

## **DISCRETIONARY APPLICATION**

### ***For Public Display***

**Applicant:**

D J & M A Roles

**Location:**

2 Reynolds Neck Road, Reynolds Neck

**Proposal:**

Outbuilding

**DA Number:**

DA 2023 / 67

**Date Advertised:**

18 December 2023

**Date Representation Period Closes:**

15 January 2024

**Responsible Officer:**

Louisa Brown (Planning Officer)

**Viewing Documents:**

The relevant documents may be viewed at Council's website [www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au) or at Council's Office at 19 Alexander Street, Bothwell during normal office hours.

**Representations to:**

General Manager  
19 Alexander Street  
BOTHWELL TAS 7030

**Email:**

[development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au)



Development & Environmental Services  
19 Alexander Street  
BOTHWELL TAS 7030

Phone: (03) 6259 5503  
Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: \_\_\_\_\_

Property ID No.: \_\_\_\_\_

Date Received: \_\_\_\_\_

## Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name

Darren + Michelle Roles

Postal Address

78 Rowland Crescent

Phone No:

0408176449

Summerhill

7250

Fax No:

Email address

mro06868@bigpond.net.au

Owner/s Name

"As Above"

(if not Applicant)

Postal Address

Phone No:

Fax No:

Email address:

mro06868@bigpond.net.au

Description of proposed use and/or development:

Address of new use  
and development:

2 Reynolds Neck Road, Miena

Certificate of Title  
No:

Volume No

Lot No:

Description of  
proposed use or  
development:

Shed

ie: New Dwelling / Additions / Demolition  
/ Shed / Farm Building / Carport /  
Swimming Pool or detail other etc.

Current use of land  
and buildings:

Shack

Eg. Are there any existing buildings  
on this title?  
If yes, what is the main building  
used as?

Proposed Material

What are the proposed  
external wall colours

woodland Grey

What is the proposed roof colour

night sky.

What is the proposed  
new floor area m<sup>2</sup>.

9m x 9m

What is the estimated value of  
all the new work proposed:

\$ 30,000-00



Is proposed development to be staged:

Yes ☐

No ☒

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☒

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☒

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☒

Has a Certificate of Exemption been sought for these works?

Yes ☐

No ☒

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");  
*Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.*

Applicant Signature

(if not the Owner)

Applicant Name (Please print)

Date

Land Owner(s) Signature

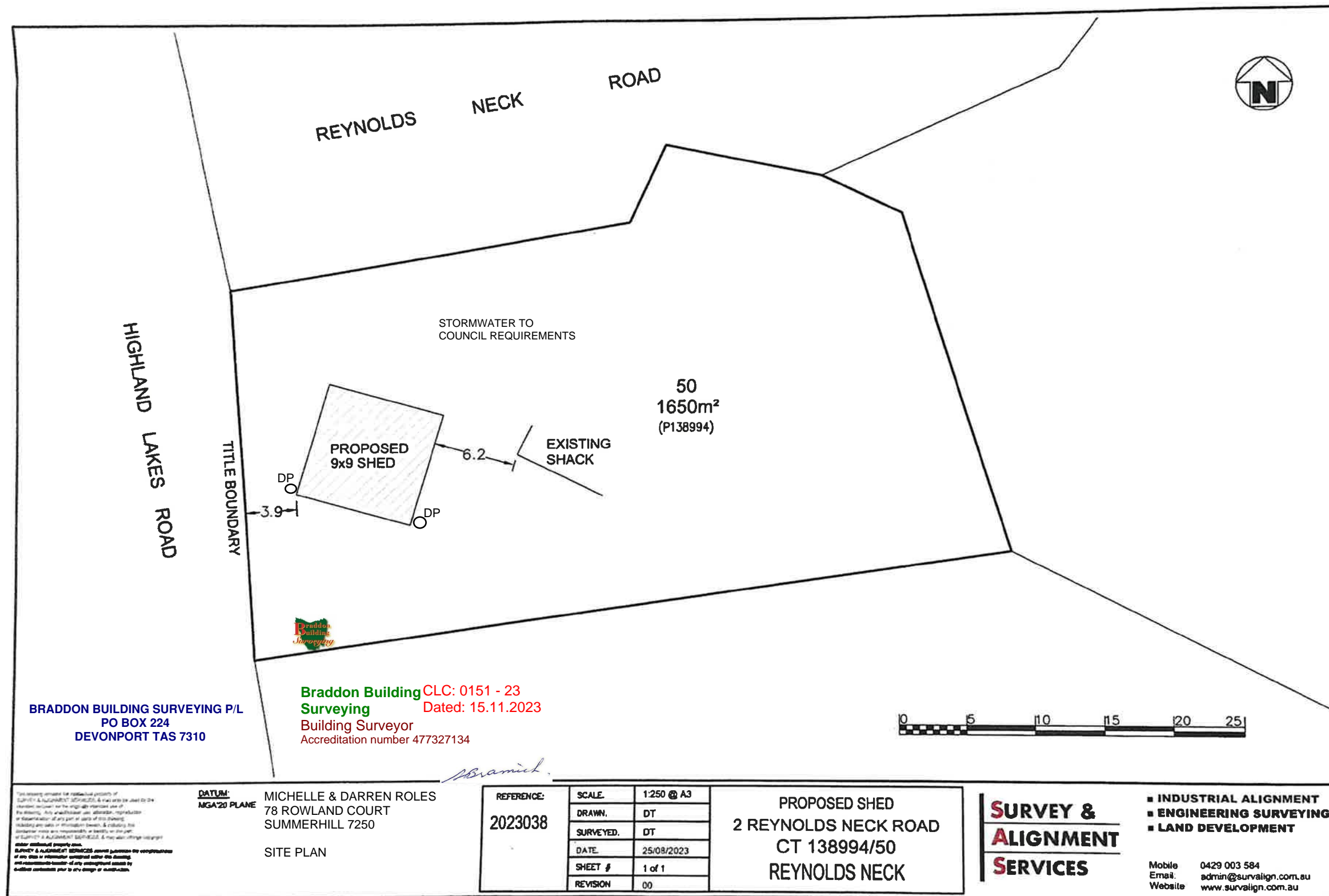
Land Owners Name (please print)

