

# **DISCRETIONARY APPLICATION**

## ***For Public Display***

**Applicant:**

P Davies

**Location:**

8 High Street, Bothwell

**Proposal:**

Demolition and Additions

**DA Number:**

DA 2022 / 00036

**Date Advertised:**

3 May 2022

**Date Representation Period Closes:**

17 May 2022

**Responsible Officer:**

Louisa Brown (Planning Officer)

**Viewing Documents:**

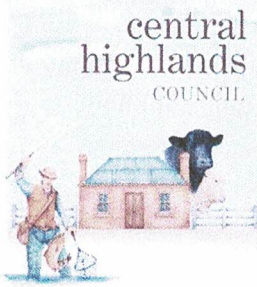
The relevant documents may be viewed at Council's website [www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au) or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

**Representations to:**

General Manager  
19 Alexander Street  
BOTHWELL TAS 7030

**Email:**

[development@centralhighlands.tas.gov.au](mailto:development@centralhighlands.tas.gov.au)



Development & Environmental Services  
19 Alexander Street  
BOTHWELL TAS 7030

Phone: (03) 6259 5503  
Fax: (03) 6259 5722

[www.centralhighlands.tas.gov.au](http://www.centralhighlands.tas.gov.au)

#### OFFICE USE ONLY

Application No.: \_\_\_\_\_

Property ID No.: \_\_\_\_\_

Date Received: \_\_\_\_\_

## Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

### Applicant / Owner Details:

#### Applicant Name

Paul Davies

#### Postal Address

59 Fletcher Ave

Phone No: 0472 703 636

Moonah

7009

Fax No:

#### Email address

paul@pdbuildingdesign.com.au

#### Owner/s Name

(if not Applicant)

Grant & Kim Irving

#### Postal Address

8 High St

Phone No: 0438 681 781

Bothwell

7030

Fax No:

#### Email address:

bluestone@dcsi.net.au

### Description of proposed use and/or development:

#### Address of new use and development:

8 High St, Bothwell

#### Certificate of Title No:

Volume No

135485

Lot No:

1

#### Description of proposed use or development:

Demolition of existing Addition, Covered  
Patio & Single Garage. Proposed Addition  
Covered Patio & Carport.

ie: New Dwelling / Additions / Demolition  
// Shed / Farm Building / Carport /  
Swimming Pool or detail other etc.

#### Current use of land and buildings:

Residential - Single Dwelling

Eg. Are there any existing buildings  
on this title?  
If yes, what is the main building  
used as?

#### Proposed Material

What are the proposed  
external wall colours

Spotted Gum  
Red Brick

What is the proposed roof colour

Light Grey

What is the proposed  
new floor area m<sup>2</sup>.

53.6 m<sup>2</sup>

What is the estimated value of  
all the new work proposed:

\$200,000.00

Is proposed development to be staged:

Yes ☐

No ☒

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☒

Is the place on the Tasmanian Heritage Register?

Yes ☒

No ☐

Have you sought advice from Heritage Tasmania?

Yes ☒

No ☐

Has a Certificate of Exemption been sought for these works?

Yes ☐

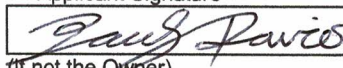
No ☒

## Signed Declaration

**I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:**

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");  
***Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.***

Applicant Signature

  
(if not the Owner)

Applicant Name (Please print)

Paul Davies

Date

05/04/2022

Land Owner(s) Signature

Land Owners Name (please print)

Date

Land Owner(s) Signature

Land Owners Name (please print)

Date



[illegible]

<p><b>Information</b></p> <p>If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, <b>please tick ✓</b> the box</p>	<input type="checkbox"/>
<p><b>Heritage Tasmania</b></p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email <a href="mailto:enquires@heritage.tas.gov.au">enquires@heritage.tas.gov.au</a>)</p>	
<p><b>TasWater</b></p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	

5 April 2022

**Development Application Cover Letter For:**

***8 High Street, Bothwell***

**Zone:** Village

**Codes:** Historic Heritage

Heritage Place - 28 - Barwick Cottage - CT135485/1 - Tasmanian Heritage Register ID 40

**Existing Use:** Residential – Single dwelling

**Proposed Use:** Residential – Single dwelling

**General description of Proposed Works:**

The proposal is for the alteration of the Heritage Place 'Barwick Cottage'.

The proposed works include the demolition of the existing Addition, Covered Patio, Single Garage and Kitchen. A new Addition, Covered Patio & Carport are to be constructed. The upstairs Ensuite is to have a refit.

The proposal has been discussed with Heritage Tasmania, Regional Heritage Advisor - Russell Dobie.

**Site Description:**

The Heritage Place 'Barwick Cottage' was constructed by the Lewis family around 1905 using reclaimed sandstone from a demolished Wesleyan chapel which stood in Dennistoun Rd 1864-1903. It has undergone several alterations since that time including living areas adding in the roof space, a modernised Kitchen and an addition to the rear including Sun Room, Laundry and Bathroom.

There is an existing weatherboard Single Garage in poor condition to the West just behind the cottage. A large steel clad shed (2021) is in the Southwest corner. The site is mostly grassed with a gentle slope toward the road frontage. There are several established trees and shrubs.



*To Left: Plaque on front wall of cottage placed in 1986.*





*Above: 'Barwick Cottage' Northeast view from street.*



*Above: Southeast view showing the Sun Room Addition with lean-to roof extended as Covered Patio. The existing Single Garage is on the left.*





*Above: South view of existing Single Garage.*



*Above: North view of existing Single Garage.*

**Detailed description of Proposed Works:**

The existing Addition, Covered Patio and Single Garage are to be completely removed. The existing sandstone veneer is to be fully exposed again to clearly define and celebrate the original cottage. There is to be a Link with lower roof constructed where the old meets new.



The new Addition and Covered Patio are scaled down proportionately to the existing Cottage. The walls have been stepped in and the roof pitch lowered to ensure the existing Cottage remains the dominant structure. This also minimises the impact on the views from the street.

The new Carport is setback behind the existing Cottage in place of the Single Garage being removed. The lean-to style Carport roof minimises the impact on the view from the street.

The existing Kitchen is to be completely removed.



*Above: Existing Kitchen.*

The upstairs Ensuite is to have a complete refit of fixtures, fittings, wall & floor coverings. The upstairs layout has already been modified by the removal of some internal walls. This space is to become a Master Bedroom with a new walk around robe.



*Above: Showing the roof space bedroom room where the existing internal walls have already been removed.*

**Planning Scheme Variations:**

Variations and performance criteria responses are in [blue](#).

**16.4.2 Setback - Acceptable Solution A2**

*Building setback from side and rear boundaries must be no less than:*

*(a) 2m;*

*(b) half the height of the wall,*

*whichever is the greater.*

[The proposed Carport setback is 285mm.](#)

**Performance Criteria P2**

*Building setback from side and rear boundaries must satisfy all of the following:*

*(a) be sufficient to prevent unreasonable adverse impacts on residential amenity on adjoining lots by:*

*(i) overlooking and loss of privacy;*

*(ii) overshadowing and reduction of sunlight to habitable rooms and private open space on adjoining lots to less than 3 hours between 9.00 am and 5.00 pm on June 21 or further decrease sunlight hours if already less than 3 hours;*

*(iii) visual impact, when viewed from adjoining lots, through building bulk and massing;*

*taking into account aspect and slope.*

[The proposed Carport will not have any unreasonable adverse impacts on the residential amenity of the adjoining lots. The site is level with the adjoining lots and the proposed Carport is only 2.7m high along the adjoining boundary. Therefore, the proposal will not provide any overlooking, loss of privacy, overshadowing or reduction of sunlight to any habitable rooms or private open space on the adjoining lots.](#)

I trust the information above will assist with the assessment process.

