

DISCRETIONARY APPLICATION

For Public Display

Applicant:

K Bischoff

Location:

2533 Marlborough Road, Little Pine Lagoon

Proposal:

Dwelling Addition

DA Number:

DA 2022 / 00056

Date Advertised:

29 July 2022

Date Representation Period Closes:

12 August 2022

Responsible Officer:

Louisa Brown (Planning Officer)

Viewing Documents:

The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

development@centralhighlands.tas.gov.au



OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name

MR KIM BISCHOFF

Postal Address

PO BOX 108

Phone No: 0402 750 565

SANDY BAY, TAS

7006

Fax No: —

Email address

bischoff.kim@gmail.com

Owner/s Name

(if not Applicant)

Postal Address

Phone No:

Fax No:

Email address:

Description of proposed use and/or development:

Address of new use
and development:

2533 MARLBOROUGH RD. LITTLE PINE LAGOON

Certificate of Title
No:

Volume No

53583

Lot No:

1

PID 2011037

Description of
proposed use or
development:

ADDITION TO EXISTING CABIN

ie: New Dwelling / Additions / Demolition
/ Shed / Farm Building / Carport /
Swimming Pool or detail other etc.

Current use of land
and buildings:

RECREATION, RESTORATION OF LAND
& FENCES

PART TIME RESIDENCE - 6MTHS/YR

Eg. Are there any existing buildings
on this title?
If yes, what is the main building
used as?

Proposed Material

What are the proposed
external wall colours

MANGROVE WALLS
TERRAIN TRIM

What is the proposed roof colour

BASALT

What is the proposed
new floor area m²

150m² incl.
deck + carport

What is the estimated value of
all the new work proposed:

\$ 350,000 —

Is proposed development to be staged:

Yes ☒

No ☐

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☒

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☒

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☒

Has a Certificate of Exemption been sought for these works?

Yes ☐

No ☒

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature

(if not the Owner)

Applicant Name (Please print)

Date

Land Owner(s) Signature



Land Owners Name (please print)

MR KIM BISCHOFF

Date

21 MAY 2022

Land Owner(s) Signature

Land Owners Name (please print)

Date

Information & Checklist sheet

<p>1. A completed Application for Planning Approval – Use and Development form. Please ensure that the information provides an accurate description of the proposal, has the correct address and contact details and is signed and dated by the applicant.</p>	<input type="checkbox"/>
<p>2. A current copy of the Certificate of Title for all lots involved in the proposal. The title details must include, where available, a copy of the search page, title plan, sealed plan or diagram and any schedule of easements (if any), or other restrictions, including covenants, Council notification or conditions of transfer.</p>	<input checked="" type="checkbox"/>
<p>3. Two (2) copies of the following information -</p> <p>a) An analysis of the site and surrounding area setting out accurate descriptions of the following -</p> <ul style="list-style-type: none"> (i) topography and major site features including an indication of the type and extent of native vegetation present, natural drainage lines, water courses and wetlands, trees greater than 5 metres in height in areas of skyline or landscape importance and identification of any natural hazards including flood prone areas, high fire risk areas and land subject to instability; (ii) soil conditions (depth, description of type, land capability etc); (iii) the location and capacity of any existing services or easements on the site or connected to the site; (iv) existing pedestrian and vehicle access to the site; (v) any existing buildings on the site; (vi) adjoining properties and their uses; and (vii) soil and water management plans. <p>b) A site plan for the proposed use or development drawn, unless otherwise approved, at a scale of not less than 1:200 or 1:1000 for sites in excess of 1 hectare, showing -</p> <ul style="list-style-type: none"> (i) a north point; (ii) the boundaries and dimensions of the site; (iii) Australian Height Datum (AHD) levels; (iv) natural drainage lines, watercourses and wetlands; (v) soil depth and type; (vi) the location and capacity of any existing services or easements on the site or connected to the site; (vii) the location of any existing buildings on the site, indicating those to be retained or demolished, and their relationship to buildings on adjacent sites, streets and access ways; (viii) the use of adjoining properties; (ix) shadow diagrams of the proposed buildings where development has the potential to cause overshadowing; (x) the dimensions, layout and surfacing materials of all access roads, turning areas, parking areas and footpaths within and at the site entrance; (xi) any proposed private or public open space or communal space or facilities; (xii) proposed landscaping, indicating vegetation to be removed or retained and species and mature heights of plantings; and (xiii) methods of minimizing erosion and run-off during and after construction and preventing contamination of storm water discharged from the site. <p>c) Plans and elevations of proposed and existing buildings, drawn at a scale of not less than 1:100, showing internal layout and materials to be used on external walls and roofs and the relationship of the elevations to natural ground level, including any proposed cut or fill.</p>	<input checked="" type="checkbox"/>
<p>4. A written submission supporting the application that demonstrates compliance with the relevant parts of the Act, State Policies and the Central Highlands Interim Planning Scheme 2015, including for industrial and commercial uses, the hours of operation, number of employees, details of any point source discharges or emissions, traffic volumes generated by the use and a Traffic Impact Statement where the development is likely to create more than 100 vehicle movements per day.</p>	<input checked="" type="checkbox"/>
<p>5. Prescribed fees payable to Council. An invoice for the fees payable will be issued once application has been received.</p>	<input type="checkbox"/>