Date

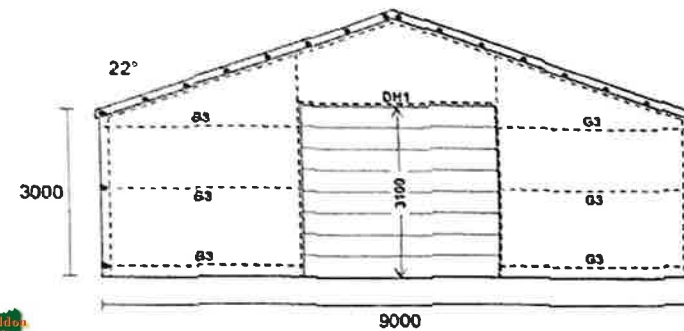
Land Owner(s) Signature

Land Owners Name (please print)

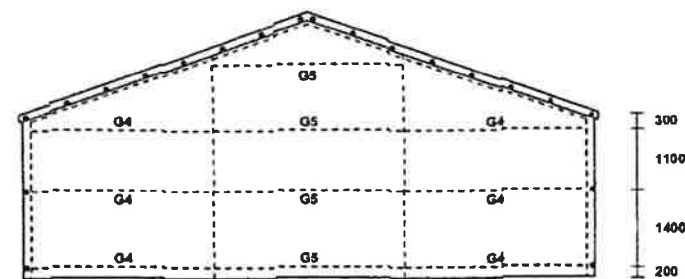
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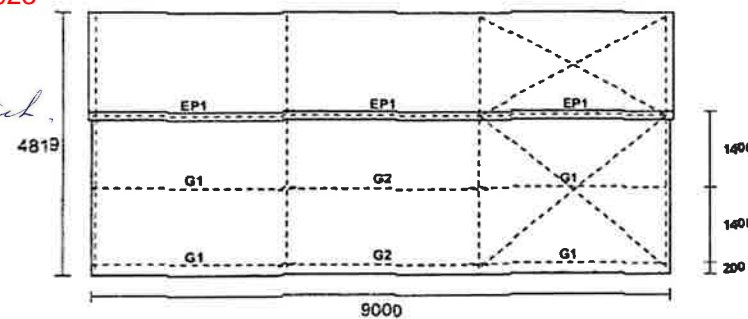




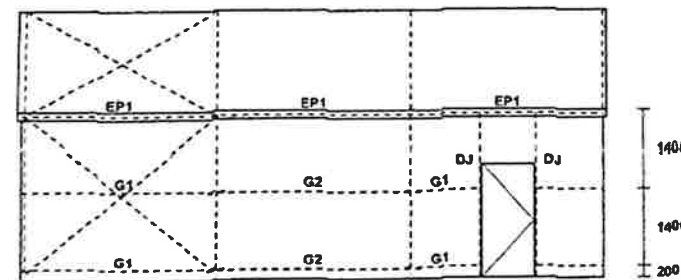
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

Braddon Building  
Surveying  
Building Surveyor  
Accreditation number 477327134

CLC: 0151 - 23  
Dated: 15.11.2023

*Stramit*  
4819

PROPERTY DETAILS: OWNER: DARREN & MICHELLE ROLES - SITE ADDRESS: 2 REYNOLDS NECK ROAD MIENA TAS 7030  
MUNICIPAL DISTRICT: CENTRAL HIGHLANDS COUNCIL

#### GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNO.  
THIS BUILDING DESIGN IS SUITABLE FOR A DESIGN CLASS OF 10a.  
THIS BUILDING IS NOT DESIGNED FOR, AND CANNOT BE USED FOR,  
HUMAN HABITATION (CLASS 1).