Yours faithfully,

Paul Davies

Building Designer



## SEARCH OF TORRENS TITLE

VOLUME 135485	FOLIO 1
EDITION 2	DATE OF ISSUE 16-Apr-2018

SEARCH DATE : 12-Feb-2021

SEARCH TIME : 09.37 AM

DESCRIPTION OF LAND

Town of BOTHWELL

Lot 1 on Sealed Plan 135485

Derivation : Part of Lot 7 Section G. Gtd. to E. Andrews and

Part of 2A-0R-35Ps. Gtd. to E. Bowden

Prior CT 22190/2

SCHEDULE 1

M677884 TRANSFER to GRANT ANDREW IRVING and KIM LEANNE IRVING  
Registered 16-Apr-2018 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP 135485 EASEMENTS in Schedule of Easements

SP 135485 FENCING PROVISION in Schedule of Easements

SP 22190 FENCING PROVISION in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p>OWNER Colin McDowall Campbell &amp; Rae Elaine Campbell FOLIO REFERENCE C.T.22190-2</p> <p>GRANTEE Part of Lot 7, Sec G, 2<sup>A</sup>.1<sup>R</sup>.24<sup>P</sup> Gtd. to Edward Andrews &amp; part of 2<sup>A</sup>.0<sup>R</sup>.35<sup>P</sup> Sec G. Gtd. to Edward Bowden.</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR C.M. Terry of PEACOCK DARCEY &amp; ANDERSON P/L AUTHORISED SURVEYORS 127 BATHURST STREET-HOBART</p> <p>LOCATION</p> <p><b>TOWN OF BOTHWELL</b> (SEC G.)</p> <p>SCALE 1:750      LENGTHS IN METRES</p>	<p>REGISTERED NUMBER <b>SP135485</b></p> <p><del>APPROVED</del> EFFECTIVE FROM 26 APR 2001 <i>Alice Kawa</i> Recorder of Titles</p>	
<p>MAPSHEET MUNICIPAL CODE No. 105 (5030-21)</p>	<p>LAST UPI No. 1102408</p>	<p>LAST PLAN No. SP.22190</p>	<p>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</p>



**SCHEDULE OF EASEMENTS**

**SP135485**

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS  
& MORTGAGEES OF THE LAND AFFECTED.  
SIGNATURES MUST BE ATTESTED.

EASEMENTS AND PROFITS

PAGE 1 OF 1 PAGES

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 2 is subject to a drainage easement in favour of the Central Highlands Council over the drainage easement 3.00m wide shown on the plan.

**Fencing Provision**

In respect of each Lot shown on the Plan the Vendors Colin McDowell Campbell and Rae Elaine Campbell shall not be required to fence.

Signed by Colin McDowell  
Campbell in the presence of:

) *Colin McDowell Campbell*

Witness:

Address:

Occupation:

*Robert*  
1 GORDON STREET SWANSEA  
RETIRED

Signed by Rae Elaine Campbell  
in the presence of:

) *Rae E. Campbell*

Witness:

Address:

Occupation:

*Robert*  
1 GORDON STREET SWANSEA  
RETIRED

SUBDIVIDER : C McD & R E CAMPBELL

FOLIO REF : CT 22190/2

SOLICITOR  
& REFERENCE : MR J S BREHENY (7801)

PLAN  
SEALED BY : PEACOCK, DARCEY & ANDERSON  
DATE : *17/02/2021*  
da 52/00  
REF No. Council Delegate

NOTE: THE COUNCIL DELEGATE MUST SIGN THE CERTIFICATE FOR THE PURPOSE  
OF IDENTIFICATION.

<b>Land Title Information</b>	
Property ID	= 2033818
Title Reference	= 135485/1
<b>Areas</b>	
Site	= 1494m²
<b>Existing Buildings</b>	
Original Dwelling	= 97.67m²
Verandah	= 21.92m²
Addition	= 25.87m²
Covered Patio	= 20.92m²
Single Garage	= 19.02m²
Shed	= 135.0m²
<b>Buildings to be demolished</b>	
Addition	
Covered Patio	
Single Garage	
<b>Proposed Buildings</b>	
Addition	= 53.6m²
Covered Patio	= 22.3m²
Carport	= 31.4m²
<b>Design Wind Speed</b>	
Wind Region	= A3
Terrain Category	= 2.32
Design Wind Speed	= 39.8m/s
Refer to ShedTech windload certificate.	
<b>Soil Classification</b>	
Engineer designed footings.	T.B.C.
<b>Climate Zone</b>	
	7
<b>Bushfire Attack Level</b>	
	N/A
<b>Alpine or Sub-alpine Area</b>	
	N/A
<b>Corrosion Environment</b>	
	Low
<b>Other Hazards</b>	
	N/A

**Notes for Owner and Contractors:**

Do not scale drawings, use written dimensions only.

Do not work from any drawings or associated documents that have not been stamped 'APPROVED' by the Local Authority.

Prior to any works, the Owner must pass onto the Contractor any 'CONDITIONS OF APPROVAL' issued by the Building Surveyor, Local Authority or other Authorities.

Do not proceed with any work that varies to that detailed herein without the approval of the Owner, Designer and Building Surveyor.

The Contractor, Owner/Builder shall:

- verify all dimensions, levels, setbacks on site in relation to these drawings prior to commencing any works or ordering materials.
- ensure that all work and materials comply with the building code of Australia and relevant standards.
- ensure all materials are installed to manufacturers specifications.
- take all steps necessary to ensure the stability of new and existing structures during all works.
- ensure the general water tightness of all new and existing works.

These notes are neither exhaustive nor a substitute for regulations, statutory requirements or contractual obligations and unless stated otherwise, are provided only as guidelines.



<b>Architectural Drawing Schedule</b>	
<b>Sheet ID</b>	<b>Drawing Name</b>
DA 01	Cover Sheet
DA 02	Site Plan
DA 03	Existing Ground Floor Plan
DA 04	Proposed Ground Floor Plan
DA 05	Existing First Floor Plan
DA 06	Proposed First Floor Plan
DA 07	Elevations 01
DA 08	Elevations 02
DA 09	Section A-A
DA 10	Section B-B
DA 11	Section C-C
DA 12	Soil & Water Management Pl..

<b>Supporting Documents</b>
Studio South West 3D - Survey FA-540

# Barwick Cottage Alteration

## 8 High Street, Bothwell

Rev.		Date
A	Issued for Planning Permit	05 04 2022



**BUILDING DESIGNERS**  
ASSOCIATION OF AUSTRALIA  
Member Number: 5237-21



**Building Design**  
Design - Critique - Refine

**Paul Davies**  
Building Designer  
License #: 376495511

Address: 59 Fletcher Ave, Moonah, 7009  
Phone: 0472 703 636  
Email: paul@pdbuildingdesign.com.au

Note:  
- Do not scale off drawings. Copy reproduction can alter scale.  
- All dimensions are to be confirmed on site before construction or manufacture.  
- These drawings are to be read in conjunction with any written specification and/or engineers drawings.  
- All work is to be carried out in accordance with the NCC and the relevant Australian Standards.