<p>Information</p> <p>If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box</p>	<input type="checkbox"/>
<p>Heritage Tasmania</p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	
<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	

Supporting Information

Application for Planning Approval: Addition to Existing Cabin

“Miocene Moor”, 2533 Marlborough Road, Little Pine Lagoon Tas., 7140

Preamble

Miocene Moor comprises 2 joined blocks being Lot 1 of Plan 53583 (45.43Ha, PID 2011037)(refer Attachment 1 Certificate of Title and Plan) and Lot 6 of Plan 102295 (203.81Ha, PID 3199940) stretching from the Ouse River in the north to Little Pine Village in the south (refer Attachment 2). The 2 blocks cover a large proportion of what is locally known as Skittleball Plains.

The Lot 1 land use zone is R91 Rural Resource.

This planning application proposes an addition to the existing cabin on Lot 1 at Miocene Moor with the following objectives:

- to construct a new cabin including living/dining, kitchen, two bedrooms, bathroom/WC and carport adjoining the existing cabin, and modernise facilities including 4kw off-grid solar, sewerage, ablutions and insulation, and
- to retain the existing cabin as a studio and extra accommodation. The existing cabin will be accessed via a door into the bedroom from the living room of the addition; the existing external entrance will be retained.

Site description (3a)

Site Features

The site comprises gently sloping land (slope 2-3% to NW) on the central west edge of Lot 1 at an altitude of approximately 1010m ASL.

The site is predominantly native grassland interspersed with low native shrub species (refer Attachment 7). There are no trees >5m.

There are 2 drainage swales located to the north and south of the site (refer Attachment 3). These swales lead to drains dug west from Marlborough Road. The area has not flooded, including during the June 2016 high rainfall event in the district.

Fire risk is considered low. The proposed site was not burnt during the severe bush fires of January 2019. The Bushfire Service carried out minor back-burning of shrubs during January 2019 on Lot 1.

Geo-Environmental Solutions determined a BAL for the site of 12.5 in their Bushfire Hazard Report dated December 2021.

Soil

Based on test pits excavated at the proposed cabin extension site the soil profile comprises:

O horizon: 0 – 5cm root mat with grass cover and organic soil;

A horizon: 5 – 20cm dark brown to black topsoil with root tendrils;

B1-2 horizon: 20 – 40cm tight yellowish clay subsoil being strongly weathered in-place basalt (B2); often with intact hard pebbles, cobbles and flat boulders of basalt at the upper interface (B1), and

C horizon: >40cm comprising weathered grey vesicular basalt bedrock becoming very hard at around 60 - 70cm below surface.

Geo-Environmental Solutions classified the soil as Class S for the site in their Geo-Environmental Assessment Report dated February 2022.

Easements and Services

There are no easements or services on Lot 1.

Existing Pedestrian and Vehicle Access

Vehicular access to the site is along a 520m long gravel driveway from a new 14-foot gate located on Marlborough Road in the south corner of Lot 1.

Existing Buildings

The existing cabin has a floor area of 54.5m² and was built in stages during the 1960s and 1970s. It comprises a living area, bedroom and store with an annex. The owner has extensively repaired the existing cabin since 2016. Repairs and improvements include gutters, roofing, replacement of floor bearers, window sealing and sills, installation of wood-burner, gas stove and ceiling insulation, replacement of tank stands and tanks and construction of a 5m³ woodshed.

