

DISCRETIONARY APPLICATION

For Public Display

Applicant:

Smeeke Drafting

Location:

Marked Tree Road, Hamilton (CT 171934/1)

Proposal:

Dwelling & Outbuilding

DA Number:

DA 2022 / 00021

Date Advertised:

21 March 2022

Date Representation Period Closes:

4 April 2022

Responsible Officer:

Louisa Brown (Planning Officer)

Viewing Documents:

The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

development@centralhighlands.tas.gov.au



Development & Environmental Services
19 Alexander Street
BOTHWELL TAS 7030

Phone: (03) 6259 5503
Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name	SMEEKES DRAFTING - JAY WEIR		
Postal Address	2/17 BAYFIELD STREET ROSNY PARK 7018	Phone No:	03 6234 6185
Email address	jay.weir@smeekesdrafting.com		
Owner/s Name (if not Applicant)	FRANCESCO FRANZE & AMY JORY		
Postal Address	U13/40 MUREV WAY CARARRA QLD 4221	Phone No:	AMY 0406 144 887
Email address:	amy-jory81@hotmail.com		

Description of proposed use and/or development:

Address of new use and development:	970 MARKED TREE ROAD HAMILTON TIS 7140		
Certificate of Title No:	Volume No 171934	Lot No:	1
Description of proposed use or development:	PROPOSED DWELLING, SEPTIC & STORMWATER SYSTEM, GRAVEL DRIVEWAY. 20FT SHIPPING CONTAINER/SHED FOR GARDEN AREA.		
Current use of land and buildings:	VACANT		

ie: New Dwelling / Additions / Demolition / Shed / Farm Building / Carport / Swimming Pool or detail other etc.

Eg. Are there any existing buildings on this title?
If yes, what is the main building used as?

Proposed Material	What are the proposed external wall colours CLACKBOARD NIGHTSKY	What is the proposed roof colour CLACKBOARD NIGHT SKY.
	What is the proposed new floor area m ² . 201.6m ²	What is the estimated value of all the new work proposed: \$ 300,000 —

Is proposed development to be staged:

Is the proposed development located on land previously used as a tip site?

Is the place on the Tasmanian Heritage Register?

Have you sought advice from Heritage Tasmania?

Has a Certificate of Exemption been sought for these works?

Yes ☐

Yes ☒

Yes ☒

Yes ☒

Yes ☒

No ☒

No ☒

No ☐

No ☐

No ☐

Tick ☒

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature
(if not the Owner)

Applicant Name (Please print)

JAY WEIR

Date

02-03-2022

Land Owner(s) Signature

Land Owners Name (please print)

FRANCESCO FRANZE

Date

1/3/22

Land Owner(s) Signature

Land Owners Name (please print)

AMY JORY.

Date

1/3/22

Information & Checklist sheet

1. A completed Application for Planning Approval – Use and Development form. <i>Please ensure that the information provides an accurate description of the proposal, has the correct address and contact details and is signed and dated by the applicant.</i>	<input checked="" type="checkbox"/>
2. A current copy of the Certificate of Title for all lots involved in the proposal. <i>The title details must include, where available, a copy of the search page, title plan, sealed plan or diagram and any schedule of easements (if any), or other restrictions, including covenants, Council notification or conditions of transfer.</i>	<input checked="" type="checkbox"/>
3. Two (2) copies of the following information - a) An analysis of the site and surrounding area setting out accurate descriptions of the following - (i) topography and major site features including an indication of the type and extent of native vegetation present, natural drainage lines, water courses and wetlands, trees greater than 5 metres in height in areas of skyline or landscape importance and identification of any natural hazards including flood prone areas, high fire risk areas and land subject to instability; (ii) soil conditions (depth, description of type, land capability etc); (iii) the location and capacity of any existing services or easements on the site or connected to the site; (iv) existing pedestrian and vehicle access to the site; (v) any existing buildings on the site; (vi) adjoining properties and their uses; and (vii) soil and water management plans. b) A site plan for the proposed use or development drawn, unless otherwise approved, at a scale of not less than 1:200 or 1:1000 for sites in excess of 1 hectare, showing - (i) a north point; (ii) the boundaries and dimensions of the site; (iii) Australian Height Datum (AHD) levels; (iv) natural drainage lines, watercourses and wetlands; (v) soil depth and type; (vi) the location and capacity of any existing services or easements on the site or connected to the site; (vii) the location of any existing buildings on the site, indicating those to be retained or demolished, and their relationship to buildings on adjacent sites, streets and access ways; (viii) the use of adjoining properties; (ix) shadow diagrams of the proposed buildings where development has the potential to cause overshadowing; (x) the dimensions, layout and surfacing materials of all access roads, turning areas, parking areas and footpaths within and at the site entrance; (xi) any proposed private or public open space or communal space or facilities; (xii) proposed landscaping, indicating vegetation to be removed or retained and species and mature heights of plantings; and (xiii) methods of minimizing erosion and run-off during and after construction and preventing contamination of storm water discharged from the site. c) Plans and elevations of proposed and existing buildings, drawn at a scale of not less than 1:100, showing internal layout and materials to be used on external walls and roofs and the relationship of the elevations to natural ground level, including any proposed cut or fill.	<input checked="" type="checkbox"/>
4. A written submission supporting the application that demonstrates compliance with the relevant parts of the Act, State Policies and the Central Highlands Interim Planning Scheme 2015, including for industrial and commercial uses, the hours of operation, number of employees, details of any point source discharges or emissions, traffic volumes generated by the use and a Traffic Impact Statement where the development is likely to create more than 100 vehicle movements per day.	<input checked="" type="checkbox"/>
5. Prescribed fees payable to Council. An invoice for the fees payable will be issued once application has been received.	<input type="checkbox"/>

