

DISCRETIONARY APPLICATION

For Public Display

Applicant:

G.J. Gardner Homes Hobart

Location:

41 Patrick Street, Bothwell

Proposal:

Dwelling & Outbuilding

DA Number:

DA 2023 / 00009

Date Advertised:

24 February 2023

Date Representation Period Closes:

10 March 2023

Responsible Officer:

Louisa Brown (Planning Officer)

Viewing Documents:

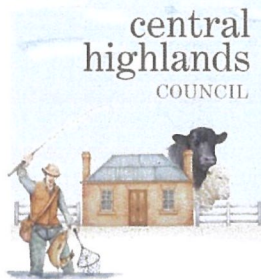
The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

development@centralhighlands.tas.gov.au



Development & Environmental Services
19 Alexander Street
BOTHWELL TAS 7030
Phone: (03) 6259 5503
Fax: (03) 6259 5722
www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____
Property ID No.: _____
Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name

G-J. Gardner Homes Hobart

Postal Address

49 Sandy Bay Rd

Phone No:

6228 6016

Battery Point

7004

Fax No:

Email address

karen.lahey@gjgardner.com.au

Owner/s Name

Montang + Brandon Lawrence

(if not Applicant)

Postal Address

Phone No:

Fax No:

Email address:

Description of proposed use and/or development:

**Address of new use
and development:**

41 Patrick Street Bothwell 7030

**Certificate of Title
No:**

Volume No

166515

Lot No:

1

**Description of
proposed use or
development:**

New Dwelling

ie: New Dwelling / Additions / Demolition
/ Shed / Farm Building / Carport /
Swimming Pool or detail other etc.

**Current use of land
and buildings:**

Vacant land

Eg. Are there any existing buildings
on this title?
If yes, what is the main building
used as?

Proposed Material

What are the proposed
external wall colours

T.B.C

What is the proposed roof colour

T.B.C

What is the proposed
new floor area m².

262.60

What is the estimated value of
all the new work proposed:

\$ 628,674.70

Is proposed development to be staged:

Yes ☐

No ☒

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☒

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☒

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☒

Has a Certificate of Exemption been sought for these works?

Yes ☐

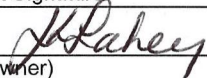
No ☒

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature


(if not the Owner)

Applicant Name (Please print)

Karen Lahey

Date

10.2.2023

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date

[illegible]

Information

If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").

If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.

It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.

If you do not wish for the Council to use your email address as the method of contact and for the giving of information, **please tick** ☒ the box

**Heritage Tasmania**

If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application.
(Phone 1300 850 332 or email enquires@heritage.tas.gov.au)

TasWater

Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
166515		1
EDITION	DATE OF ISSUE	
2	12-Oct-2022	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Town of BOTHWELL
Lot 1 on Sealed Plan 166515
Derivation : Whole of 10A-1Ps. Gtd. to J.H. Patterson and
Whole of 11 acres Gtd. to R. Blake and Whole of Lot 1000
(1107m2) The Crown
Prior CTs 248492/1 and 166515/1000

SCHEDULE 1

M988412 TRANSFER to MONTANA LEE LAWRENCE and BRANDON JOSEPH
PAUL LAWRENCE Registered 12-Oct-2022 at noon

SCHEDULE 2

D27329 & D27330 Land is limited in depth to 15 metres,
excludes minerals and is subject to reservations
relating to drains sewers and waterways in favour of
the Crown
D27330 FENCING PROVISION in Transfer

SEARCH OF TORRENS TITLE

VOLUME 166515	FOLIO 1
EDITION 2	DATE OF ISSUE 12-Oct-2022

SEARCH DATE : 08-Dec-2022

SEARCH TIME : 08.57 AM

DESCRIPTION OF LAND

Town of BOTHWELL

Lot 1 on Sealed Plan 166515

Derivation : Whole of 10A-1Ps. Gtd. to J.H. Patterson and

Whole of 11 acres Gtd. to R. Blake and Whole of Lot 1000

(1107m2) The Crown

Prior CTs 248492/1 and 166515/1000

SCHEDULE 1

M988412 TRANSFER to MONTANA LEE LAWRENCE and BRANDON JOSEPH
PAUL LAWRENCE Registered 12-Oct-2022 at noon