Project:  
**Barwick Cottage Alteration**  
**8 High Street, Bothwell**

Owner:  
**Grant & Kim Irving**

Drawing Title:  
**Cover Sheet**

Job #:  
**2204**

Drawn:  
**P. Davies**

Checked:  
**P. Davies**

Issued:  
**Tuesday, 5 April 2022**

Scale:  
**N.T.S. @ A3**

Rev:  
**DA 01**



Site Key

Existing Buildings

Buildings to be demolished

Proposed Buildings

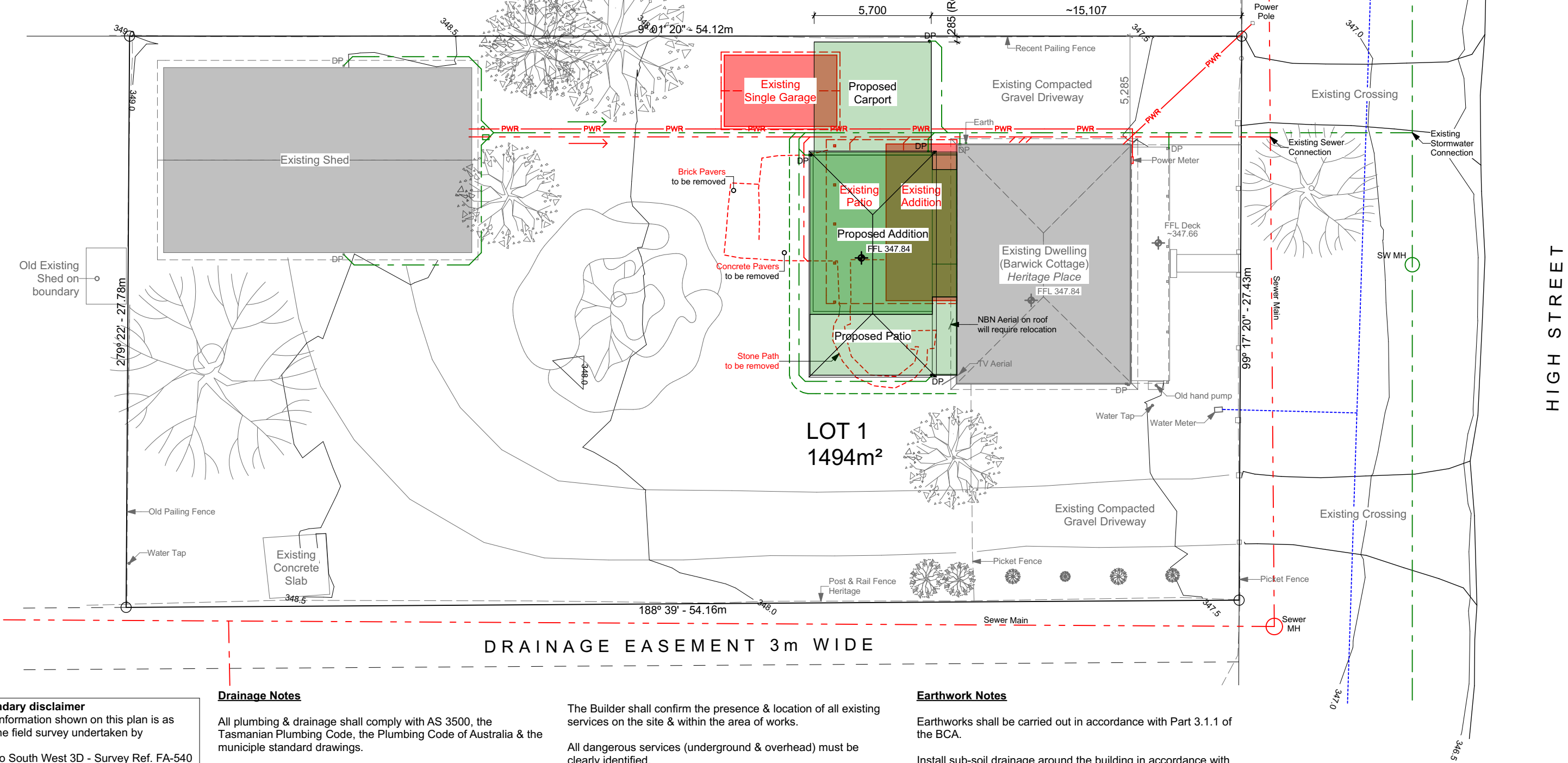
Stormwater pipe Ø100

Sewer pipe Ø100

Power line

DP

Metal Downpipe min. Ø75



**Boundary disclaimer**  
The information shown on this plan is as per the field survey undertaken by  
Studio South West 3D - Survey Ref. FA-540  
Further information is provided on the survey and should be referred to before construction.  
Boundaries shown are best fit overlay only. No boundary pegs are present. It is the owners responsibility to confirm the boundaries with a boundary remark survey.

**Drainage Notes**  
All plumbing & drainage shall comply with AS 3500, the Tasmanian Plumbing Code, the Plumbing Code of Australia & the municle standard drawings.  
Unless noted otherwise, all Sewer and Stormwater drains shall be PVC Sewer Class "SN6" to AS 1260.  
All Connections to council or TasWater services shall be undertaken by the Council or TasWater Authority at the Developer's cost.  
Minimum pipe grades:- Stormwater - 1.00% (1:100)

The Builder shall confirm the presence & location of all existing services on the site & within the area of works.  
All dangerous services (underground & overhead) must be clearly identified.  
All new sewer & stormwater to connect to existing services.  
Downpipes are to be connected as soon as the new roof is installed.  
Install inspection openings at major bends for stormwater and all low points of downpipes.

**Earthwork Notes**  
Earthworks shall be carried out in accordance with Part 3.1.1 of the BCA.  
Install sub-soil drainage around the building in accordance with Part 3.1.2 of the BCA and AS/NZS 3500.3.2 or AS/NZS 3500.5 (domestic installations, Section 5).

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bdca

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Member Number: 5237-21

pd

Building Design

Design - Critique - Refine

Paul Davies

Building Designer

License #: 376495511

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Phone: 0472 703 636

Email: paul@pdbuildingdesign.com.au

Project:

Barwick Cottage Alteration  
8 High Street, Bothwell

Owner:

Grant & Kim Irving

Drawing Title:

Site Plan

Drawn:

P. Davies

Checked:

P. Davies

Issued:

Tuesday, 5 April 2022

Scale:

1:200 @ A3

Drawing #:

(Sheet 2 of 12)

Rev:

A

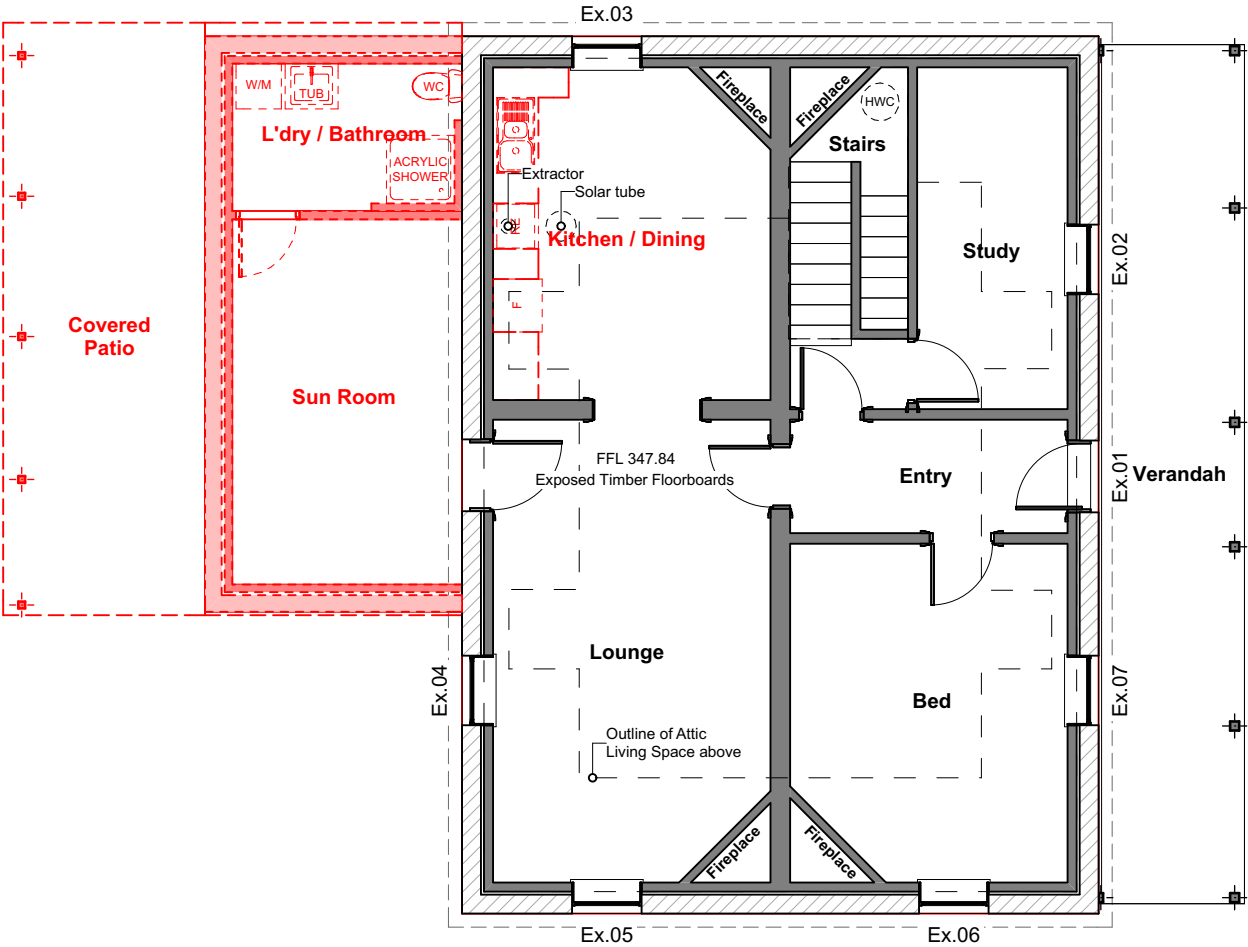
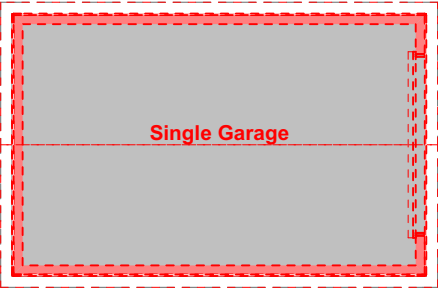
DA 02

**Wall Key**

Existing walls to remain

Existing walls to be removed

Original Dwelling = 97.67 m<sup>2</sup>  
Existing Verandah = 21.92 m<sup>2</sup>  
Addition = 25.87 m<sup>2</sup>  
Covered Patio = 20.92 m<sup>2</sup>  
Single Garage = 19.02 m<sup>2</sup>