<p>Information</p> <p>If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box</p>	<p><i>tick</i></p> <p><i>EMAIL POSTAGE.</i></p>
<p>Heritage Tasmania</p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	
<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	

SEARCH OF TORRENS TITLE

VOLUME 171934	FOLIO 1
EDITION 2	DATE OF ISSUE 07-Jun-2017

SEARCH DATE : 02-Mar-2022

SEARCH TIME : 11.45 AM

DESCRIPTION OF LAND

Parish of PELHAM Land District of MONMOUTH

Lot 1 on Sealed Plan 171934

Derivation : Part of Lot 3906, 825 Acres, J P Sherwin Pur.

Prior CT 248197/1

SCHEDULE 1

M632842 TRANSFER to FRANCESCO FRANZE and AMY ELIZABETH JORY
Registered 07-Jun-2017 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP171934 WATER SUPPLY RESTRICTION

SP171934 SEWERAGE AND/OR DRAINAGE RESTRICTION

SP171934 COUNCIL NOTIFICATION under Section 83(5) of the Local
Government (Building and Miscellaneous Provisions)
Act 1993.

E64441 AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
30-Sep-2016 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 171934
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PAGE 1 OF 1 PAGE

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and

(2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

(1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and

(2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

There are no easements or profits to benefit or burden the lot on the plan

Signed on behalf of CHRISTOPHER ANDREW HUME & ALISON HUME)


by their nominated solicitor Nick Beattie in the presence of-)

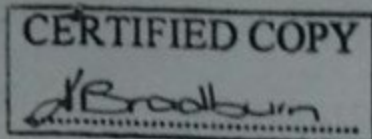
Witness: )

Full Name: JUSTIN RAYMOND CASTLES

Address: 114 Bathurst Street Hobart TAS 7000

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: C A & A HUME FOLIO REF: 248197/1 SOLICITOR: NICK BEATTIE	PLAN SEALED BY: CENTRAL HIGHLANDS COUNCIL DATE: 29 August 2016 SA 2014/46 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	



DEED - PART V AGREEMENT

THIS DEED IS made the 29 day of August 2016

Between:

CENTRAL HIGHLANDS COUNCIL of 19 Alexander Street, Bothwell in Tasmania ("the Council")

And

CHRISTOPHER ANDREW HUME AND ALISON HUME of 268 Marked Tree Road, Gretna in Tasmania ("the Owner")

RECITALS

- A. The Owner is the registered proprietor of an estate in fee simple situate at 430 Thousand Acre Lane, Hamilton in Tasmania, more particularly described in Certificate of Title Volume 248197 Folio 1 ("the Property").
- B. The Land is subject to the provisions of the *Central Highlands Planning Scheme 2015* (the "Scheme") and the Council is the Planning Authority under the *Land Use Planning and Approvals Act 1993* for the purposes of the Scheme.
- C. On 19 May 2015 the Council by planning permit number SA 2014/46 – DISC approved the subdivision of 1 lot and balance and ancillary site works in accordance with the *Local Government (Building and Miscellaneous Provisions) Act 1993*.
- D. This Agreement is entered into pursuant to Part 5 of the *Land Use Planning and Approvals Act 1993* ("the Act") and the Council will register this Agreement pursuant to the provisions of Section 78 of the Act and the effect of registration will be that the burden of any commitment contained in this Agreement will run with the Land to which this Agreement relates as if it were a covenant to which Section 102(2) of the *Land Titles Act 1980* applies.