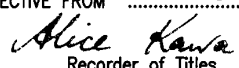
SCHEDULE 2

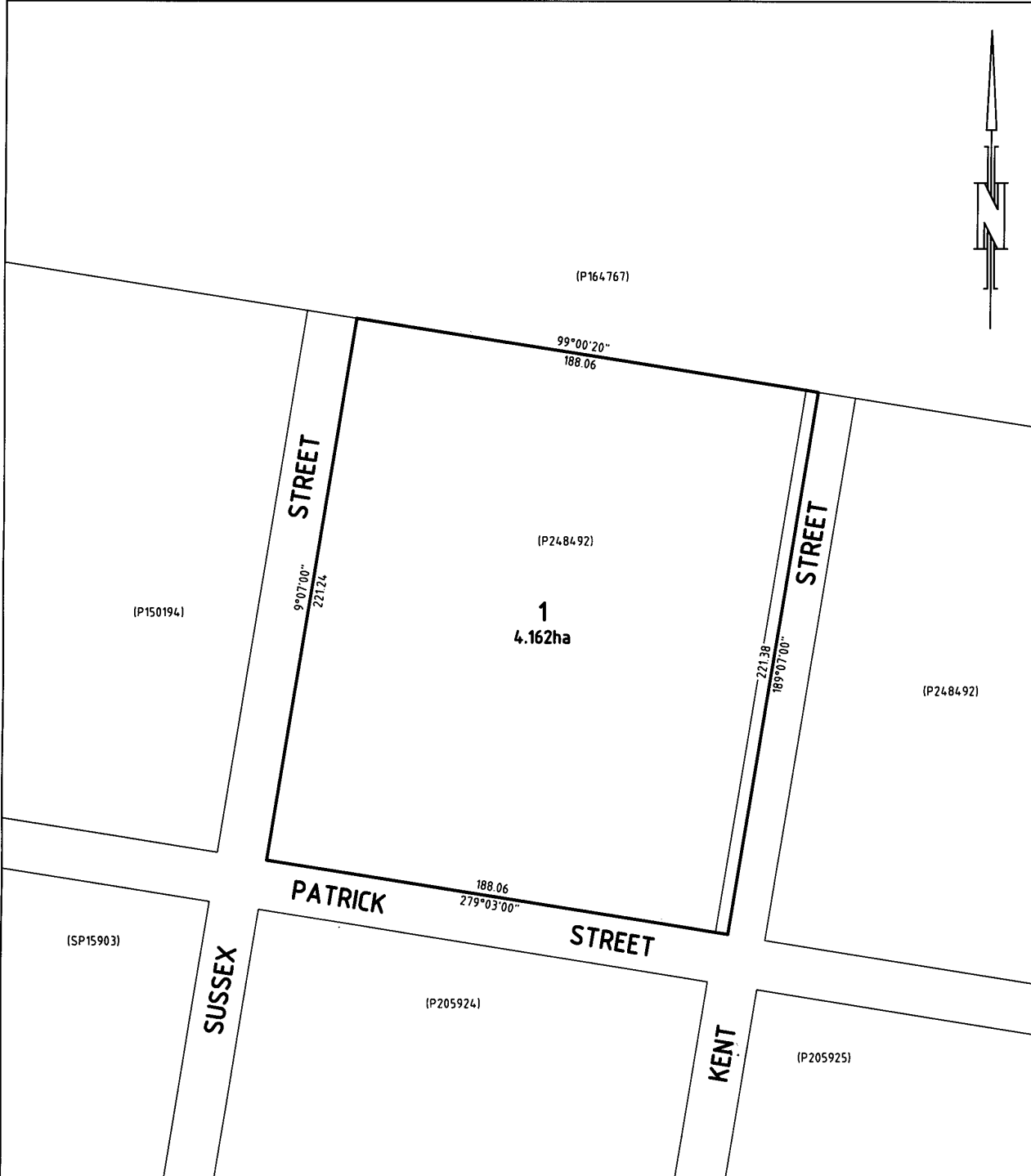
D27329 & D27330 Land is limited in depth to 15 metres,
excludes minerals and is subject to reservations
relating to drains sewers and waterways in favour of
the Crown

D27330 FENCING PROVISION in Transfer

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER GARRIE JAMES EYLES & LYNETTE MAREE EYLES THE CROWN		PLAN OF SURVEY BY SURVEYOR DAVID B MILLER BROOKS LARK & CARRICK SURVEYORS PO BOX 910 ROSNY PARK 7018 PH 6244-6256 FAX 6244-6221 MOB. 0400-114-824		REGISTERED NUMBER SP166515	
FOLIO REFERENCE 248492/1 27A D27329		LOCATION TOWN OF BOTHWELL		APPROVED EFFECTIVE FROM 25 SEP 2013  Recorder of Titles	
GRANTEE WHOLE OF 10A-OR-1Ps GTD TO JOHN HUNTER PATTERSON AND WHOLE OF LOT 1000 (1107m ²) GRANTED TO THE CROWN		SCALE 1: 1500 LENGTHS IN METRES		ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	
MAPSHEET MUNICIPAL CODE No. 105 (5030-21)		LAST UPI No. 1100331			



SI 10295

COUNCIL DELEGATE _____
 DATE _____

PROPOSED RESIDENCE

41 PATRICK STREET, BOTHWELL

M.L. & B.J. LAWRENCE
PDH22119

BUILDING DRAWINGS

<u>No</u>	<u>DRAWING</u>
01	SITE PLAN
02	PART SITE PLAN
03	FLOOR PLAN
04	DOOR AND WINDOW SCHEDULES
05	ELEVATIONS
06	ELEVATIONS
07	ROOF PLAN
08	PERSPECTIVES



GENERAL PROJECT INFORMATION

TITLE REFERENCE: 166515/1
SITE AREA: 4.162ha
DESIGN WIND SPEED: N3
SOIL CLASSIFICATION: H2
CLIMATE ZONE: 7
ALPINE AREA: NO
CORROSIVE ENVIRONMENT: NO
BAL RATING: TBA
OTHER KNOWN HAZARDS: BUSHFIRE PRONE AREA