Construction of a farm-shed outbuilding was completed in March 2022 by Rainbow Building Solutions, Sorell, Tasmania. This comprises an 8 x 7.5m steel shed with a 4 x 7.5m lean-to. The shed was built on a 150mm thick reinforced concrete slab on 0.75m deep concrete piers, plus 4 x 0.75m deep concrete piers for the lean-to posts. Approximately 30cm of topsoil was excavated beforehand. The slab was poured on approximately 200 – 300mm compacted -20mm FCR. A similar approach is planned for the cabin addition.

Adjoining Properties

Lot 1 is bounded by Marlborough Road flanked by private land to the east, by Lot 6 to the north, and by the Little Pine Lagoon Lakeside reserve to the west and south.

The adjoining Lot 6 block, part of Miocene Moor, is accessed via an internal track from Lot 1, or via a gate from Marlborough Road in the northeast. Lot 6 is zoned L155.

Soil and Water Management

It is planned to excavate and separately stockpile next to the site, the topsoil (O and A horizons and B2 rocks) for the cabin extension foundation. It is planned to construct the addition on a raised reinforced concrete slab laid on compacted FCR. The topsoil will be later used for landscaping and replanting of native species around the cabin addition, and for land repair and revegetation elsewhere on Lots 1 and 6, including filling in an old borrow pit on Lot 6.

Stormwater from the roof will be piped to a 10kl water tank with overflow channelled into rock-filled pits thence running to the northern swale.

It is proposed to install a dual-purpose septic tank with primary treated effluent to be disposed of in absorption trenches. Geo-Environmental Solutions have prepared design criteria and specifications for the waste water system in their Geo-Environmental Assessment Report dated February 2022.

Site Plans (3b)

The location of Lots 1 and 6 comprising the Miocene Moor property, and adjoining lands, are shown in Attachment 2.

The locations of adjoining lands, roads, access, buildings and drainages for Lot 1 is shown on the 1:5,000 Location Plan in Attachment 3.

The location of the existing cabin and new outbuilding and the proposed cabin addition is shown on the 1:500 Site Plan in Attachment 4.

Plans of Existing and Proposed Buildings (3c)

Mr Chris Roberts of Roberts Architecture prepared the drawings and design of the proposed cabin addition, with inputs by the applicant during 2021.

The floor plan layout of the existing cabin and proposed addition is shown on the 1:100 Ground Floor Plan in Attachment 5.

Two 3D diagrams of the proposed cabin addition are shown in the 1:154 scale Perspectives in Attachment 6.

Two photographs showing the existing cabin and the proposed floor layout of the addition are shown in Attachment 7.

Please note that architect Chris Roberts was involved in a serious car accident in February 2022. It is uncertain at this stage when or if Chris will be able to continue with the cabin addition project. The initial concept, subject to approval of the PA, was for Chris to develop the detailed drawings and specifications such that a building contract could be tendered. At this stage the applicant is also considering proceeding with a steel kit designer home contractor such as Rainbow Building Solutions, using the existing Site and Ground Floor plans for the detailed design. This may involve some changes to the current design, such as replacing the local stone and mortar wall bases entirely with steel sheeting similar to the outbuilding cladding.

The proposed roof is of the clerestory type (i.e. stepped) similar to the existing cabin roof and will be corrugated steel sheeted.

It is proposed to stage the building program over 2 summer seasons, with the foundations and septic in 2022-23 if approved, funded and practicable, and the building of the addition in the following summer.

Attachments

Attachment 1: Certificate of Title and Folio Plan of Lot 1

Attachment 2: Location of "Miocene Moor" on extract from Tasmania 1:100,000 topographic map series

Attachment 3: Location Plan 1:5,000 by Roberts Architecture

Attachment 4: Site Plan 1:500 by Roberts Architecture

Attachment 5: Ground Floor Plan of Existing Cabin and Addition 1:100 by Roberts Architecture

Attachment 6: Perspective of Cabin Addition 1:154 by Roberts Architecture

Attachment 7:

i). Image of location of proposed cabin addition floor layout and doorway to existing cabin; view looking southwest. Proposed carport to left, deck to right, and B&T kelpie for scale!

ii). Image of location of proposed cabin addition floor layout and doorway to existing cabin. Proposed deck is front right, and carport to left. New outbuilding at left rear; view looking southeast.