THIS SITE SPECIFIC DETAIL REFERS TO THE STRUCTURAL SUITABILITY  
OF THE STRUCTURAL DESIGN ONLY. THE ENGINEER AND THE  
SUPPLIER TAKE NO RESPONSIBILITY FOR ANY COMPLIANCE WITH ANY  
LOCAL GOVERNMENT BY-LAWS, TOWN PLANNING REQUIREMENTS OR  
INDIVIDUAL SITE CIRCUMSTANCES THAT MAY EFFECT THE SUITABILITY  
OF THE INSTALLATION OF THE STRUCTURE AT THE ACTUAL SITE.

THESE DESIGNS WHEN CONSTRUCTED IN ACCORDANCE WITH THIS  
ENGINEERING COMPLIES WITH THE FOLLOWING STANDARDS AND  
REGULATIONS:-

AS1170.0 TO AS1170.4-2006, AS3600-2009,  
AS4055-2011, AS4100-1998 & AS4600-2005  
NCC 2018

THE FRAMING MEMBERS, ROOF PURLIN MEMBERS AND CLADDING  
WITHIN THESE DESIGNS ARE BASED ON THE SECTIONAL DESIGN  
PROPERTIES OF THE ROLLFORMED PRODUCTS MANUFACTURED BY  
LYSAGHT BUILDING PRODUCTS.

ALL SCREW FIX FASTENERS TO COMPLY WITH AS3586. ALL  
CONNECTION BOLTS TO COMPLY WITH AS1252 IN ACCORDANCE  
AS4100. ALL SCREW FASTENERS TO BE INSTALLED IN ACCORDANCE  
WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. FRAMING  
BOLTS TO BE TIGHTENED TO A SHANK TENSION OF 90kN.

REFER TO PAGE 2 FOR FLOOR PLAN & MEMBER TABLE & WALL  
CLADDING DETAILS, PAGE 3 FOR SLAB AND FOUNDATION DETAILS,  
PAGE 4 FOR ROOF PLAN AND ROOF CLADDING DETAILS AND PAGES  
5&6 FOR FRAME AND MEMBER CONNECTION DETAILS.

THIS BUILDING IS TO BE CONSTRUCTED IN ACCORDANCE WITH GOOD  
PRACTICE. DURING CONSTRUCTION THE STRUCTURE MUST BE  
MAINTAINED IN A STABLE MANNER AND SUFFICIENTLY BRACED TO  
PREVENT OVERSTRESSING OF FRAME. THE ENGINEER AND THE  
SUPPLIER ACCEPT NO RESPONSIBILITY FOR ANY MISTAKES, FROM  
WHATEVER SOURCE, THROUGH PLEA OF IGNORANCE OF THE  
OWNER/BUILDER/RECTOR.