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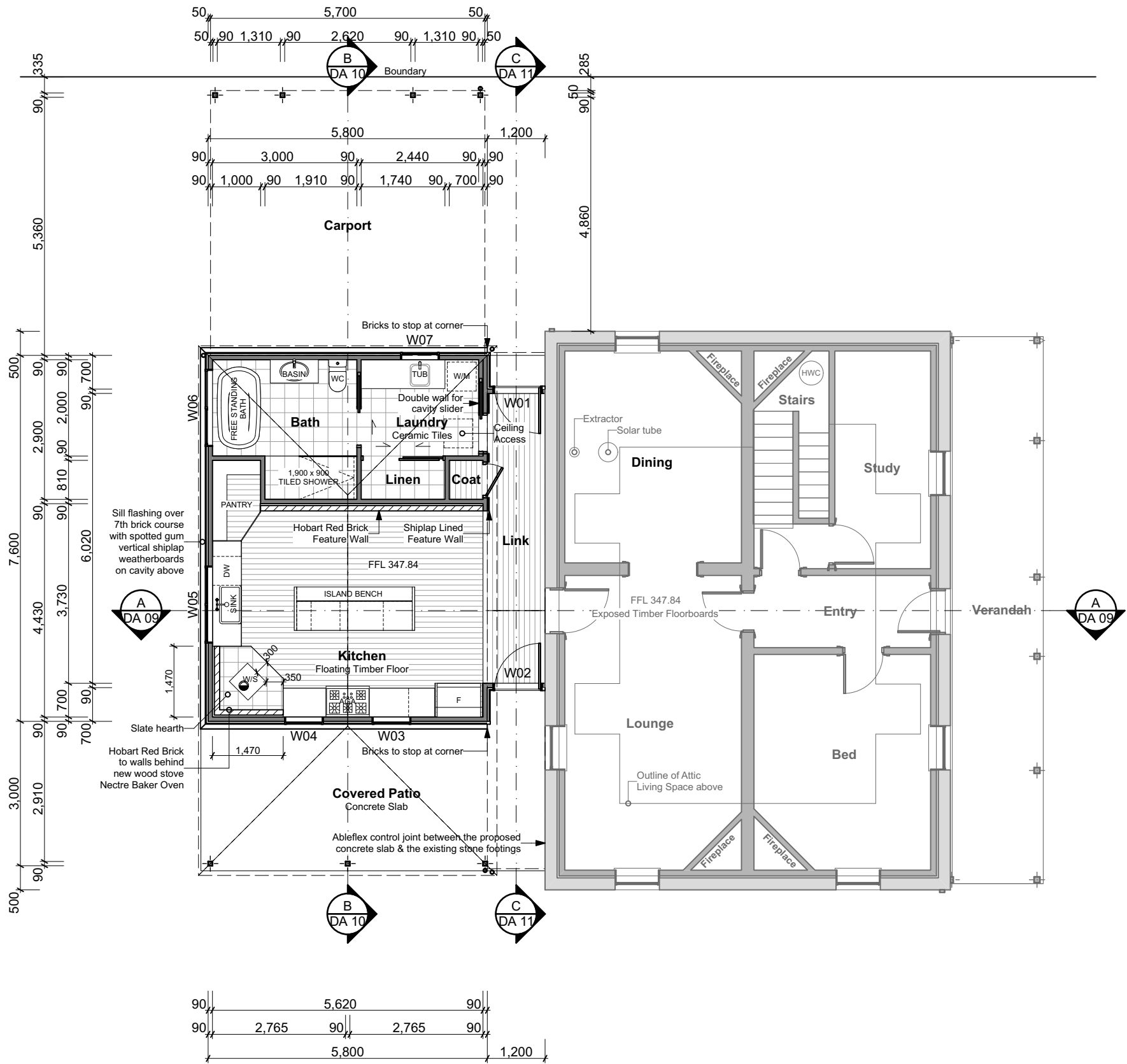


**Wall Key**

Existing walls to remain

New walls

Original Dwelling = 97.67 m<sup>2</sup>  
Existing Verandah = 21.92 m<sup>2</sup>  
New Addition = 54.45 m<sup>2</sup>  
New Covered Patio = 22.47 m<sup>2</sup>  
New Carport = 31.35 m<sup>2</sup>



Rev.		Date
A	Issued for Planning Permit	05 04 2022



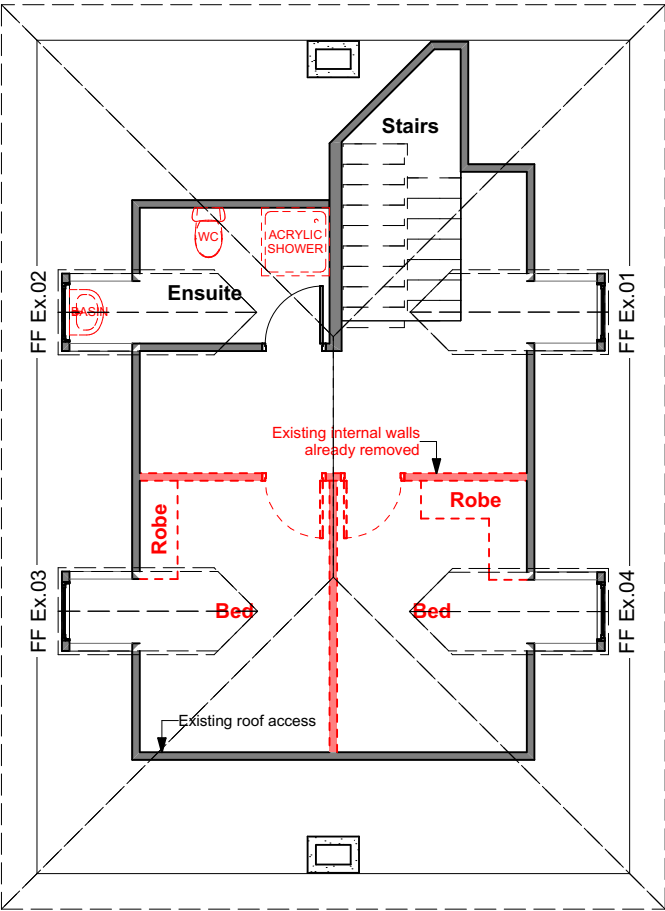


**Wall Key**

Existing walls to remain

Existing walls to be removed

Attic Living Space = 46.57 m²



Rev.		Date
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bdaa

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Member Number: 5237-21

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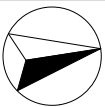
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- All work is to be carried out in accordance with the NCC and the relevant Australian Standards.



Project:

Barwick Cottage Alteration  
8 High Street, Bothwell

Owner:

Grant & Kim Irving

Job #:  
2204

Drawing Title:

Existing First Floor Plan

Drawn:

P. Davies

Checked:

P. Davies

Issued:

Tuesday, 5 April 2022

Scale:

1:100 @ A3

Rev:

A

Drawing #:

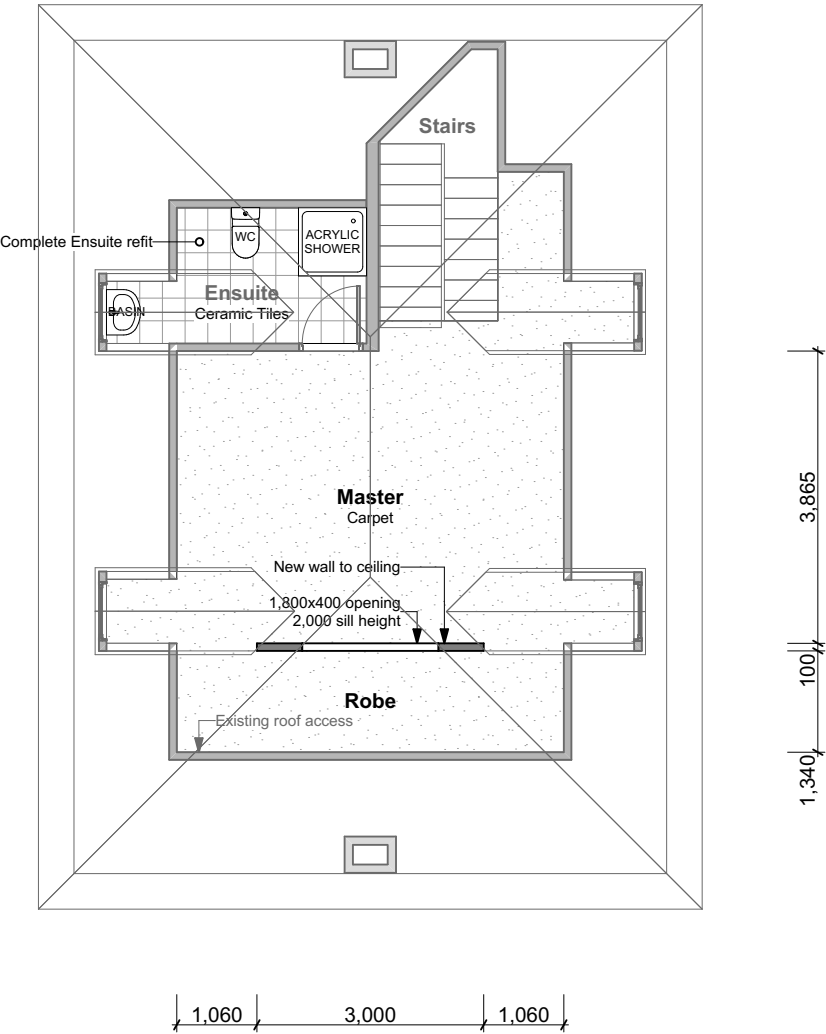
(Sheet 5 of 12) DA 05

**Wall Key**

Existing walls to remain

New walls

Attic Living Space = 46.57 m²



Rev.		Date
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bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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pd