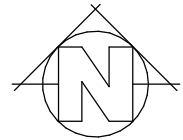
10 Goodman Court , Invermay Launceston 7248
p(l) +03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au
Accredited Building Practitioner: Frank Geskus -No CC246A

G.J. Gardner. **HOMES**

G.J.Gardner Hobart West
LV BUILT Pty Ltd T/A GJ Gardner Hobart West
49 Sandy Bay Road, Battery Point TAS 7004
P: (03) 6228 6016
W: www.gjgardner.com.au

DECEMBER 2022

PLANNING



BOUNDARY 188.06 m

BOUNDARY 221.24 m

BOUNDARY 221.38 m

REFER TO PART SITE PLAN
FOR FURTHER DETAILS

113308

42682

46186

BENCH
MARK

COMMS PIT

ELEG POLE

OVERHEAD POWER LINE

WATER MAIN

WATER
METER

BOUNDARY 188.06 m

ELEG POLE

PATRICK STREET

SITE PLAN

1 : 1000

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2019, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.

SITE DETAIL

HORIZONTAL DATUM IS ARBITRARY

VERTICAL DATUM IS ARBITRARY

WARNINGS:

THE DETAIL SHOWN / RECORDED

- MAY ONLY BE CORRECT AT THE DATE OF SURVEY.
- IS NOT A COMPLETE REPRESENTATION OF ALL SURFACE AND UNDERGROUND DETAIL.
- SHOULD ONLY BE USED FOR THE PURPOSES INTENDED.

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AS INDICATED BY SURFACE FEATURES.

PRIOR TO ANY CONSTRUCTION REFER TO RELEVANT AUTHORITIES FOR DETAILED LOCATION OF ALL SERVICES.

CONTOUR INTERVAL 0.??m

Prime Design

10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:

**PROPOSED RESIDENCE
41 PATRICK STREET,
BOTHWELL**

Client name:

M.L. & B.J. LAWRENCE

Drawing:

SITE PLAN

Drafted by:
S.G.

Approved by:
I.L.C.

Date:

19.12.2022

Scale:

1 : 1000

Project/Drawing no:

PDH22119 -01

Revision:

00

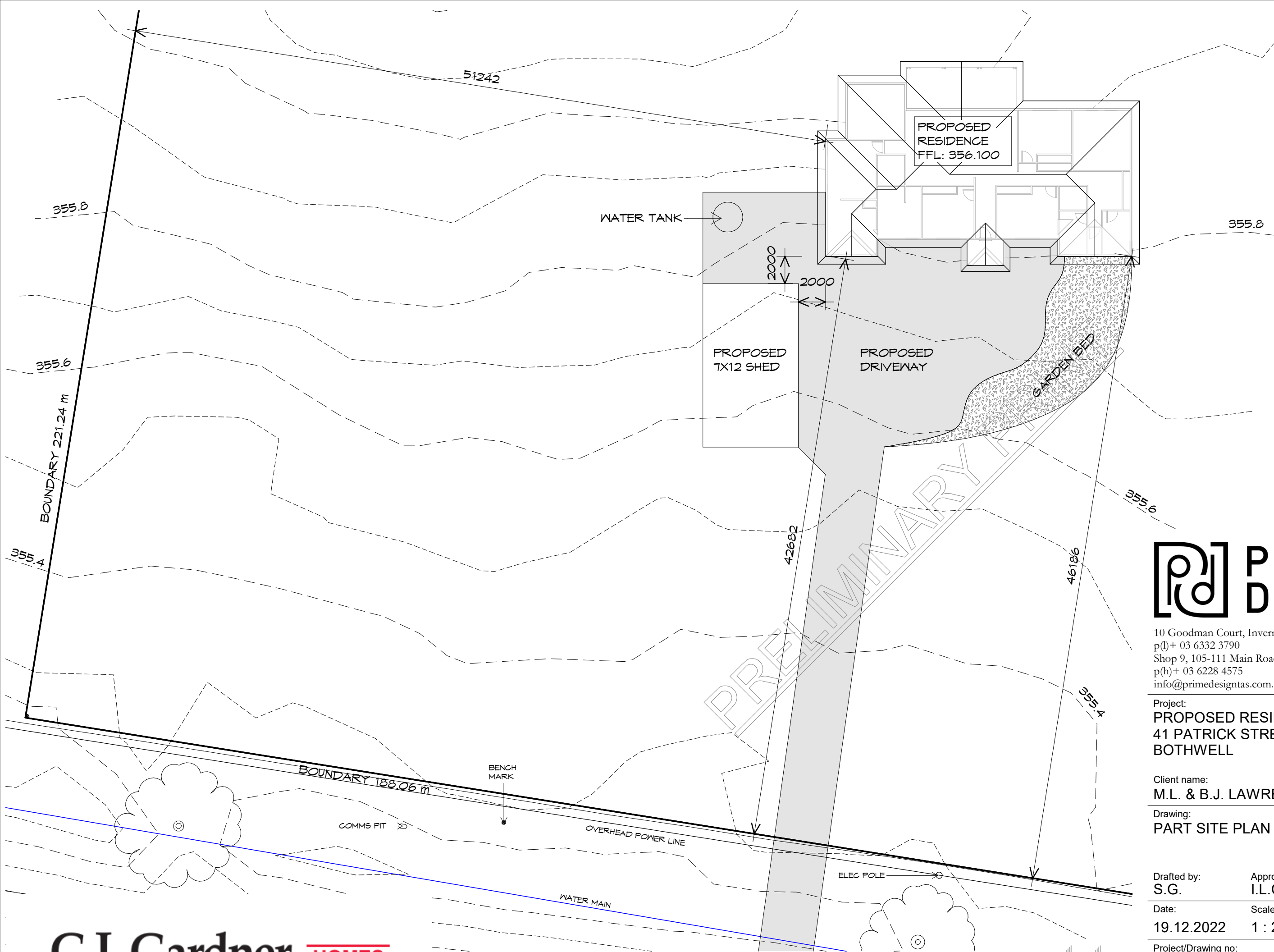
Accredited building practitioner: Frank Geskus -No CC246A