#### INCLUSIONS

WINDLOCKED STRAMIT 3100H 3000W DOOR TO CTR FRT GBL  
LARNEC 850 PERSONAL DOOR TO LH BAY 1

#### CONSULTING ENGINEER

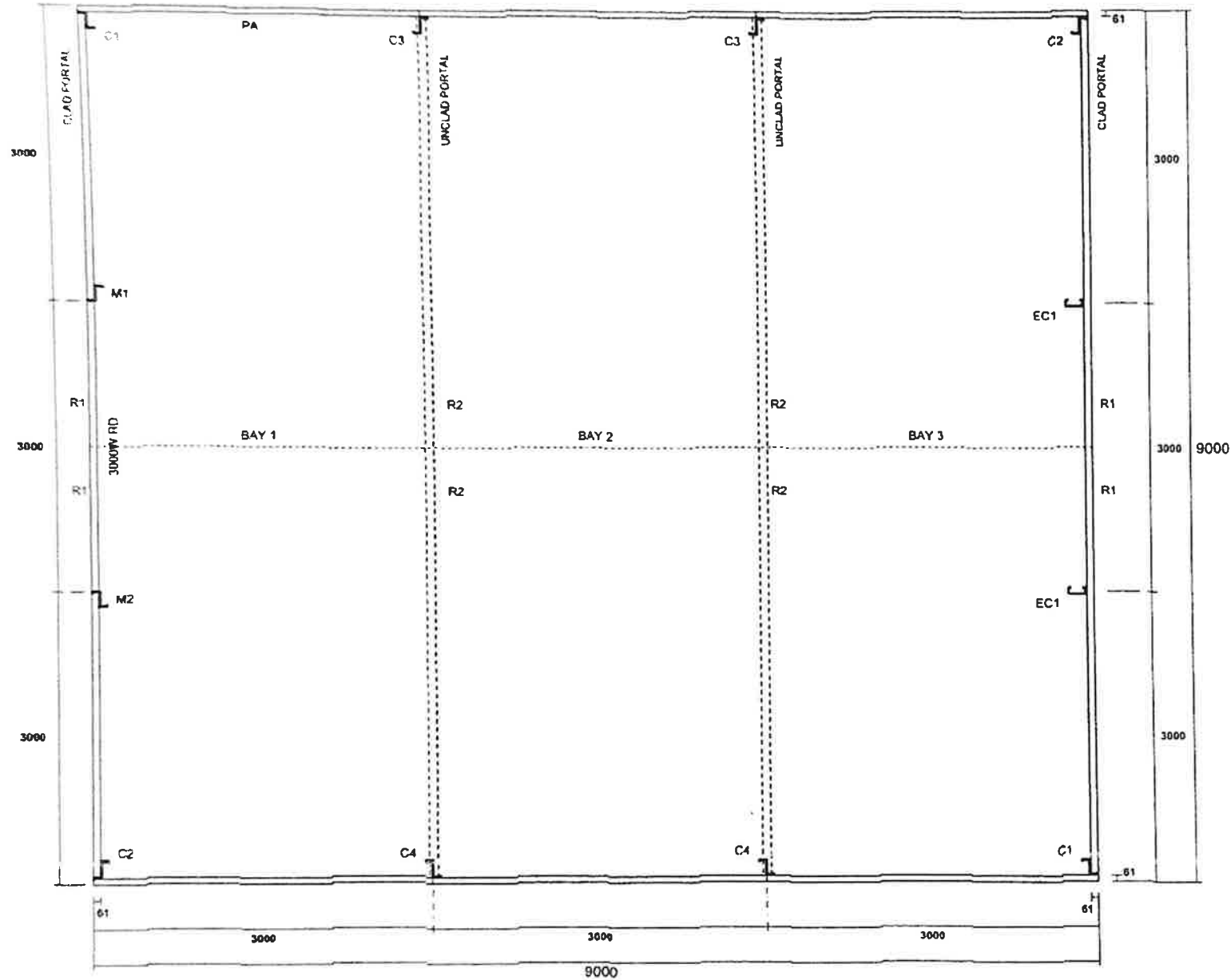
JP ENGINEERS AND ASSOCIATES PTY LTD  
NER No.3339325  
EC42637 (Vic)  
CC7434 (TAS)

**Furm**  
Garages & Sheds  
23 DALMATIAN CRT LEGANA TAS 7277  
PH / FAX 1800 790 589

PAGE 1 OF 6

STRUCTURAL DRAWING NO. LEG155524-2 - DATE 19/01/2023

**BRADDON BUILDING SURVEYING P/L**  
**PO BOX 224**  
**DEVONPORT TAS 7310**



### FLOOR PLAN

(SCHEMATIC DRAWING - FRAME DETAILS NOT TO SCALE)

**PROPERTY DETAILS: OWNER: DARREN & MICHELLE ROLES - SITE ADDRESS: 2 REYNOLDS NECK ROAD MIENA TAS 7030**  
**MUNICIPAL DISTRICT: CENTRAL HIGHLANDS COUNCIL**

### MEMBER TABLE

DESCRIPTION	MEMBER
CLAD COLUMNS (C1/C2)	Z15019
CLAD RAFTERS (R1)	C15019
UNCLAD COLUMNS (C3/C4)	Z25024
UNCLAD RAFTERS (R2)	C25024
APEX BRACES (AB)	C10019
KNEE BRACES (KB)	C10019
AB & KB TO UNCLAD PORTALS	
END WALL COLUMNS (EC1)	C20024
ROLLER DOOR MULLIONS (M1/M2)	Z15019
ROLLER DOOR HEAD (DH1)	TOPSPAN 6110
PERSONAL DOOR JAMBS (DJ)	JAMB1 - U8110
EAVE PURLINS (EP1)	C10012
ROOF PURLINS (P1-P2)	TOPSPAN 6110
WALL GIRTS (G1-G5)	TOPSPAN 6110
STRAP BRACING	32 x 1.2
ROOF CLADDING	0.42 CUSTOM ORB
WALL CLADDING	0.42 TRIMDEK