Building Design

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Barwick Cottage Alteration  
8 High Street, Bothwell

Owner:

Grant & Kim Irving

Drawing Title:

Proposed First Floor Plan

Owner:

Grant & Kim Irving

Job #:

2204

Drawn:

P. Davies

Checked:

P. Davies

Issued:

Tuesday, 5 April 2022

Scale:

1:100 @ A3

Rev:

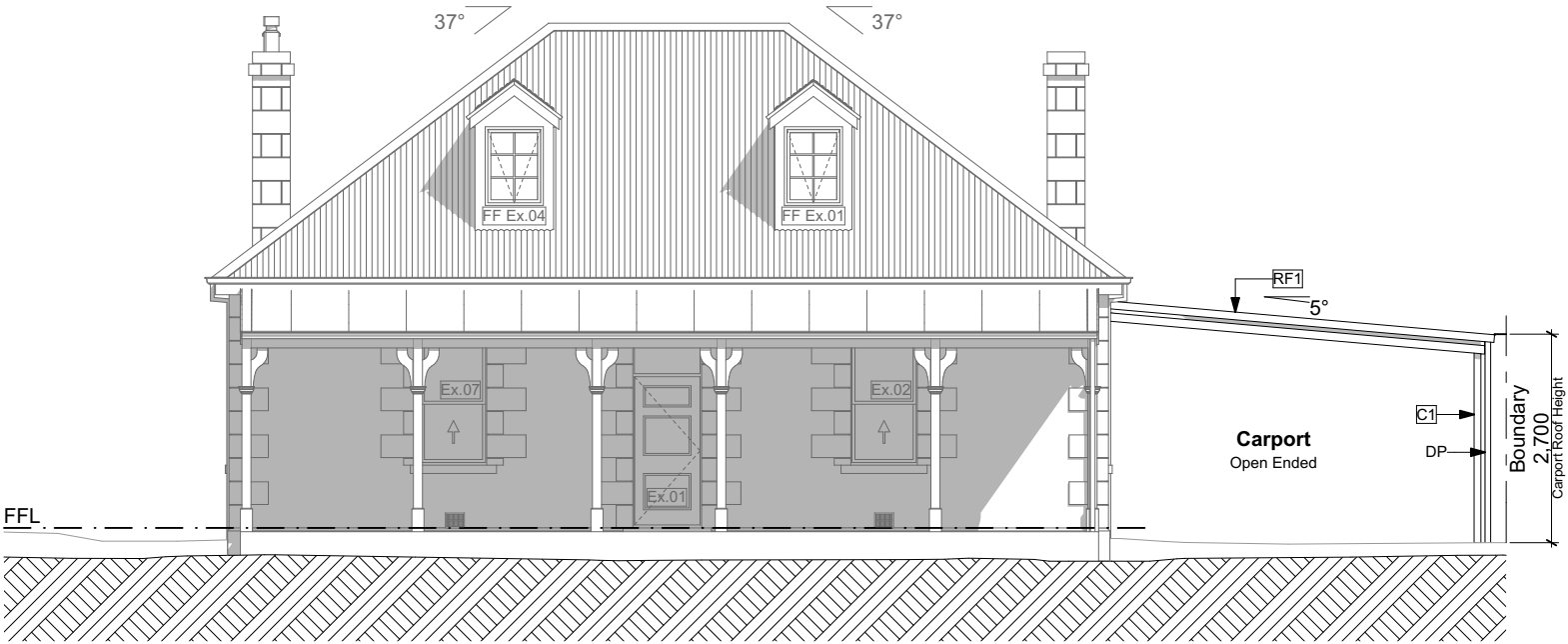
A

Drawing #:

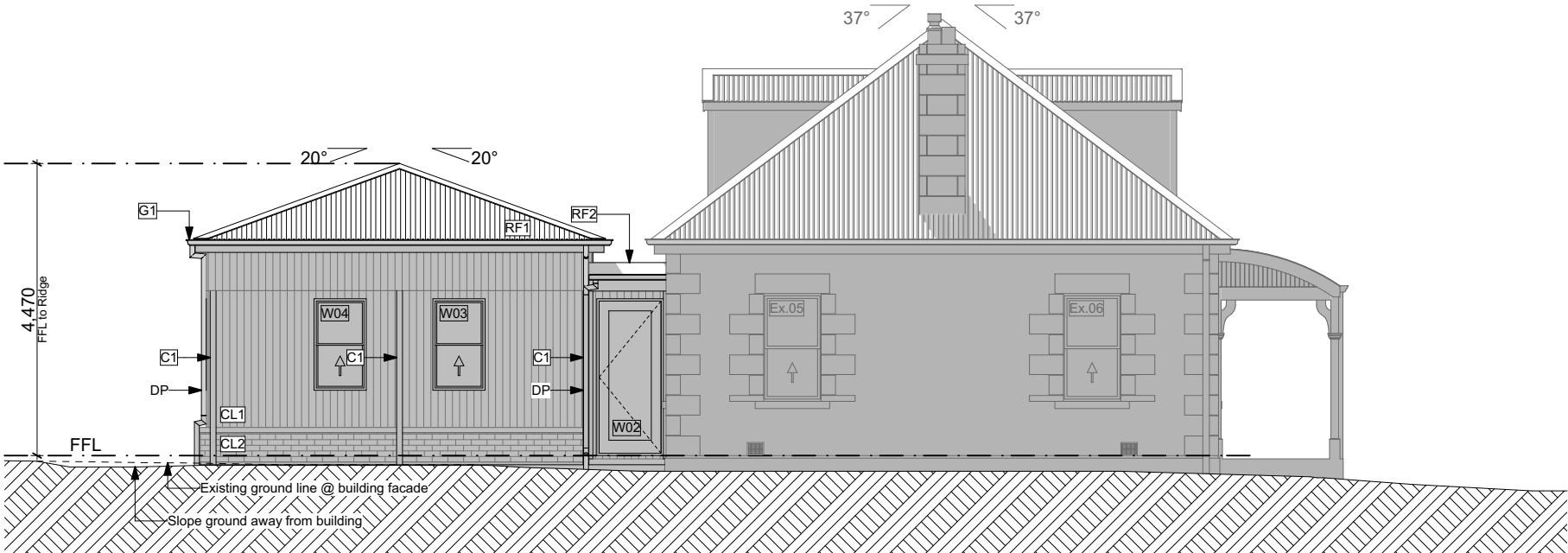
(Sheet 6 of 12)

DA 06

Legend	
FFL	Finished floor level
DP	Minimum 75mmØ metal downpipe Colour = 'White'
G1	Ogee colonial profile metal Gutter Colour = 'White'
RF1	Galvanised Corrugated 0.42 BMT roof sheeting Painted spray finish = 'Shale Grey'
RF2	1.5mm Butynol roof Colour = 'Dove Grey'
CL1	Caldding - 128x19mm shiplap profile, vertically fixed, timber weatherboard over 40mm drained cavity. Timber species = 'Blackbutt' Finish = 'Natural Oiled'
CL2	Reclaimed Hobart Red Brick veneer 7 courses high over minimum 40mm brick cavity.
W	Timber frame double glazed windows Colour = 'White'