GENERAL INTERPRETATION

In this Agreement, unless the context otherwise requires:

- (a) a reference to any legislation or any legislative provision includes any statutory modification or re-enactment of, or legislative provisions substituted for, and any subordinate legislation issued under, that legislation or legislative provision;
- (b) the singular includes the plural and vice versa;
- (c) a reference to an individual or person includes a corporation, partnership, joint venture, association, authority, trust, state or government, or vice versa;

- (d) a reference to any gender includes all genders;
- (e) a reference to a recital, clause, schedule, annexure or exhibit is to a recital, clause, schedule, annexure or exhibit of or to this Agreement; and
- (f) a recital, schedule, annexure or a description of the parties forms part of this Agreement.

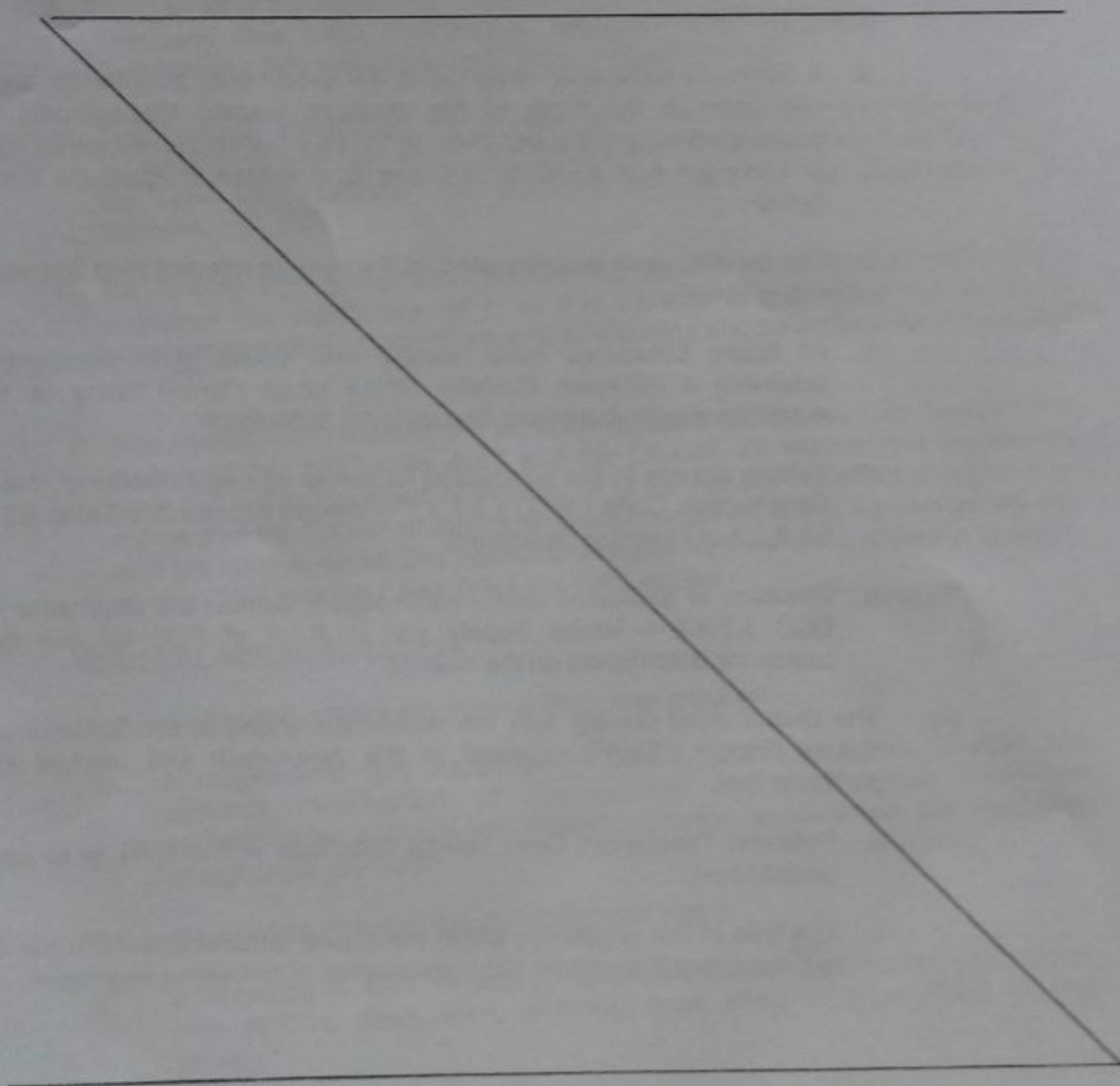
1. AGREEMENT

- (a) In consideration of the Council approving the said subdivision and pursuant to Section 71 of Part 5 of the Act, the Owner and his/her assigns hereby covenant and agree with the Council to the intent that the burden of the Agreement runs with and binds each and every part of the servient land and that the benefit is created in favour of the Council to observe the stipulations set out in the attached annexure pages.
- (b) The Owner must comply with the recommendations of the Bushfire Hazard Assessment Report ("BHMP") annexed to this Agreement and marked A, in particular that:
 - a. A minimum separation distance to the external lot boundaries and the vegetation is the basis of the minimum Hazard Management Area designated around the perimeter of the final building envelope as set out in Table 2.4.4 of AS3959-2009 and as indicated in Appendix 2 to the BHMP.
 - b. The building area is designated for the new lot referred to in Appendix 2 of the BHMP.
 - c. All future structures must comply with construction standards by achieving a minimum Bushfire Attack Level ("BAL") rating of 19 in accordance with Australian Standard AS 3959-2009.
 - d. Vehicle access to the subdivided lot meets all requirements of National Construction Code ("NCC") 3.7.4.1 – Vehicle Access and Table E3 and E1.6.1.2 of Planning Directive 5.