G.J. Gardner. HOMES

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesign.com.au primedesign.com.au

Project:
**PROPOSED RESIDENCE
41 PATRICK STREET,
BOTHWELL**

Client name:
M.L. & B.J. LAWRENCE

Drawing:
PART SITE PLAN

Drafted by: **S.G.** Approved by: **I.L.C.**

Date: **19.12.2022** Scale: **1 : 250**

Project/Drawing no: **PDH22119 -02** Revision: **00**

Accredited building practitioner: Frank Geskus -No CC246A

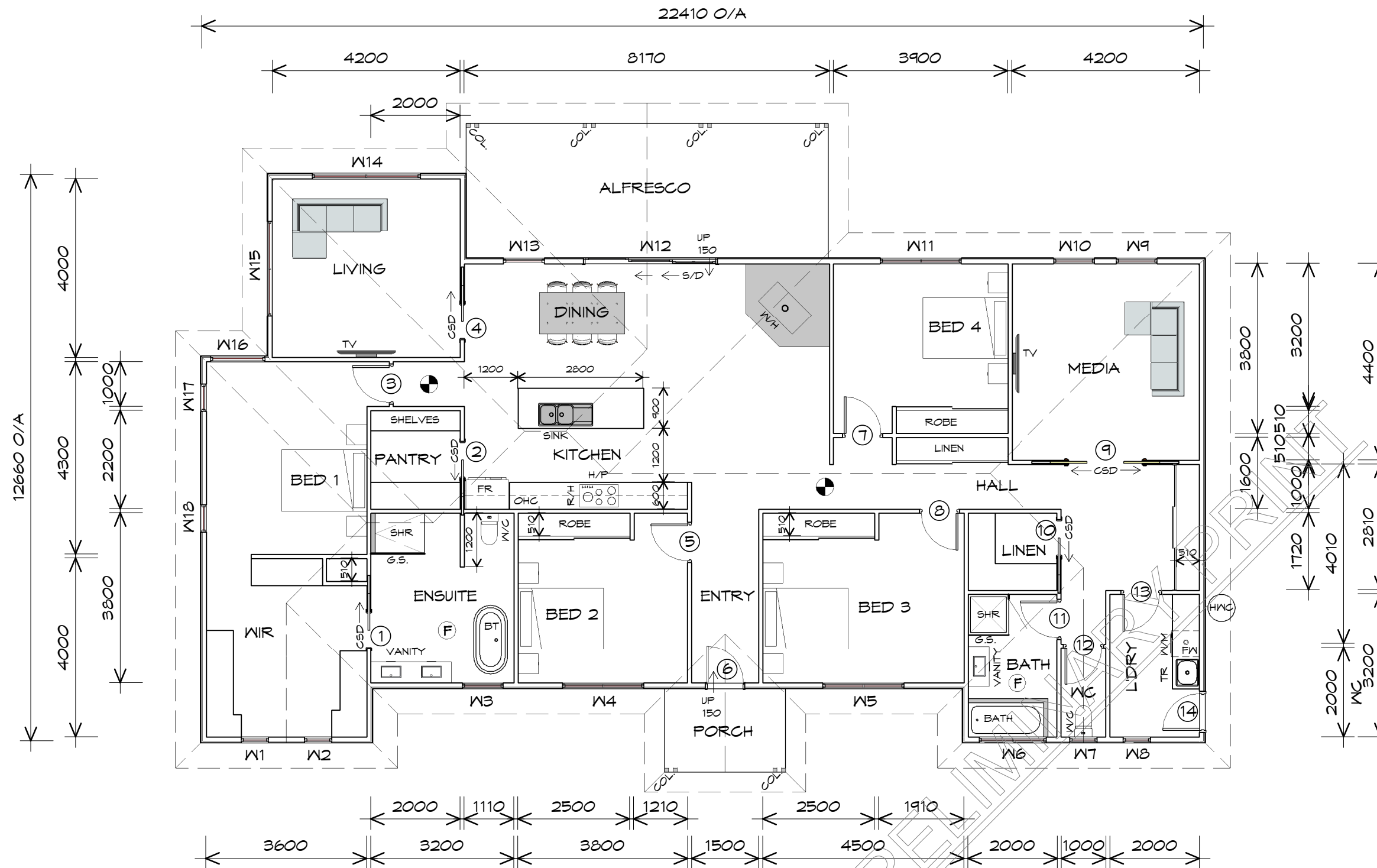
G.J. Gardner. **HOMES**

PART SITE PLAN

1 : 250



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



LEGEND

- Ⓡ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- CSD CAVITY SLIDING DOOR
- S/D SLIDING DOOR
- Ⓡ FLOOR WASTE
- COL COLUMN
- G.S. GLASS SCREEN
- R/H RANGE HOOD
- G.T. GRATED TRENCH
- HWC HOT WATER CYLINDER

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED RESIDENCE
41 PATRICK STREET,
BOTHWELL

Client name:
M.L. & B.J. LAWRENCE

Drawing:
FLOOR PLAN

Drafted by: S.G. Approved by: I.L.C.

Date: 19.12.2022 Scale: 1 : 100

Project/Drawing no: PDH22119 -03 Revision: 00

Accredited building practitioner: Frank Geskus -No CC246A

FLOOR PLAN

1 : 100

FLOOR AREA	232.45	m ²	(24.99	SQUARES)