### WALL CLADDING AND FASTENING DETAILS

WALL CLADDING - 0.42 TRIMDEK



BRACING STRAP NOTE

BRACING STRAP TO FRAME AS DETAILED. BRACING STRAP TO BE  
FIXED UNDER TENSION PRIOR TO CLADDING BUILDING TO  
PREVENT MOVEMENT OF FRAME. FIX TO FRAME WITH 2 OFF  
14/10x20 CL3 TEK9 TO EACH END

CONSULTING ENGINEER

JP ENGINEERS AND ASSOCIATES PTY LTD  
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**STRUCTURAL DRAWING NO. LEG155524-2 - DATE 19/01/2023**

Technical drawing of a rectangular plot. The plot is divided into sections by dashed lines. Labels include 'P1' at various points, '1000' at the bottom center, and '0000' on the right side. There are also some red markings on the left edge.

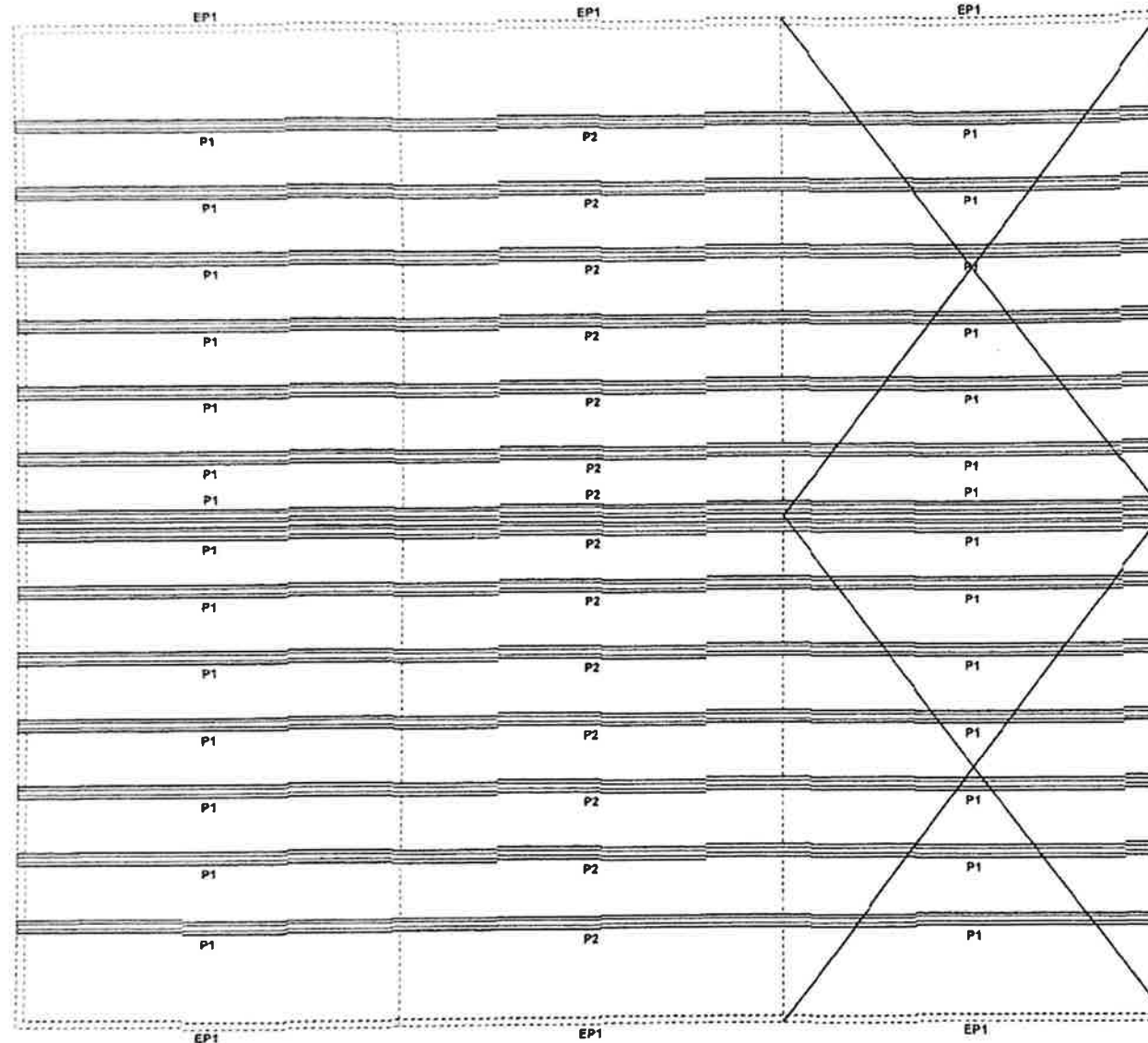
BE ABLE TO PROTECT AGAINST EXCESSIVE MOISTURE LOSS  
AND ALLOW TO CURE FOR A PERIOD OF NOT LESS THAN SEVEN  
DAYS AT THE POINT BEFORE STRANDING OF STEELWORK.