 - e. Provision of dedicated stored water supply to meet the requirements of NCC 3.7.4.2 – Water Supply and E1.6.1.3 of PD5 for any future residence established on the new lot.
- (c) The Owner must comply with the recommendations of the Environmental Values Report ("EVR") annexed to this Agreement and marked B, in particular that:
 - a. Potential Tasmanian Devil habitat described in the EVR is to be left undisturbed;
 - b. The loss of the vegetation within the impact zone described in the EVR is to be offset through on site conservation of remaining vegetation;

- c. Large trees that occur within the potential impact area described in the EVR are to be retained where possible to minimise impacts on the native species;
- d. Declared weeds on the site are to be controlled on the site;
- e. Any soil or gravel imported to the site for construction or landscaping purposes are to be from a weed-free source to prevent the establishment of introduced species on the site;
- f. Gardens associated with the house on the site are to contain local native species and any plants listed as environmental weeds are not to be planted on or introduced to the site.

2. COSTS

The Owner shall pay all costs in relation to the preparation, drafting, engrossment, execution and registration of this Agreement.



EXECUTED AS A DEED

Signed by the **CENTRAL HIGHLANDS COUNCIL**
in accordance with section 19(3) & (5) of the
Local Government Act 1993:



[Signature]

Signature

Lyn Eyles

Full name

General Manager

Position

Signature

Full name

Position

Signed by
CHRISTOPHER ANDREW HUME
in the presence of:

[Signature]

[Signature]

Signature of Witness

JO-ANNE MARY COLLES

Full name of Witness

31 MONA STREET, KINGSTON 7050

Address

ADMINISTRATION MANAGER

Occupation

Signed by
ALISON HUME
in the presence of:

[Signature]

[Signature]

Signature of Witness

JO-ANNE MARY COLLES

Full name of Witness

31 MONA STREET, KINGSTON 7050

Address

ADMINISTRATION MANAGER

Occupation

Jay Weir

From: Amy Jory <amy_jory81@hotmail.com>
Sent: Tuesday, 25 May 2021 5:25 PM
To: Jay Weir
Subject: Fwd: Exemption Certificate Application Heritage Tas - Frank Franze & Amy Jory

Hi Jay,

Please find the following information below, I received the Exemption from Heritage Tas today.

Please add to our file, I will be sending through more information for our file this coming week.