North Elevation

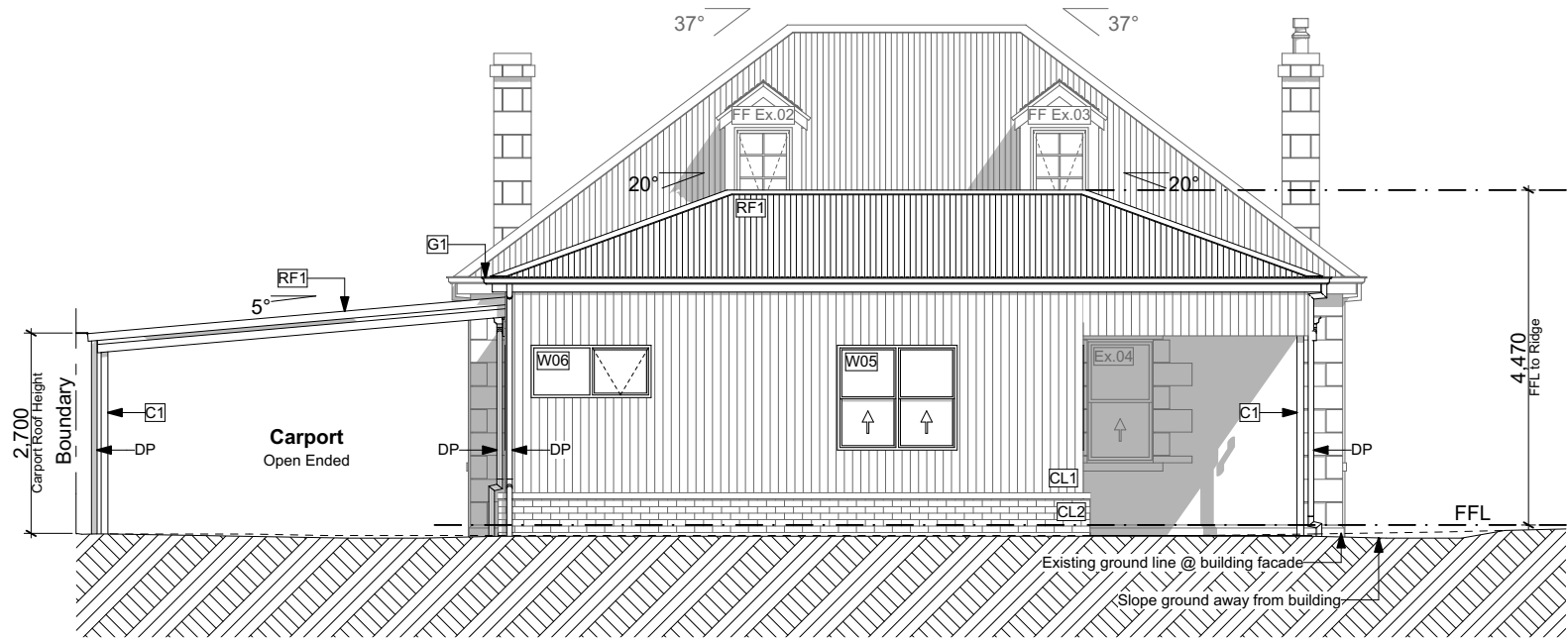


East Elevation

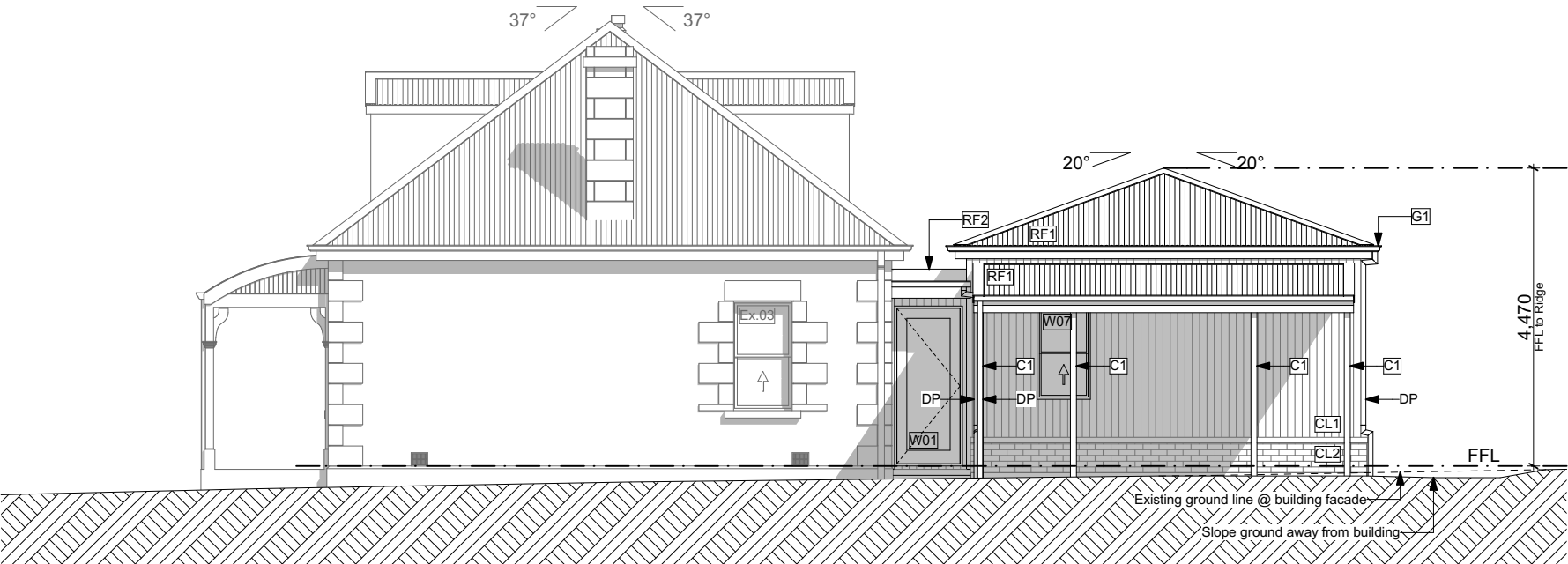
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Legend	
FFL	Finished floor level
DP	Minimum 75mmØ metal downpipe Colour = 'White'
G1	Ogee colonial profile metal Gutter Colour = 'White'
RF1	Galvanised Corrugated 0.42 BMT roof sheeting Painted spray finish = 'Shale Grey'
RF2	1.5mm Butynol roof Colour = 'Dove Grey'
CL1	Caldding - 128x19mm shi lap profile, vertically fixed, timber weatherboard over 40mm drained cavity. Timber species = 'Blackbutt' Finish = 'Natural Oiled'
CL2	Reclaimed Hobart Red Brick veneer 7 courses high over minimum 40mm brick cavity.
W	Timber frame double glazed windows Colour = 'White'