[illegible]

## Furm

~~XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX~~





ROOF PURLIN LAYOUT

PROPERTY DETAILS: OWNER: DARREN & MICHELLE ROLES - SITE ADDRESS: 2 REYNOLDS NECK ROAD MIENA TAS 7030  
MUNICIPAL DISTRICT: CENTRAL HIGHLANDS COUNCIL

ROOF CLADDING AND FASTENING DETAILS

ROOF CLADDING - CUSTOMORB 0.42 BMT



END FIX

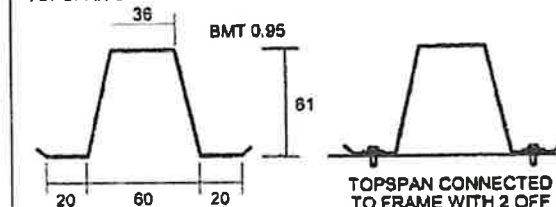
1 OFF 14/10x45 CL3 ZIPS TO EVERY SECOND CREST

INTERNAL PURLIN FIX

1 OFF 14/10x45 CL4 ZIPS TO THE 1ST, 5TH & 9TH CREST

ROOF PURLIN / WALL GIRT DETAIL

TOPSPAN 61



TOPSPAN CONNECTED  
TO FRAME WITH 2 OFF  
14/10x20 CL4 TEKS PER  
INTERSECTION

ROOF BRACING NOTES

32 x 1.2 BRACING STRAP TO FRAME AS DETAILED. BRACING STRAP TO BE FIXED UNDER TENSION PRIOR TO CLADDING BUILDING TO PREVENT MOVEMENT. FIX TO FRAME WITH 2 OFF 14/10x20 CL4 TEKS TO EACH END.

CONSULTING ENGINEER

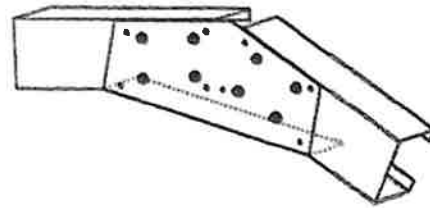
JP ENGINEERS AND ASSOCIATES PTY LTD  
NER No.3339325  
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CC7434 (TAS)

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23 DALMATIAN CRT LEGANA TAS 7277  
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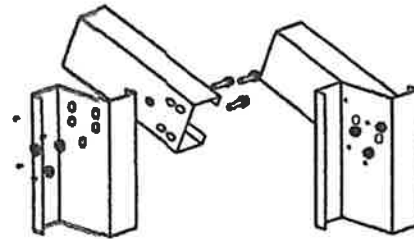
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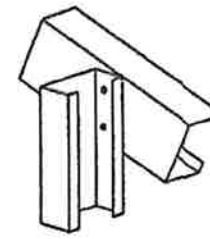
RAFTERS CONNECTED AT APEX WITH  
FURM APEX CLEAT.  
FASTEN WITH 8 OFF M16x30 8.8/s BOLT ASSY &  
8 OFF 14/10x20 CL3 TEKS.

APEX CONNECTION



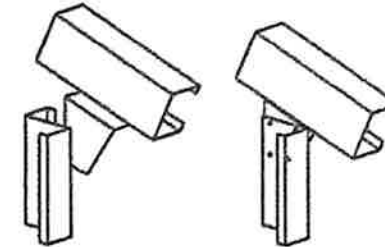
RAFTERS CONNECTED DIRECTLY TO  
COLUMN AT KNEE WITH  
3 OFF M16x30 8.8/s BOLT ASSY &  
4 OFF 14/10x20 CL3 TEKS.

KNEE CONNECTION



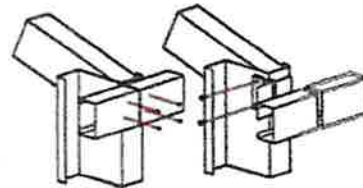
END COLUMNS CONNECTED DIRECTLY TO RAFTER.  
FASTEN WITH 2 OFF M16x30 8.8/s BOLT ASSY.

CLAD WALL END COLUMN CONNECTION



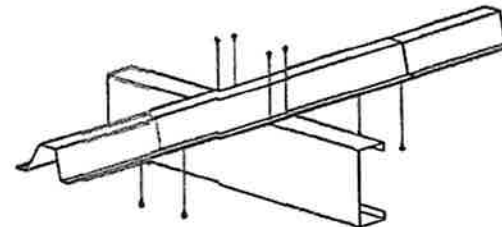
DOOR MULLIONS CONNECTED RAFTER  
WITH FURM MULLION CLEAT.  
FASTEN WITH 6 OFF 14/10x20 CL3 TEKS.