Thank you kindly
Amy & Frank

Sent on the go with Vodafone

From: Dobie, Russell <Russell.Dobie@heritage.tas.gov.au>
Sent: Tuesday, May 25, 2021 5:02:55 PM
To: Amy Jory <amy_jory81@hotmail.com>
Subject: RE: Exemption Certificate Application

Dear Amy and Francesco,

Having reviewed the entry for 'Rathlyn' on the Tasmanian Heritage Register I am satisfied that your property is not part of the registered place. There is no need for you to obtain heritage approval for any works or development on your property.

Please contact me if you have any further question in relation to this matter.

Regards,

Russell Dobie
Regional Heritage Advisor (South)
Heritage Tasmania
GPO Box 618 HOBART TAS 7001
0458 326 828 | 1300 850 332 (for the cost of a local call)

CONFIDENTIALITY NOTICE AND DISCLAIMER

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From: Amy Jory <amy_jory81@hotmail.com>
Sent: Sunday, 23 May 2021 10:21 AM
To: Heritage Enquiries <Enquiries.Heritage@dpipwe.tas.gov.au>
Subject: Exemption Certificate Application

To whom it may concern,

We have purchased a bush block back in 2017, which we are looking to begin building at the end of next year.

We are about to go ahead with the plans, applications for building permits, planning etc & noticed our title is still connected to the original parcel of land whom we purchased it from.

It looks like the original owners (Christopher & Alison Hume) who subdivided our property from theirs, has a heritage building on it?

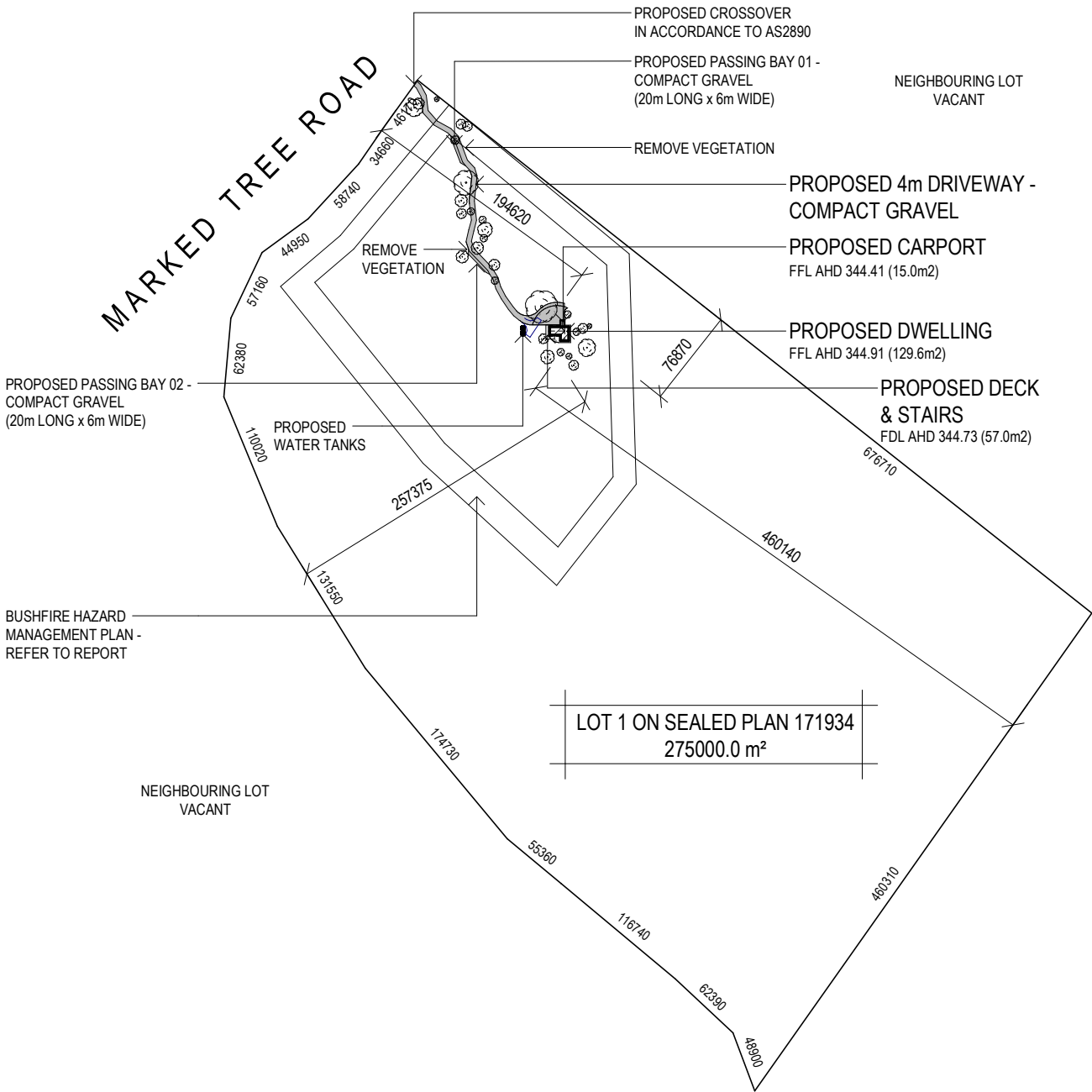
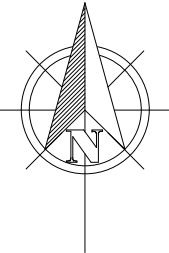
So we are writing for an exemption certificate, we have attached the following forms, please advise if your require any further information.

