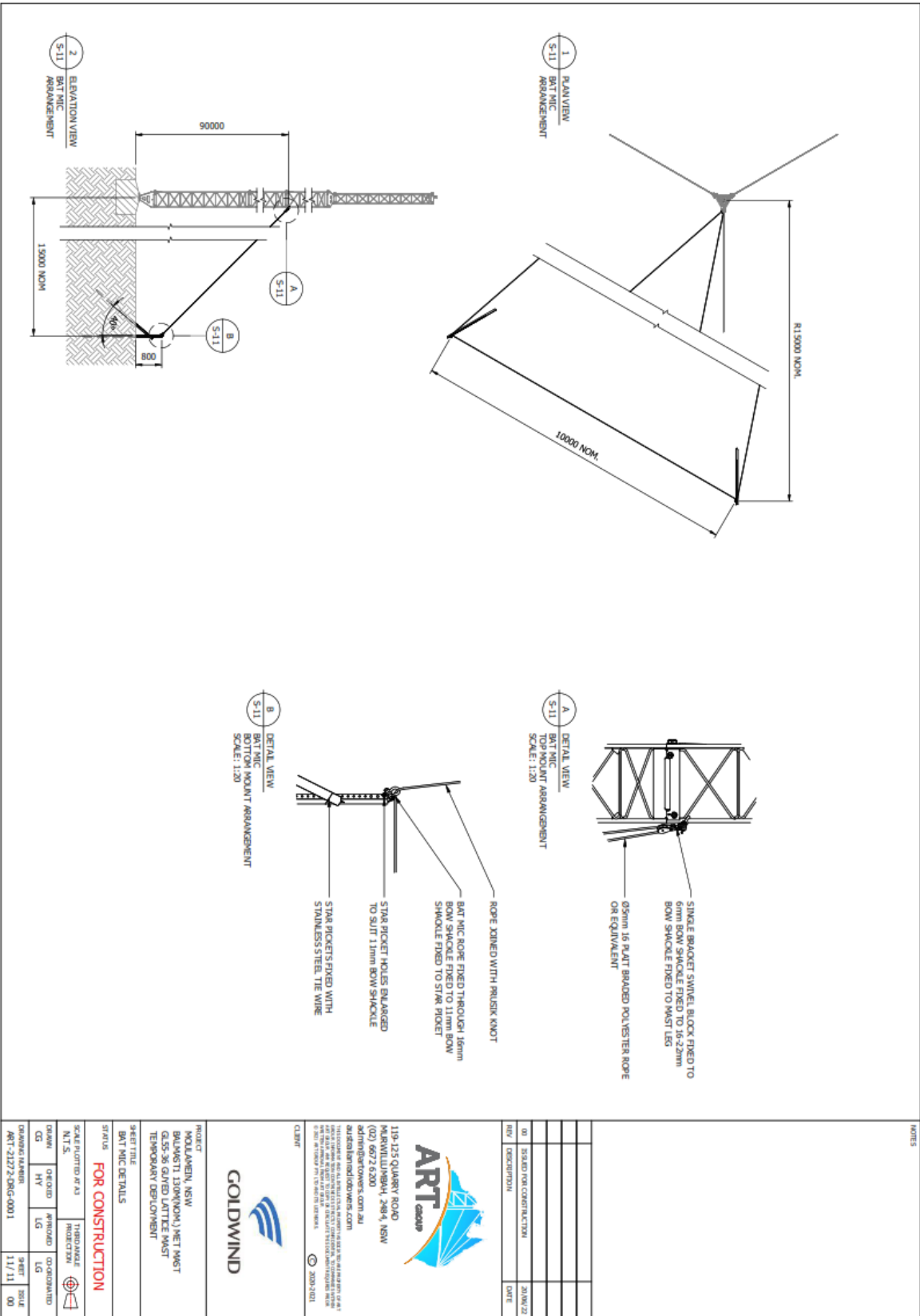
**PROJECT:** MOLLAMEIN, NSW  
**PROJECT TITLE:** BALMAST1 TEMPORARY MAST  
**CLIENT:** GOLDWIND AUSTRALIA  
**STATUS:** TEMPORARY DEPLOYMENT

**SHEET TITLE:** TITLE SHEET & DRAWING REGISTER  
**STATUS:** **FOR CONSTRUCTION**

SCALE	AS SHOWN	PROJECTION	UNIVERSAL TRANSVERSE MERCATOR
UNIT	METRE	COORDINATE	UTM
DATE	1/11	SCALE	1:1



Figure 10 -  
Technical Drawings



NOTES

NO	DESCRIPTION	DATE
01	ISSUED FOR CONSTRUCTION	20/06/22
02	REVISION	

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 (02) 6072 6200  
 admin@artgroup.com.au  
 australia@artgroup.com.au

**GOLDWIND**

PROJECT: MARRINDILLI NSW  
 SUBJECT: 1300(NOM) MET MAST  
 SHEET: 1300(NOM) MET MAST  
 TEMPORARY DEPLOYMENT

**FOR CONSTRUCTION**

SCALE: PLotted AT A3

DESIGN: HV LG  
 FINISHED: LG  
 PROJECTION: LG  
 G-COMPARED: LG

DATE: 11/11/20