ALFRESCO AREA	24.95	m ²	(2.68	SQUARES)
PORCH AREA	5.20	m ²	(0.56	SQUARES)
TOTAL AREA	262.60		28.24	

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

SANITARY COMPARTMENTS
MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY WITH NCC 2019 PART 3.8.33

NOTE:
WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING

WINDOW WITHIN WET AREA
C/W SAFETY GLASS AS PER AS1288
BEVEL WINDOW SEAL
RETURN TILES OR LAMIPANEL TO WINDOW (TYPICAL)

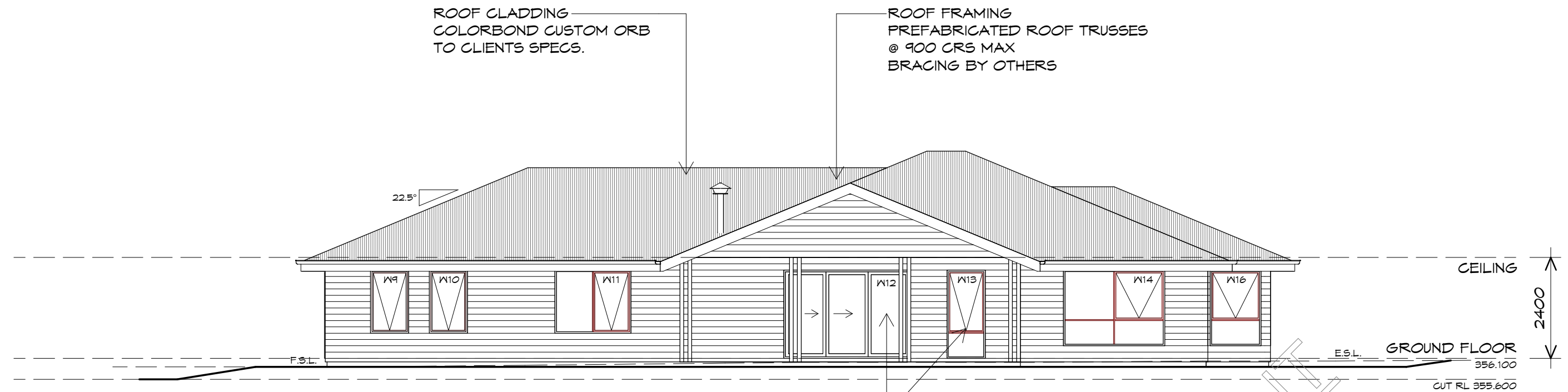
FIREPLACES, CHIMNEYS & HEARTHES
INSTALLATION OF FREESTANDING HEATING APPLIANCE TO COMPLY NCC 2019 PART 3.10.7. APPLIANCE COMPLIANT WITH AS/NZS 2918

SMOKE ALARMS
• ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
• TO BE INTERCONNECTED BETWEEN FLOORS WHERE APPLICABLE.
• SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH NCC 2019 PART 3.7.5.2

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	820	CAVITY SLIDING DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	EXTERNAL ENTRY DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	2/820 CAVITY SLIDING DOOR	
10	820	CAVITY SLIDING DOOR	
11	820	INTERNAL TIMBER DOOR	
12	820	INTERNAL TIMBER DOOR	
13	820	INTERNAL TIMBER DOOR	
14	820	EXTERNAL HALF GLASS	

WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1500	610	AWNING WINDOW	
W2	1500	610	AWNING WINDOW	
W3	1500	910	AWNING WINDOW	
W4	1500	1810	AWNING WINDOW	
W5	1500	1810	AWNING WINDOW	
W6	900	1510	AWNING WINDOW	
W7	900	610	AWNING WINDOW	
W8	1800	610	AWNING WINDOW	
W9	1500	910	AWNING WINDOW	
W10	1500	910	AWNING WINDOW	
W11	1500	1810	AWNING WINDOW	
W12	2100	3010	STACKING SLIDING DOOR	
W13	2100	910	AWNING WINDOW	
W14	1800	2410	AWNING WINDOW	
W15	1800	2110	AWNING WINDOW	
W16	1800	1210	AWNING WINDOW	
W17	1800	610	AWNING WINDOW	
W18	1800	610	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT ??? **BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

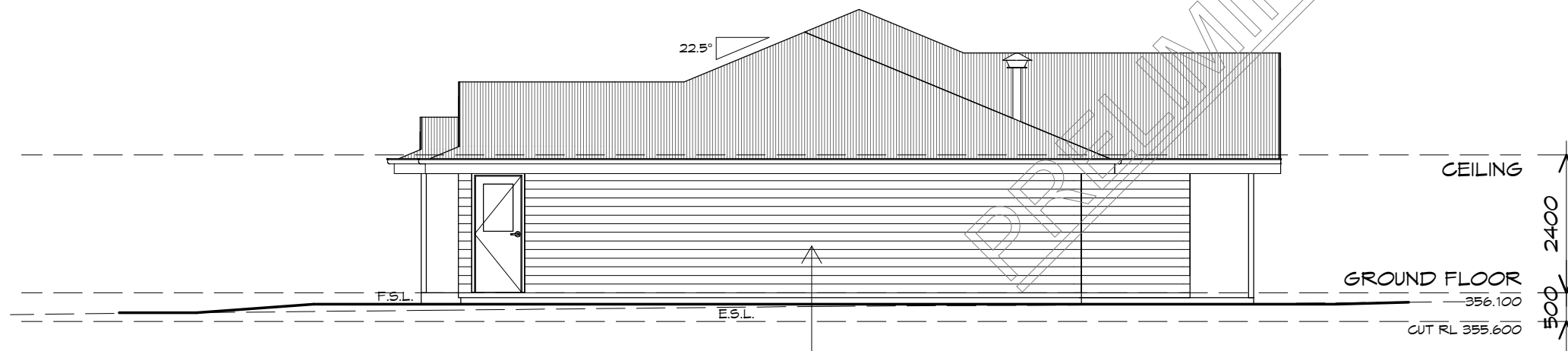


NORTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS



EASTERN ELEVATION

1 : 100

CLADDING TO BE SELECTED BY CLIENT



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED RESIDENCE
41 PATRICK STREET,
BOTHWELL

Client name:
M.L. & B.J. LAWRENCE

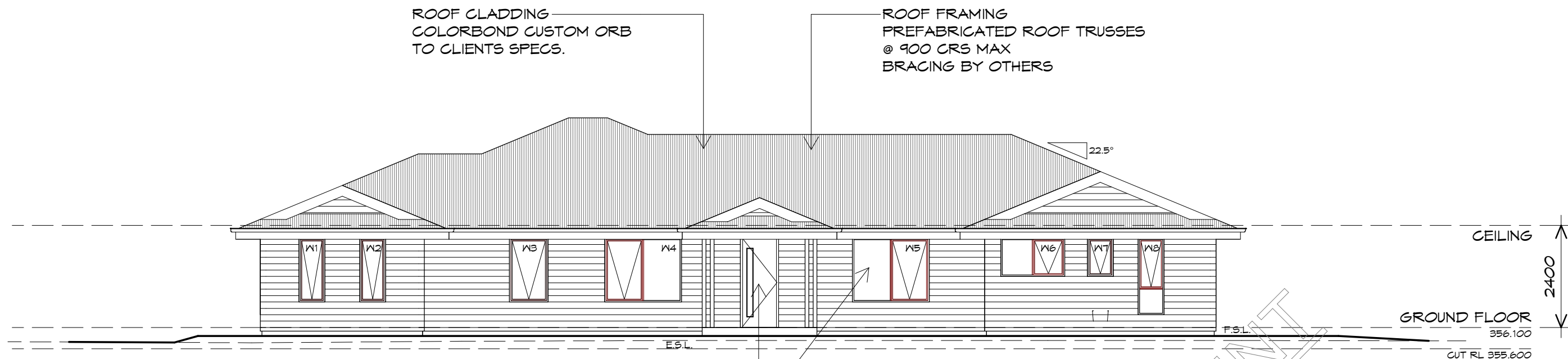
Drawing:
ELEVATIONS

Drafted by: S.G. Approved by: I.L.C.