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
53583		1
EDITION	DATE OF ISSUE	
2	17-Mar-2016	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Alice Kawa

Recorder of Titles.



DESCRIPTION OF LAND

Parish of RUSHCROFT, Land District of CUMBERLAND
Lot 1 on Plan 53583
Derivation : Part of Lot 655 Gtd. to A. Smith
Prior CT 4883/22

SCHEDULE 1

C905430 TRANSFER to KIM BISCHOFF Registered 17-Mar-2016 at
noon

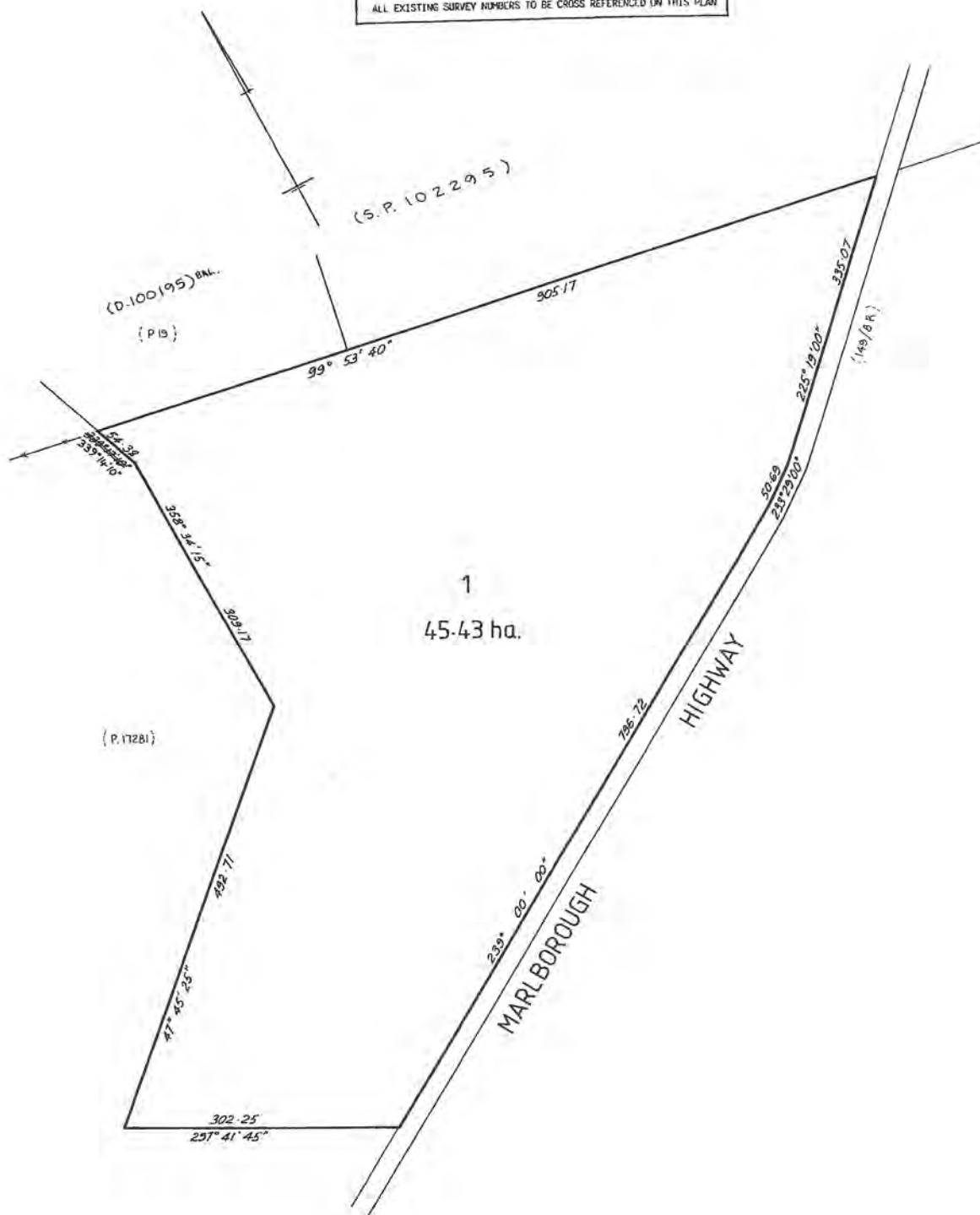
SCHEDULE 2

Reservations and conditions in the Crown Grant if any

#275 P 53583

Owner: Peter Henry Thompson SKITTLEBALL PLAINS PASTORAL Co. P/L	PLAN OF SURVEY by Surveyor: J. B. Medbury of land situated in the 29-1-1988	Registered Number: P53583 Approved 13 MAY 2002 Effective from Recorder of Titles
Title Reference: C.T. 4193-67	LAND DISTRICT OF CUMBERLAND PARISH OF RUSHCROFT	
Grantee: Part of Lot 655 640 acres Arthur Smith Pur.	SCALE 1: 4000. MEASUREMENTS IN METRES	

TASMAP MUNICIPAL CODE NO. 11	LAST TASMAP UPI NO. 0038	LAST SURVEY PLAN NO. P.26630
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		



22 July 2022

Louisa Brown

Planning Officer

Central Highlands Council, Tasmania

C/- kbradburn@centralhighlands.tas.gov.au

CHC Reference DA 2022 / 00056

Dear Madame,

With reference to your letter dated 17 June 2022 requesting further information on the development application for a proposed dwelling addition at 2533 Marlborough Road I submit the following.

1. Use

We have no plans or intentions to utilise the existing or proposed addition as Visitor Accommodation for any sort of rental, short stay, Airbnb etc. In the DA we referred to 'extra' accommodation meaning for example that if 2 of my sons came up for a few days we would utilise all the bedrooms in the existing cabin and proposed addition. I acknowledge that if our plans were to change a new application would be required.

2. Plans, elevations & dimension

Enclosed are 4 elevations of the existing cabin and proposed addition, plus the ground floor plan at 1:100 scales. The elevations show the dimensions and proposed cladding. In summary the proposed addition is 3.688m high (excluding proposed wood-burner chimney) with proposed cladding of Colorbond steel on the east and south walls, and a combination of local stone and timber on the west and north walls. The Colorbond wall-cladding on the proposed addition will be the same colour as the existing cabin and farm shed, being Mangrove.

In the DA dated 21 May 2022 I mentioned that plans might change due to the architect I have contracted being involved in a car accident in February this year. He has since recovered (hoorah!), has prepared the enclosed elevations, and subject to DA approval, will assist with preparation of detailed drawings and tender. Therefore, there will be no need to progress to an alternative such as a steel kit home.

If you require any further information or clarification please contact me.