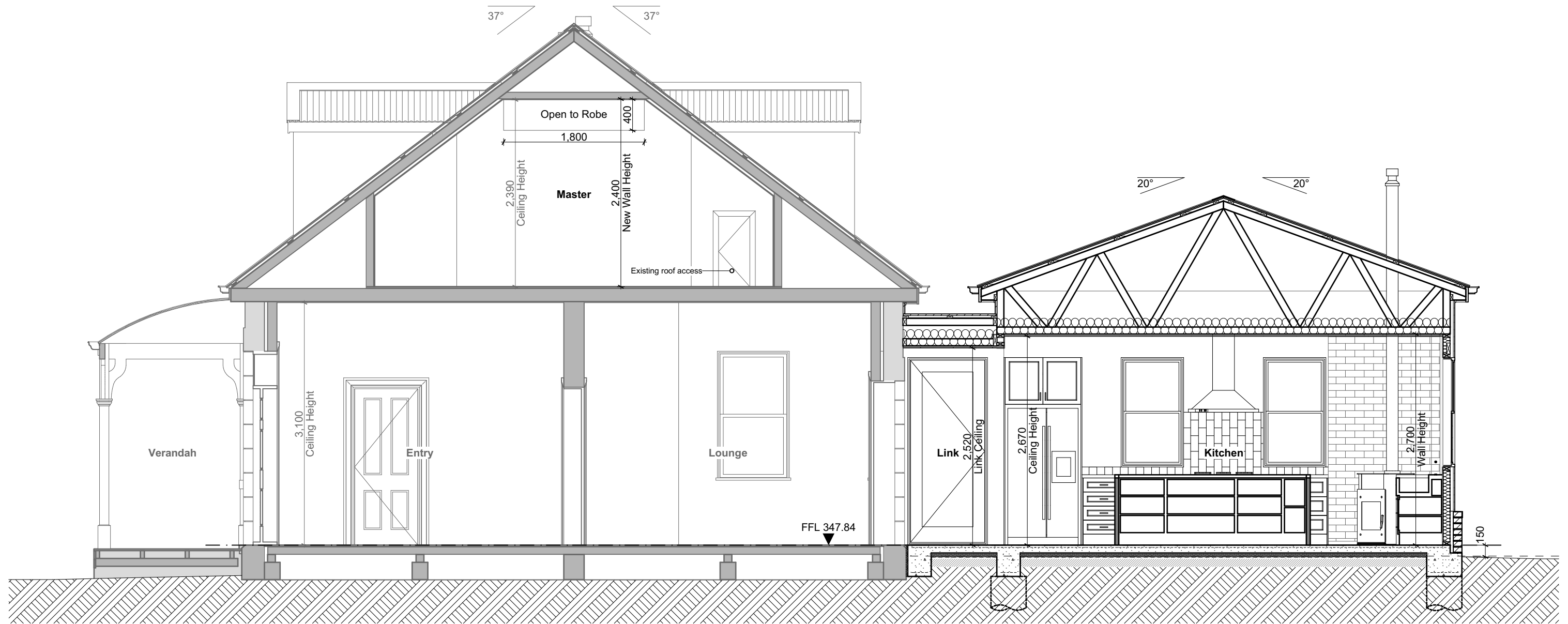


South Elevation



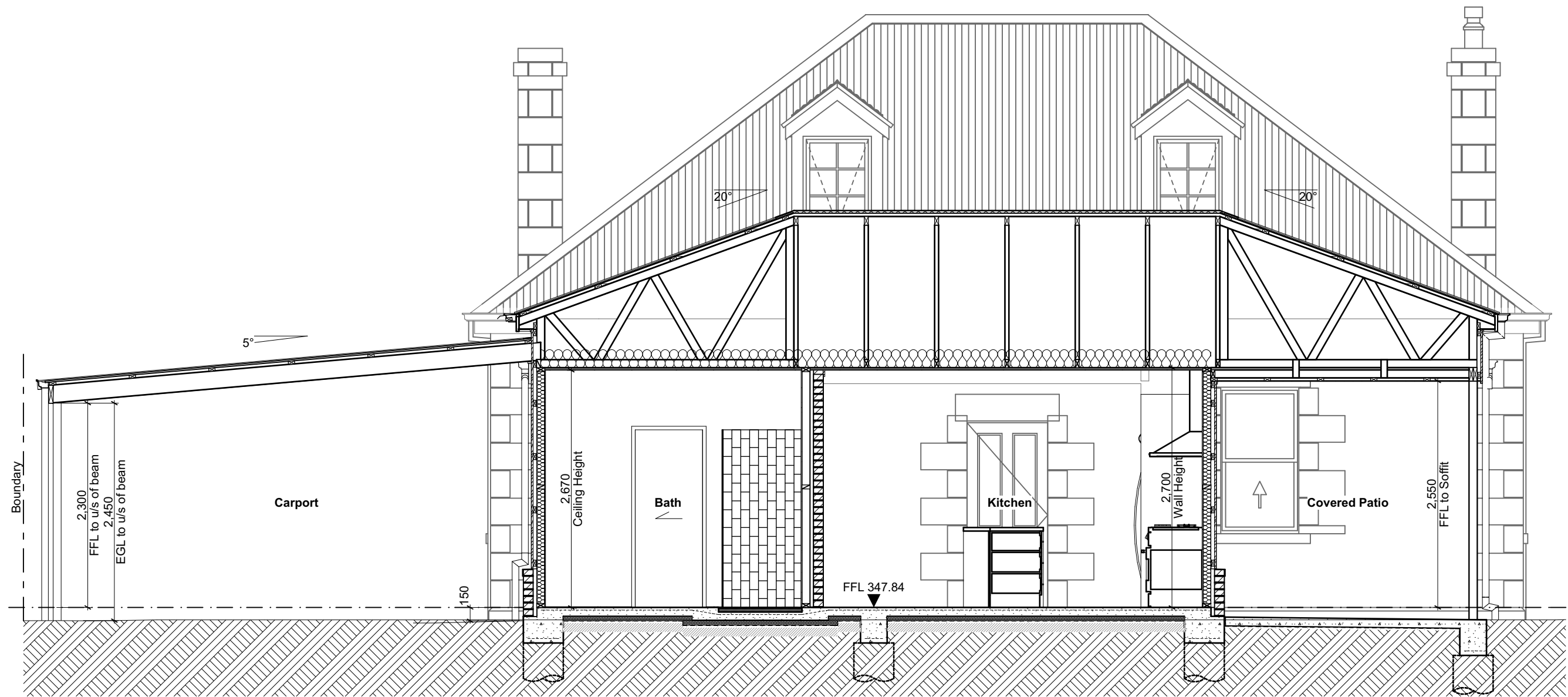
West Elevation

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Section A-A

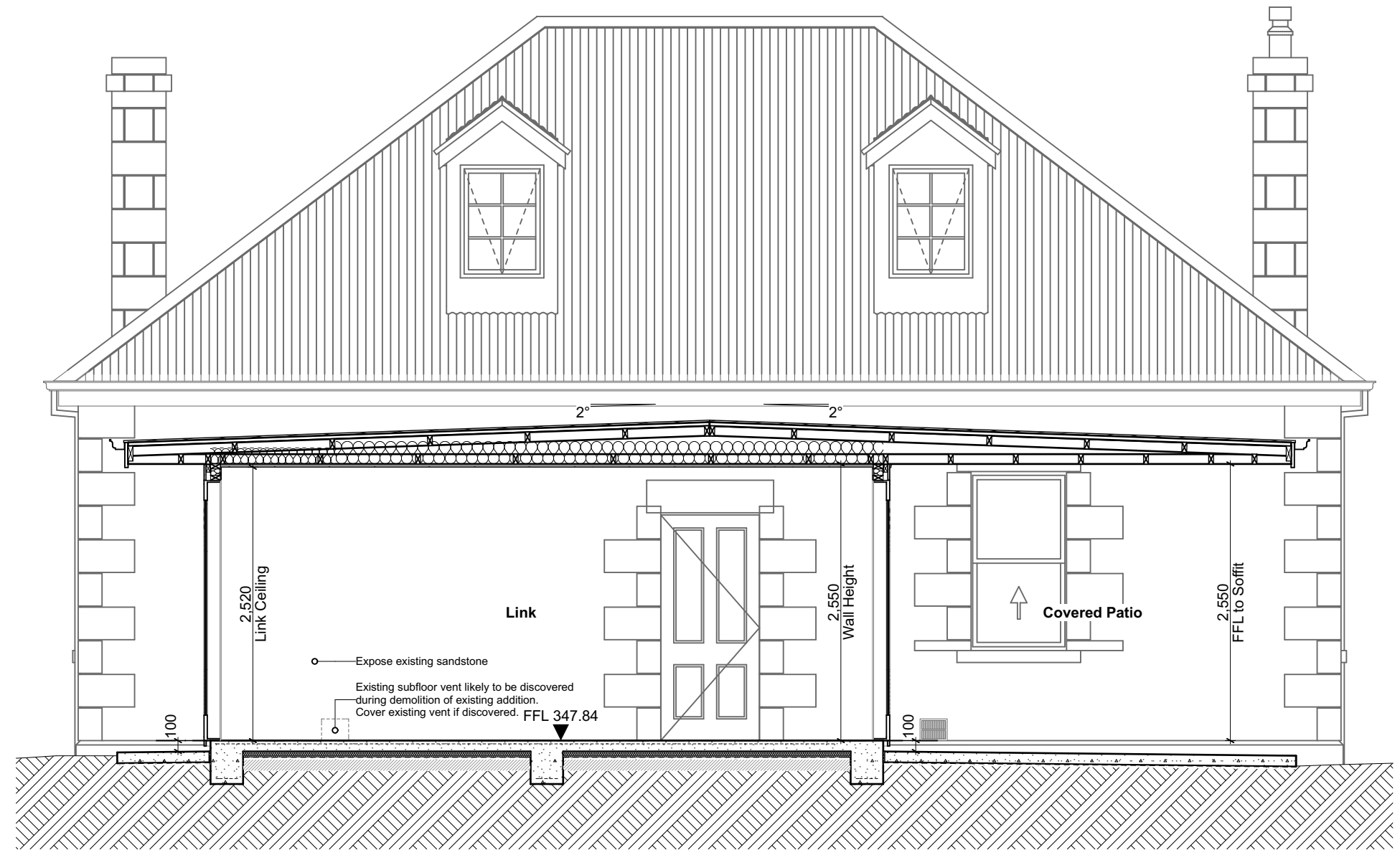
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Section B-B

Rev.		Date
A	Issued for Planning Permit	05 04 2022





Section C-C

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**SWMP Key**

- Sediment fence
- Filter sock
- Diversion channel
- Entry / exit bund
- Approx. proposed excavation area

**Soil and Water Management Plan (SWMP)**  
Proposed sediment and erosion control measures must be installed prior to any disturbance of soil or construction activity such as concrete cutting, demolition and must be regularly inspected and maintained during the construction and demolition period to prevent soil and other materials entering the local stormwater system, roadways or adjoining properties. The approved control measures must remain in place until such time as all construction activity likely to generate sediment has been completed or all disturbed areas have been stabilised using vegetation and/or restored or sealed to the satisfaction of the Council.

**Site & Soil Description:**  
The site slopes gently toward the road frontage. The site is mostly grassed with established trees and shrubs as shown. The soil type is unknown at this time.