Date: 19.12.2022 Scale: 1 : 100

Project/Drawing no: PDH22119 -05 Revision: 00

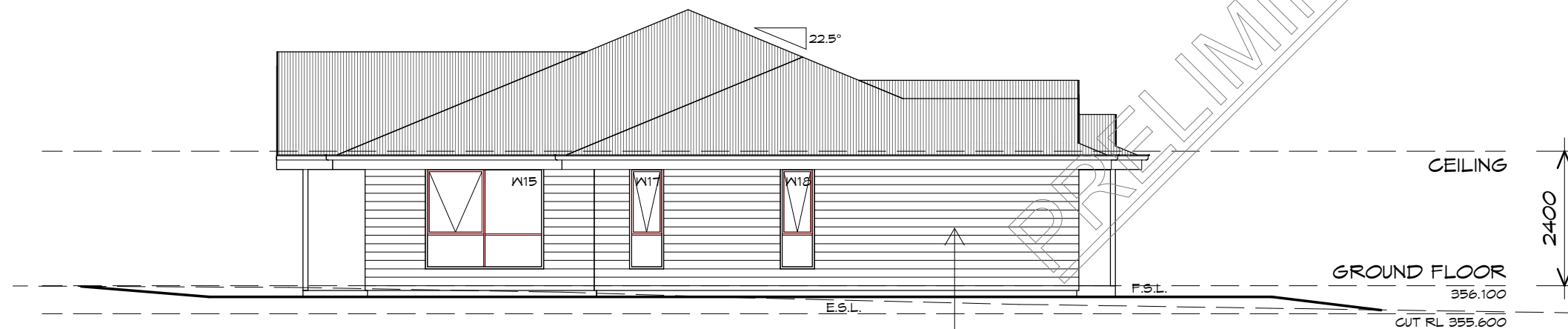
Accredited building practitioner: Frank Geskus -No CC246A



SOUTHERN ELEVATION

1 : 100

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3



WESTERN ELEVATION

1 : 100

CLADDING TO BE SELECTED BY CLIENT



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesign.com.au primedesign.com.au

Project:
PROPOSED RESIDENCE
41 PATRICK STREET,
BOTHWELL

Client name:
M.L. & B.J. LAWRENCE

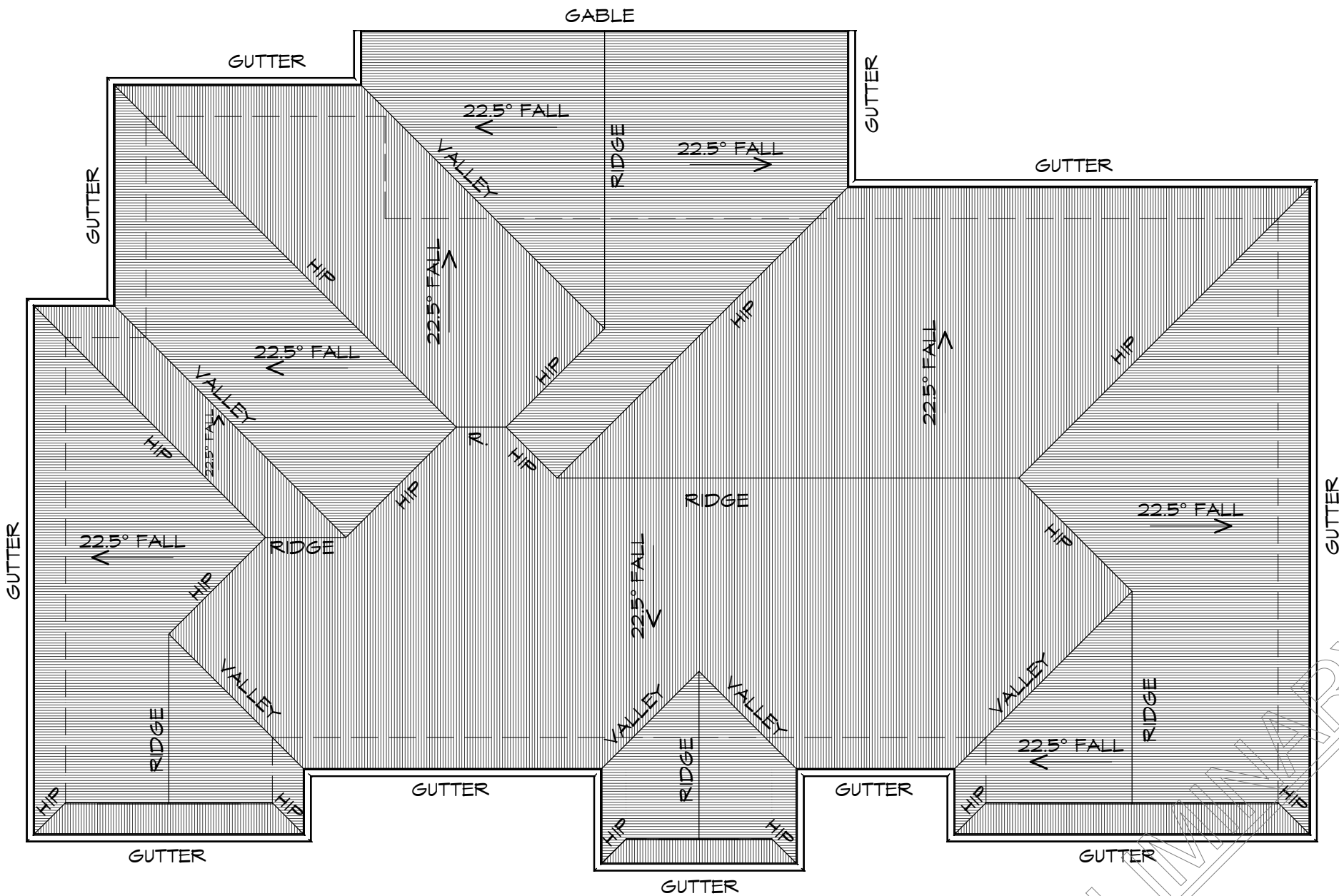
Drawing:
ELEVATIONS

Drafted by: S.G. Approved by: I.L.C.