Yours faithfully,

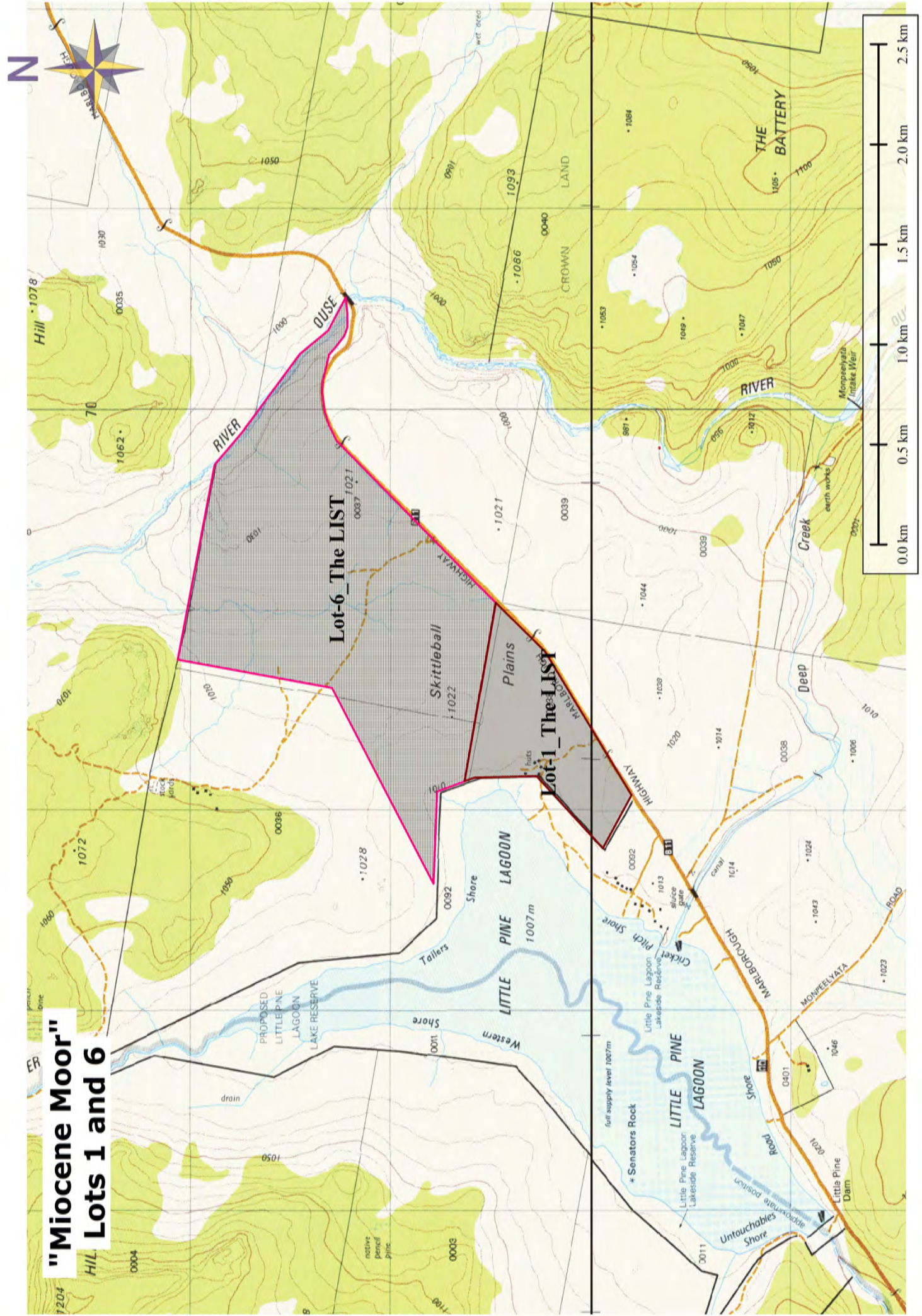


Kim Bischoff

0402 750 565

bischoff.kim@gmail.com

"Miocene Moor" Lots 1 and 6



Miocene Moor Cabin, Marlborough Road Little Pine Lagoon 1

General Notes

PROJECT

LOCATION
Project N°: LPL01
Project Name: Miocene Moor Cabin
Title Reference: 53583
Project Address: Marlborough Road
Little Pine Lagoon
Tas

SITE DETAILS
BAL: BAL# 19 TBC
CLIMATE ZONE: Zone 8
WIND CLASS: N3
SOIL CLASS: TBC
ALPINE AREA: Yes
CORROSION: Low

DESIGNER
Roberts Architecture
Certified Architect: Chris Roberts
Accreditation N°: Lic No. 517994620
Architects Address: 338 Park St
Newtown
0400 985 584

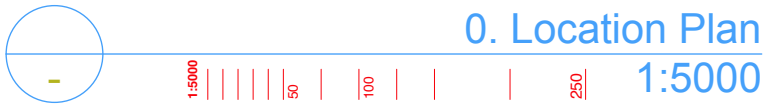
PLANNING

Zone: Rural Resource.
Site Area:
45.43ha

Exist. Cabin Area:
54.5m²

Proposed Shed Floor Area:
90m²

Proposed Total Footprint:
150.5m²



rev	date	purpose

copyright
ROBERTS ARCHITECTURE
338 Park St, Newtown , 7009
chris@robertsarchi.com
0400 985 584

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general notes
These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction

accredited designer:
Chris Roberts, Lic No. 517994620

drawn by
CR

checked by
CR

reason of issue

Schematic Design

client:
Kim Bischoff

project:
Miocene Moor Cabin

drawing title
Cover Page
(plan)