CLAD PORTAL DOOR MULLION CONNECTION



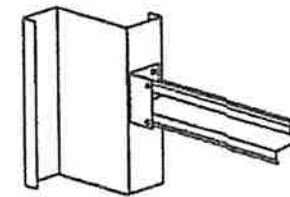
EAVE PURLIN TO BE C100 PURLIN. FASTEN TO  
COLUMNS WITH FURM EAVE003 CLEAT.  
SINGLE CLEAT TO END PORTALS AND  
BACK-TO-BACK CLEATS TO INTERNAL PORTALS.  
FASTEN WITH 2 OFF 14/10x20 CL3 TEKS  
TO EACH CONNECTION.

EAVE PURLIN CONNECTION



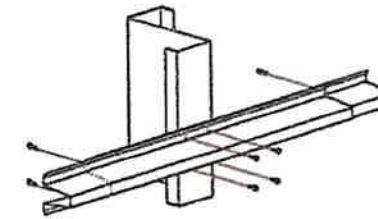
ROOF PURLINS FASTENED WITH  
4 OFF 14/10x20 CL3 TEKS TO RAFTER.  
FIX LAP ENDS WITH 4 OFF 14/10x20 CL3 TEKS.

ROOF PURLIN CONNECTION



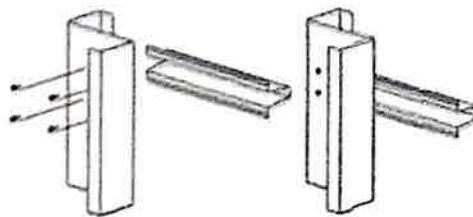
DOOR HEAD FIXED TO DOOR MULLION WITH  
FURM TOPSPAN CLEAT.  
FIX WITH 4 OFF 14/10x20 CL3 TEKS.

ROLLER DOOR HEAD CONNECTION



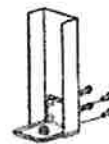
WALL GIRTS PURLINS FASTENED WITH 4 OFF 14/10x20  
CL3 TEKS TO COLUMN/RAFTER.  
FIX LAP ENDS WITH 4 OFF 14/10x20 CL3 TEKS.

WALL GIRT CONNECTION



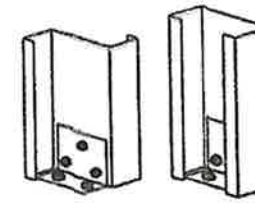
WALL GIRTS FIXED DIRECTLY TO CLAD COLUMN.  
FIX WITH 4 OFF 14/10x20 CL3 TEKS.

CLAD PORTAL WALL GIRT CONNECTION



PA MULLION FIXED TO FOUNDATION WITH  
FURM BASEPAD PA DOOR CLEAT.  
FIX WITH 4 OFF 14/10x20 CL3 TEKS TO MULLION  
AND 1 OFF M10x75 SCREWBOLTS TO FOUNDATION.

PERSONAL DOOR MULLION BASE CONNECTION



COLUMNS & MULLIONS FIXED TO FOUNDATION  
WITH FURM BASE CLEATS.  
FIX WITH 3 OFF M16x30 8.8/s BOLT ASSY TO COLUMNS  
150 & 200 COLUMNS - 2 OFF M12x100 SCREWBOLTS  
250 COLUMNS - 2 OFF M18x150 SCREWBOLTS

COLUMN BASE CONNECTION

CONSULTING ENGINEER

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CC7434 (TAS)

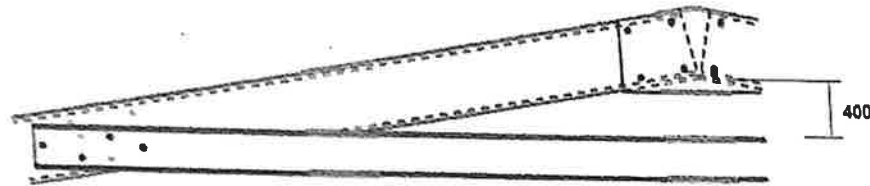
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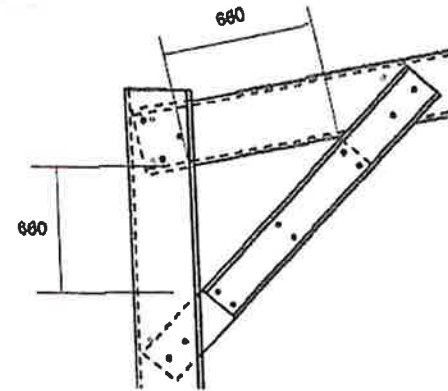
STRUCTURAL DRAWING NO. LEG155524-2 - DATE 19/01/2023

PROPERTY DETAILS: OWNER: DARREN & MICHELLE ROLES • SITE ADDRESS: 2 REYNOLDS NECK ROAD MIENA TAS 7030  
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APEX BRACE FASTENED DIRECTLY TO BACK FACE OF RAFTERS.  
BOTH RAFTER AND BRACE PUNCHED TO ALLOW EACH MEMBER  
TO BE FIXED WITH 4 OFF M16x30 8.8/8 BOLT ASSY TO EACH END.