Looking forward to hearing from you soon.

Thank you kindly
Amy Jory & Francesco Franze

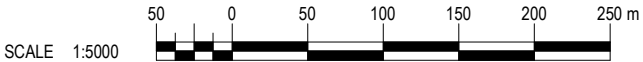
GENERAL NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SMEEKES DRAFTING PTY LTD STANDARD BUILDING NOTES, SHEETS STANDARD-001 TO 014.
2. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
3. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET-OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.
5. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1684.2 "TIMBER FRAMED CONSTRUCTION". T.P. DECK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLICATION FROM THE TIMBER PROMOTION COUNCIL "TIMBER DECKS - DESIGN AND CONSTRUCTION MANUAL".
6. FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2870 "RESIDENTIAL SLABS AND FOOTINGS".
7. PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH AS 3500.2 AND AS 3500.3 "THE NATIONAL PLUMBING AND DRAINAGE CODE". FIT ADJUSTABLE TEMPERING VALVES TO ALL ABLUTIONS IN ACCORDANCE WITH AS 1529 "CODE OF PRACTICE OF HOUSEHOLD TYPE HOT WATER SUPPLY SYSTEMS".
8. WATER PROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3740 "WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS".
9. ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000 "WIRING RULES". SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH TASMANIAN FIRE SERVICE AND AS 3786 "SMOKE ALARMS".
10. GLAZING SHALL BE IN ACCORDANCE WITH AS 1288 "GLASS IN BUILDINGS - SELECTION AND INSTALLATION", WINDOWS TO COMPLY WITH AS 2047 "WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION".
11. MIN. R5.1 INSULATION TO CEILING. MIN. R2.5 INSULATION TO ALL EXTERNAL WALLS.
12. ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES".



LOCATION PLAN

SCALE 1 : 5000 @ A3



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

REV.	DESCRIPTION	REFERENCE	DESIGNED	J.WEIR	CLIENT	A. JORY & F. FRANZE
0	ISSUED FOR CLIENT REVIEW	25-02-2022	LOCATION PLAN	JORY&FRANZE-001	TITLE	PROPOSED DWELLING
1	ISSUED FOR DEVELOPMENT APPROVAL	02-03-2022	PART SITE PLAN	JORY&FRANZE-002		970 MARKED TREE ROAD, HAMILTON TAS 7140
			CUT/FILL & SOIL AND WATER MANAGEMENT PLAN	JORY&FRANZE-003		LOCATION PLAN
			FLOOR PLAN	JORY&FRANZE-004		
			ELEVATIONS	JORY&FRANZE-005		
			RENDERS	JORY&FRANZE-006		
			PLUMBING PLAN	JORY&FRANZE-007		
			ELECTRICAL PLAN	JORY&FRANZE-008		
					DRG	JORY&FRANZE
					No.	001
					SCALE	1 : 5000
						A3

GENERAL NOTES:

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12. ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES".