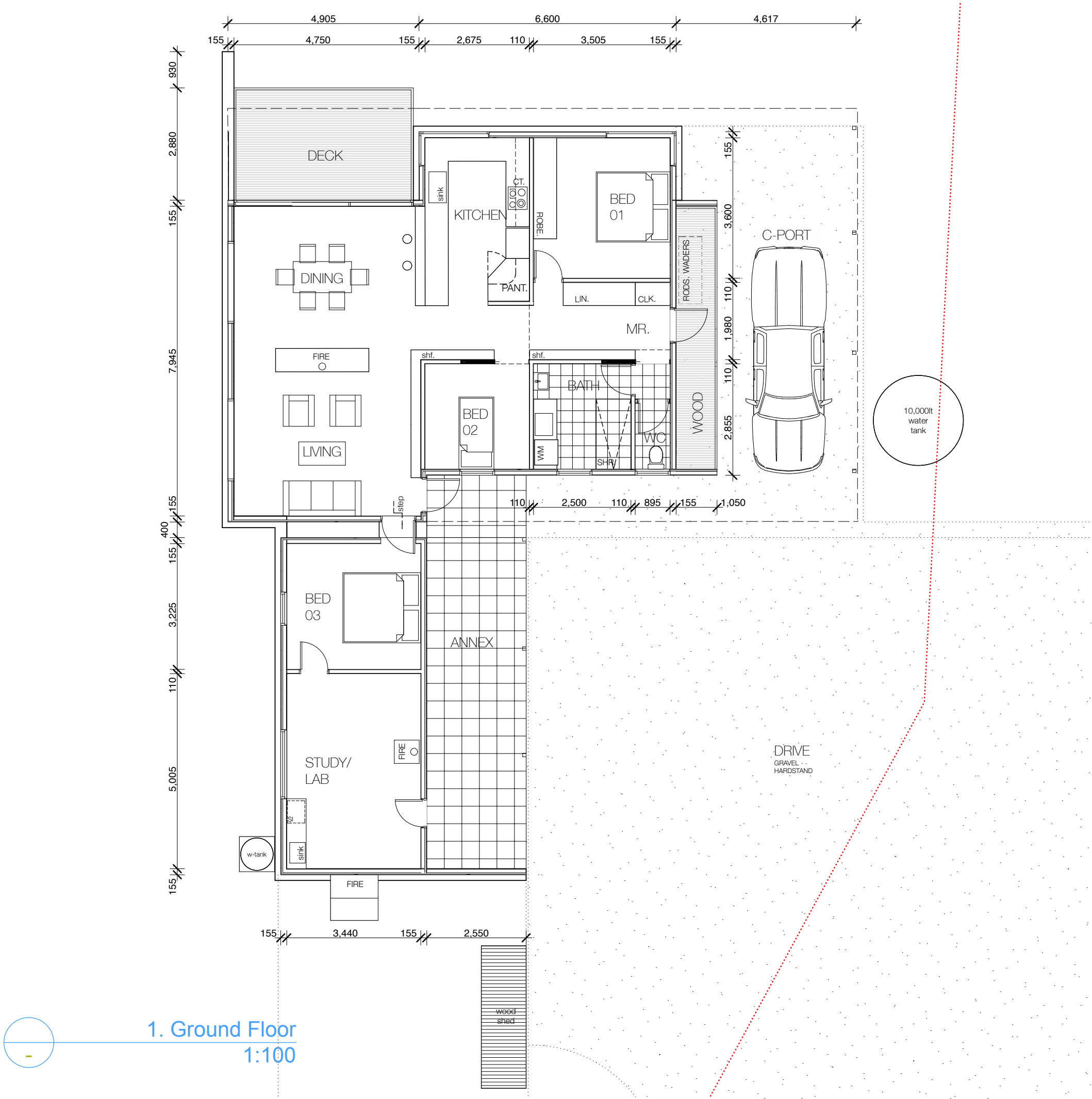
print date
20/07/2021

original size
A3

drawing n°
LPL01-da01

issue
BA1





1. Ground Floor
1:100

rev	date	purpose

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reason of issue
Schematic Design

client:
Kim Bischoff

project:
Miocene Moor Cabin

drawing title
Ground Floor Plan
(plan)