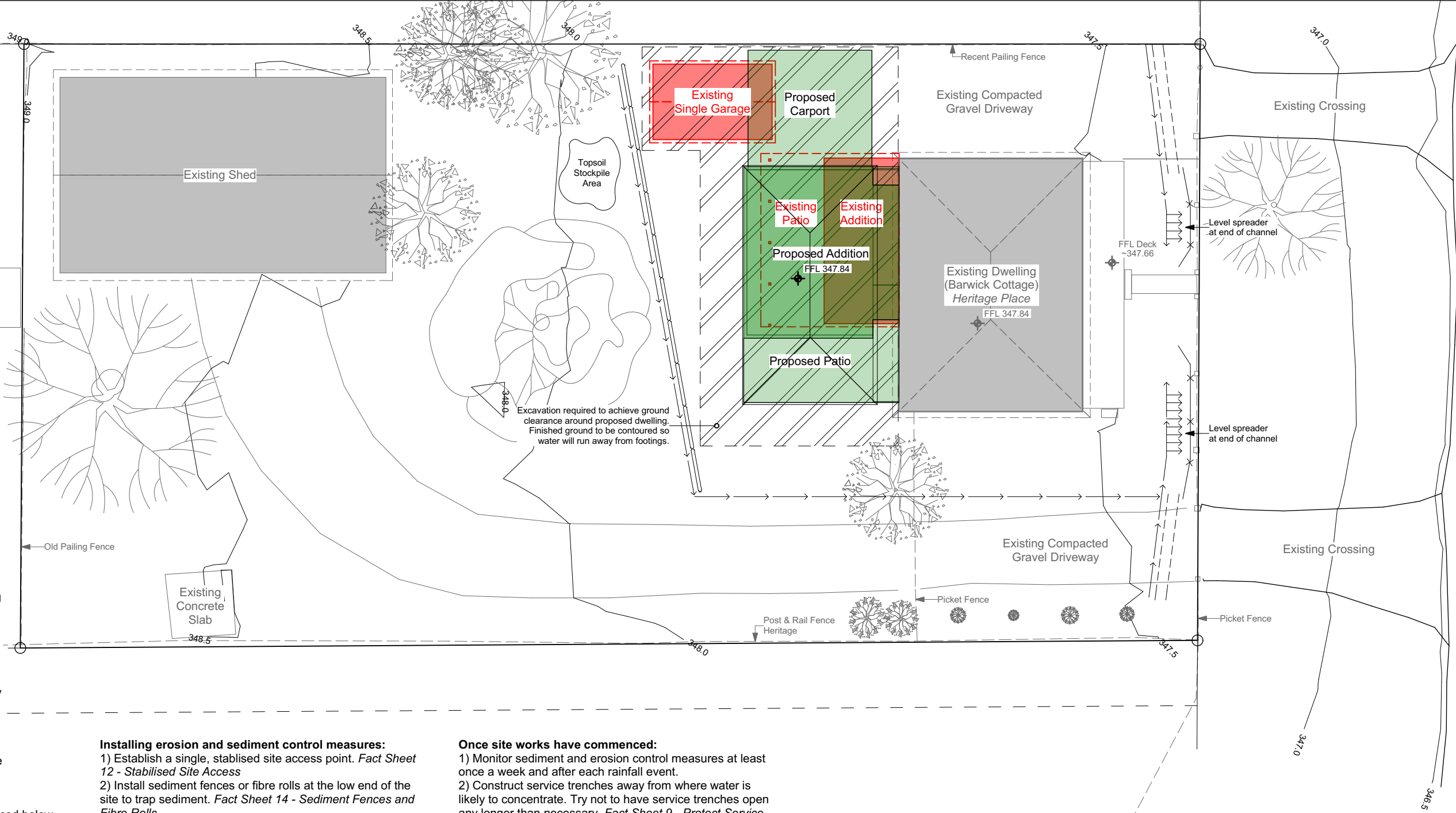
**Site Responsibilities:**  
The site supervisor is responsible for establishing and maintaining all erosion and sediment control measures. Everyone working on the constuction site has a responsibility to prevent pollution. If an pollution accident occurs workers are required by law to notify the site supervisor. If the site supervisor cannot be contacted, workers should immediately notify the local council so they can work together to minimise any harm to the environment. Keep a copy of the council-approved SWMP on site at all times. Ensure that all on-ground workers understand the SWMP.

**SWMP Establishment Process:**  
Soil and Water Management Fact Sheets referenced below can be found at [www.epa.tas.au](http://www.epa.tas.au).

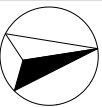
**Before site works commence:**  
1) Schedule earthworks in phases throughout the project so that the ground is disturbed for the shortest time possible. *Fact Sheet 5 - Minimise Soil Disturbance*  
2) Avoid stripping and excavating until all necessary permits, licences and approvals have been obtained and you are ready to start work.  
3) Install erosion and sediment control measures in accordance with an approved Soil and Water Management Plan. *Fact Sheet 3 - Soil & Water Management Plans*

**Installing erosion and sediment control measures:**  
1) Establish a single, stabilised site access point. *Fact Sheet 12 - Stabilised Site Access*  
2) Install sediment fences or fibre rolls at the low end of the site to trap sediment. *Fact Sheet 14 - Sediment Fences and Fibre Rolls*  
3) Divert up-slope catchment runoff around the site by installing a diversion drain and level spreader. *Fact Sheet 7 - Divert Up-Slope Water*  
4) Keep as much vegetation as possible to minimise soil erosion and reduce rainwater running across the site. *Fact Sheet 6 - Preserve Vegetation*  
5) Designate a location where topsoil and other excavation material will be stockpiled during building and construction. Provide suitable controls to prevent erosion. *Fact Sheet 9 - Protect Service Trenches and Stockpiles*  
6) Stabilise areas of exposed soil with vegetation or erosion control blankets and mats. *Fact Sheet 8 - Erosion Control Mats and Blankets*  
7) Protect the nearby stormwater system including any stormwater pits on and below the site from blocking up with sediment. *Fact Sheet 15 - Protection of Stormwater Pits*  
8) Designate an appropriate location within the site where sediment-generating activities can be managed (e.g. wheel wash, brick cutting) *Fact Sheet 13 - Wheel Wash. Fact Sheet 16 - Protected Concrete, Brick and Tile Cutting*


**Once site works have commenced:**  
1) Monitor sediment and erosion control measures at least once a week and after each rainfall event.  
2) Construct service trenches away from where water is likely to concentrate. Try not to have service trenches open any longer than necessary. *Fact Sheet 9 - Protect Service Trenches and Stockpiles*  
3) Prevent clean rainwater running across the site by connecting downpipes to the stormwater system as soon as the roof is on the building frame. *Fact Sheet 10 - Early Roof Drainage Connection*



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The site plan illustrates a property with several key features and structures. The central building has a deck at an elevation of approximately +347.66 and a floor level (FL) of +347.84. An undercover area is located to the right of the main building. To the left of the main building is a garage. A driveway (UNSEALED) is situated to the right of the main building. A crosscover (UNSEALED) is located at the top left. A picket fence runs along the top boundary. A water meter and a TV aerial are also shown. The plan includes various trees and landscaping areas. Elevation points are marked throughout the site, such as 347.0, 347.5, 348.0, and 349.0. A north arrow is located in the top right corner.

<p>Site Identifier SPM10212</p> <p>GDA2020 500437.006E / 5307631.953N z55</p> <p>GDA2020 Positional Uncertainty 0.028</p> <p>Positional Uncertainty Method Rigorous</p> <p>Height 343.984m</p> <p>Height Datum AHD85</p> <p>Height Class GPS</p> <p>Height Order 3RD</p> <p>GDA1994 500436.59E / 5307630.599N z55</p> <p>GDA94 Horizontal Class B</p> <p>GDA94 Horizontal Order 2ND</p> <p>Order Symbol purpletriangle</p>	<p>1. THIS PLAN DOES NOT DEFINE THE BOUNDARIES!</p> <p>2. BOUNDARY DIMENSIONS AND BEARINGS TO BE OBTAINED FROM CERTIFICATE OF TITLE</p> <p>3. CONTOUR LINES ARE MATHEMATICAL INTERPRETATION / INTERPOLATION ONLY.</p> <p>4. CONTOUR INTERVAL 0.1 m</p> <p>5. SURVEY TECHNIQUE: GNSS-RTK(GPS-Glonass) / TOTAL STATION / DISTO</p> <p>NOTE:          *This plan is prepared to satisfy <u>PAUL DAVIES's</u> specification, from a combination of field survey (GNSS-RTK, AND TOTAL STATION) and existing records for the purpose of designing new features and constructions on the land and should not be used for any other purpose.          **The title boundaries as shown hereon by plan dimensions only and not by field survey. Services shown hereon have been located where possible by field survey.          ***Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.          This note is an integral part of this plan.</p>	<p>TasSurveyors &amp; ASSOCIATES          Trevor Parry          SURVEYORS PLANNERS &amp; MAPPING CONSULTANTS          691 CHURCH ROAD, BROADBANKSH TAS 7030          tassurveyors@gmail.com M: 0427 050 773          ABN: 94 451 832 930</p> <p>Studio South West 3d          Front Axis          SITE MEASUREMENT &amp; BIM MODELLING          41 Clydesdale Av, Glenorchy TAS 7010          studio.south.west.3d@gmail.com M: 0407 86 8029          ABN 36 986 690 298</p>	<p>GRID NORTH</p>  <p>5m</p> <p>SITE PLAN</p>	<p>Property Address          8 HIGH ST          BOTHWELL TAS 7030          Property ID 2033818          Title Reference 135485/1</p>
<p>21-02-2022</p>	<p>Ref.No.: FA-540 (SITE)</p>			