UNCLAD PORTAL APEX BRACE DETAIL



KNEE BRACE IS BACK-TO-BACK C PURLIN.  
BRACE IS TO FIT DIRECTLY TO THE BACK FACE OF BOTH  
UNCLAD COLUMN AND RAFTER.  
FIX WITH 6 OFF M16x30 8.8/8 BOLT ASSY TO LAPS  
AND 2 OFF M16x30 8.8/8 BOLT ASSY TO EACH END.

UNCLAD PORTAL KNEE BRACE DETAIL

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CONSULTING ENGINEER  
JP ENGINEERS AND ASSOCIATES PTY LTD  
NER No. 3339325  
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STRUCTURAL DRAWING NO. LEG155524-2 - DATE 19/01/2023

## SEARCH OF TORRENS TITLE

VOLUME 138994	FOLIO 50
EDITION 4	DATE OF ISSUE 08-Jul-2015

SEARCH DATE : 14-Dec-2023

SEARCH TIME : 11.16 AM

DESCRIPTION OF LAND

Parish of PUGGETTA Land District of WESTMORLAND  
Lot 50 on Plan 138994  
Derivation : Part of Lot 1 The Crown and part of Lots 7240,  
7625 & 7967 Gtd to C.Headlam  
Prior CT 138648/1

SCHEDULE 1

C906775 TRANSFER to DARREN JOHN ROLES and MICHELLE ANNE ROLES  
Registered 20-Nov-2009 at noon

SCHEDULE 2

C591699 Land is limited in depth to 15 metres, excludes  
minerals and is subject to reservations relating to  
drains sewers and waterways in favour of the Crown  
C906775 Land is limited in depth to 15 metres, excludes  
minerals and is subject to reservations relating to  
drains sewers and waterways in favour of the Crown  
C906775 FENCING PROVISION in Transfer  
C615832 NOTICE to Record Bar to Action Section 30 Crown Lands  
(Shack Sites) Act 1997 Registered 18-Jan-2005 at noon  
C596204 ORDER as to covenants made under Section 110 of the  
Land Titles Act 1980. Registered 07-Feb-2005 at noon  
C943053 AGREEMENT pursuant to Section 71 of the Land Use  
Planning and Approvals Act 1993 Registered  
22-Dec-2009 at noon  
E14338 MORTGAGE to Australia and New Zealand Banking Group  
Limited Registered 08-Jul-2015 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



<p>OWNER THE CROWN</p> <p>FOLIO REFERENCE: <del>OF 128654 / 1</del> F.R.139068/1 <del>OF 138858 / 1</del> F.R.138648/1</p> <p>GRANTEE. PART OF LOT 1240 BEING 316a - Or - Op GRANTED TO CHARLES HEADLAM, PART OF LOT 2094 (512 ACRES) GTD TO CHARLES HEADLAM &amp; PART OF LOT 1, 10-306a THE CROWN.</p>		<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR Anthony Owen Carrick 175 Collins Street, Hobart.</p> <p>LOCATION <b>WESTMORLAND - TIAGARRA &amp; PUGGETTA</b></p> <p>SCALE 1: 2000 LENGTHS IN METRES</p>		<p>REGISTERED NUMBER <b>P 138994</b></p> <p>APPROVED EFFECTIVE FROM 23 NOV 2004 <i>[Signature]</i> Recorder of Titles</p>
<p>MAPSHEET MUNICIPAL CODE No. 105 (4636)</p>	<p>LAST UPI No. 1100004 1100091</p>	<p>LAST PLAN P.139068 No. P.138648</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>	

**INDEX PLAN**

NOT EXAMINED

The index plan map displays a collection of numbered lots (1-65) arranged in a grid-like fashion. To the west of the lots is a 'LAKE' and a 'HIGHWAY'. A 'ROAD' runs through the center of the lot group. Various survey numbers are noted around the perimeter: (P.142823) to the west, (P.129655) to the east, (P.142824) to the north and east, and (P.142823) to the south. A north arrow is located in the top right corner of the map area.