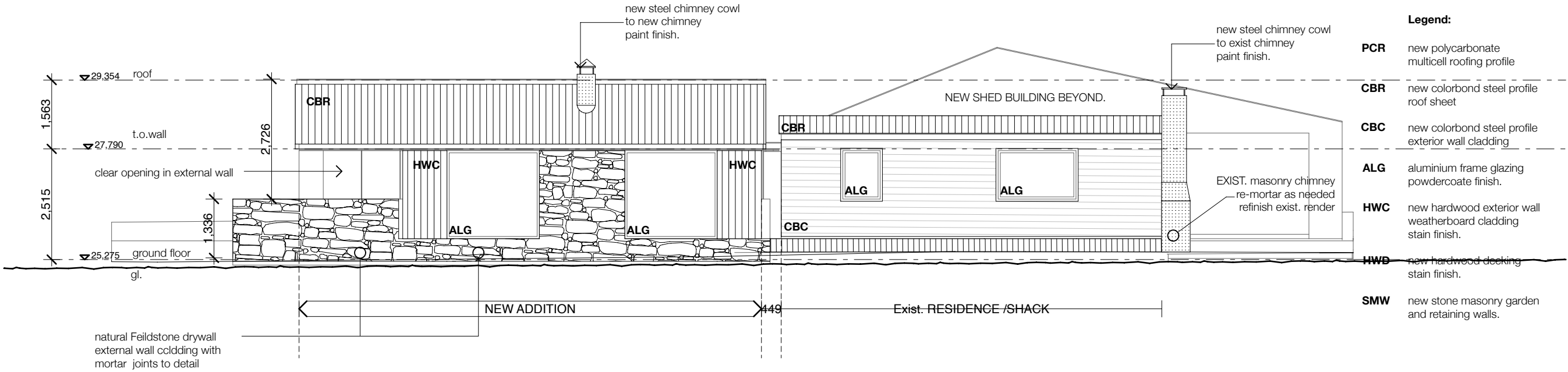
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drawing n°
LPL01-da03

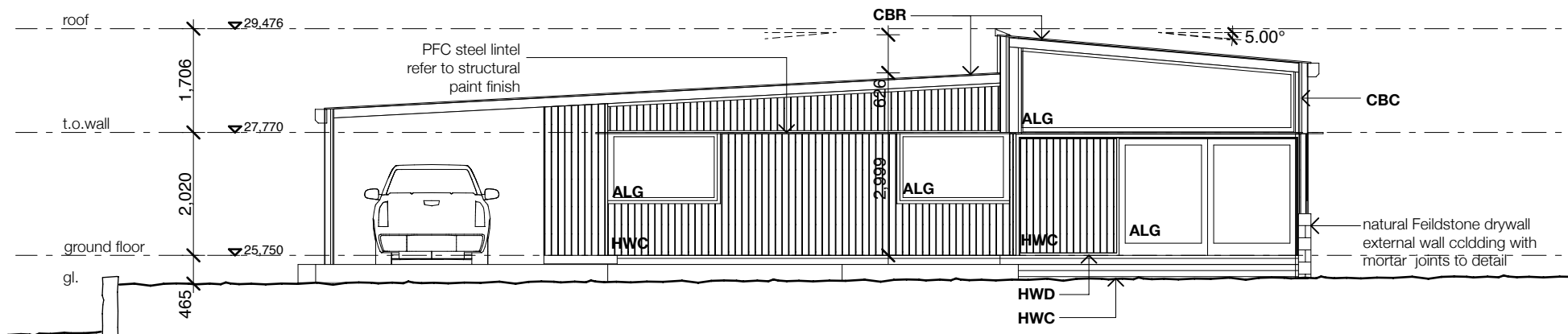
original size
A3

issue
BA1

1:100 1 2 3 4 5



E/18 West01
1:100



E/18 North01
1:100

rev	date	purpose
BA1	14 July 2022	PLANNING PERMIT

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accredited designer:
Chris Roberts, Lic No. 517994620

drawn by
CR

checked by
CR

reason of issue
Schematic Design

client:
Kim Bischoff

project:
Miocene Moore Cabin

drawing title
North + West Elevations
(elevations)

print date
14/7/22

original size
A3

drawing n°
LPL01-da09

issue
BA1



Perspective 02



Generic Perspective
1:153.85

rev	date	purpose

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Chris Roberts, Lic No. 517994620

drawn by
CR

checked by
CR

reason of issue
Schematic Design

client:
Kim Bischoff

project:
Miocene Moor Cabin

drawing title
Perspectives
(Perspectives)

print date
23/12/2021

original size
A3

drawing n°
LPL01-da06

issue
BA1