Date: 19.12.2022 Scale: 1 : 100

Project/Drawing no: PDH22119 -06 Revision: 00

Accredited building practitioner: Frank Geskus -No CC246A



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

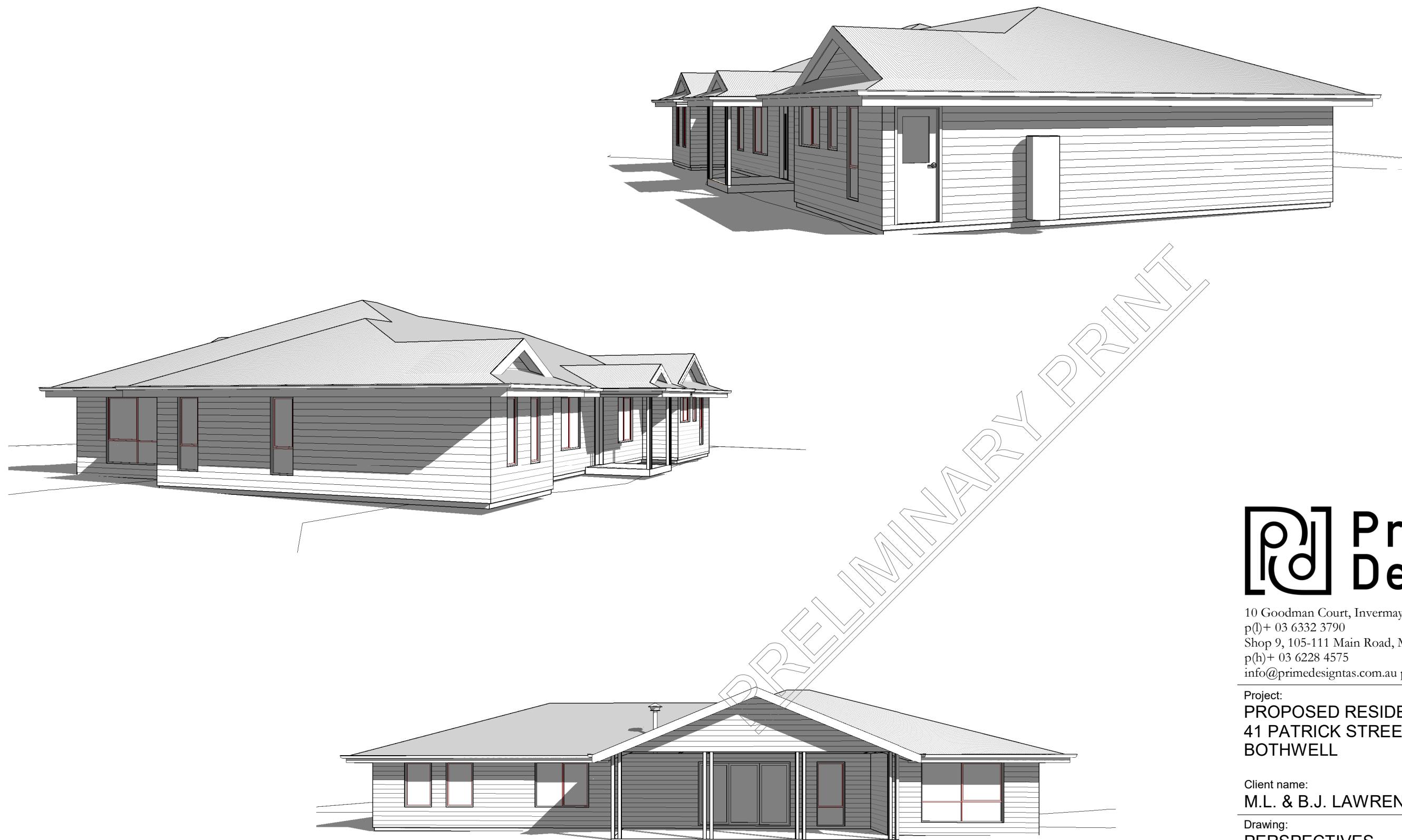
LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWNSPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.

FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8



10 Goodman Court, Invermay Tasmania 7248,
p(l)+ 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
p(h)+ 03 6228 4575
info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED RESIDENCE
41 PATRICK STREET,
BOTHWELL

Client name:
M.L. & B.J. LAWRENCE

Drawing:
PERSPECTIVES

Drafted by: S.G. Approved by: I.L.C.

Date: 19.12.2022 Scale:

Project/Drawing no: PDH22119 -08 Revision: 00

Accredited building practitioner: Frank Geskus -No CC246A