SITE DATA:

LAND TITLE REF. No. : LOT 1 ON SEALED PLAN 171934
CLIMATE ZONE : ZONE 7
DESIGN WIND SPEED : T.B.A.
SOIL CLASSIFICATION : T.B.A.
BAL RATING : BAL-19

BUILDING AREAS:

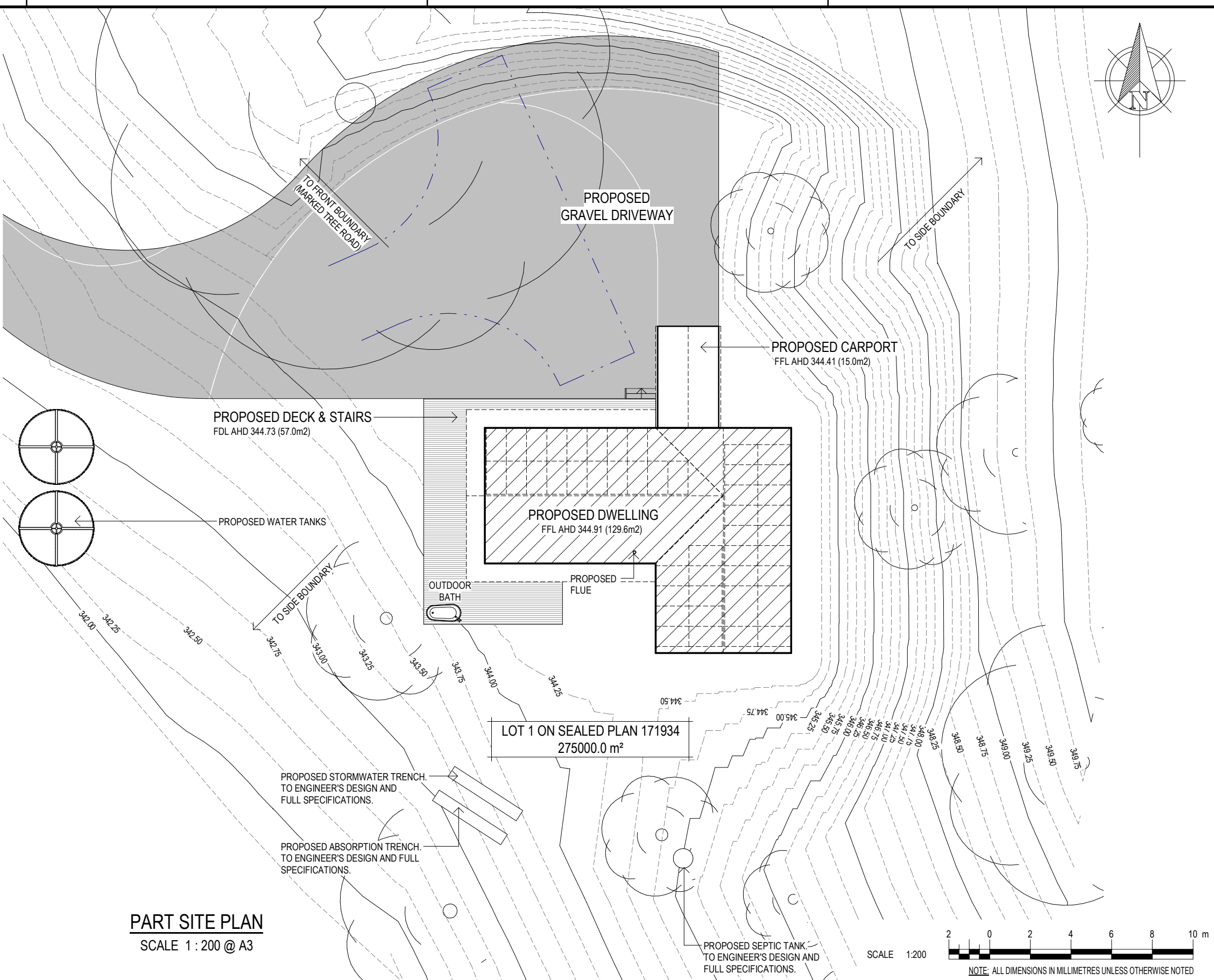
PROPOSED DWELLING : 129.6m²
PROPOSED CARPORT : 15.0m²
PROPOSED DECK : 57.0m²
(INCLUDING STAIRS)

TOTAL : 201.6m²

SITE COVERAGE:

LOT SIZE : 275000.0m²
TOTAL FOOTPRINT : 184.9m²
SITE COVERAGE : 0.07%

PART SITE PLAN
SCALE 1 : 200 @ A3



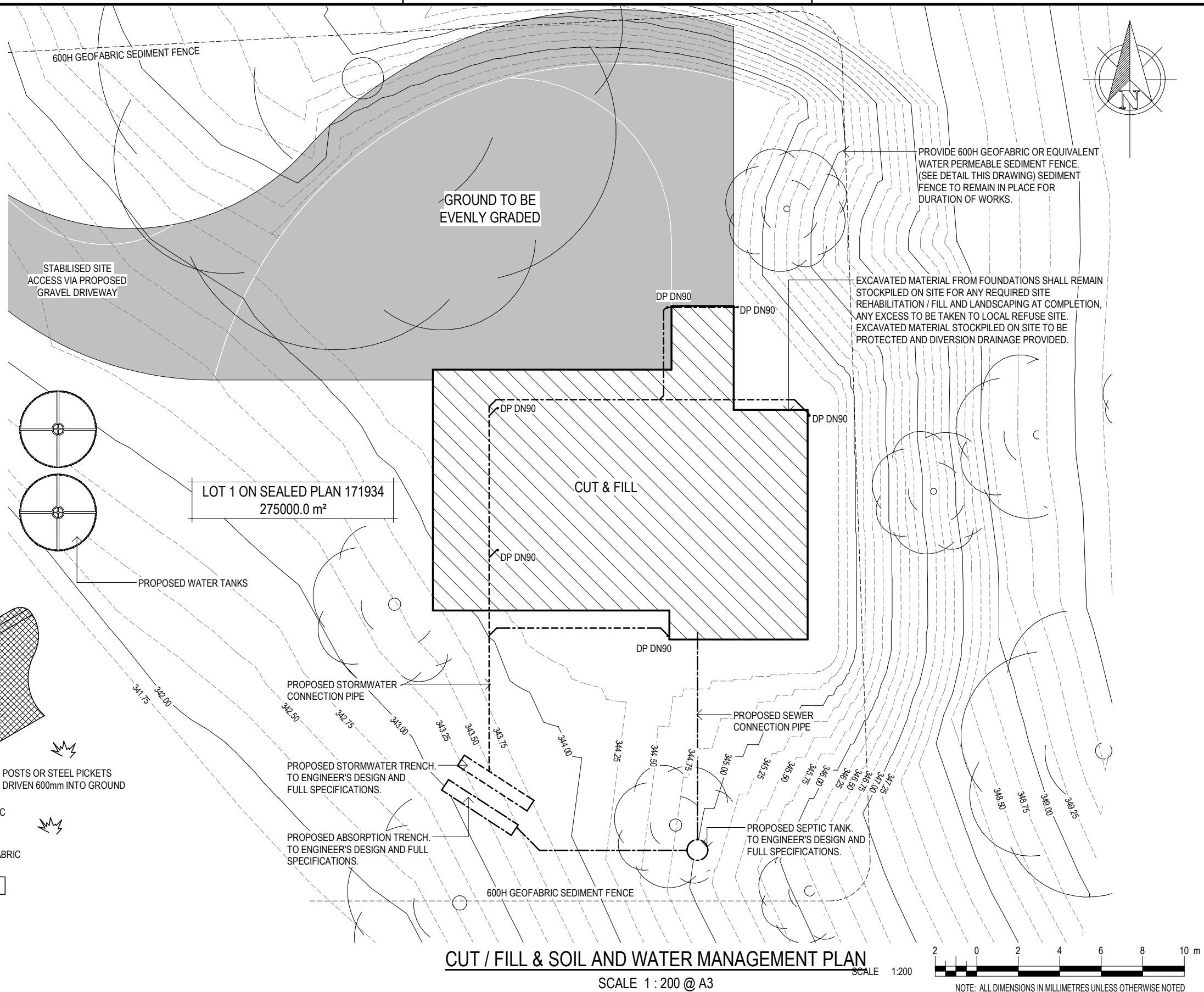
REV.	DESCRIPTION	REFERENCE	DESIGNED	J.WEIR	SREEKES DRAFTING PTY LTD	CLIENT	A. JORY & F. FRANZE
0	ISSUED FOR CLIENT REVIEW	25-02-2022	DRAWN	J.WEIR / M.CUBILE	ABN 89 056 706 640 2/17 Bayfield Street, Rosny Park, TAS 7018 Office Phone: (03) 6234 6185 Email: admin@smeeekesdrafting.com Website: www.smeeekesdrafting.com	TITLE	PROPOSED DWELLING
1	ISSUED FOR DEVELOPMENT APPROVAL	02-03-2022	CHECKED	J.WEIR	Building Designer Licence Nos. 723026951, 861284073 & 402845150		970 MARKED TREE ROAD, HAMILTON TAS 7140
						PART SITE PLAN	
						JORY&FRANZE	002
						SCALE	A3
						1:200	

NOTES:

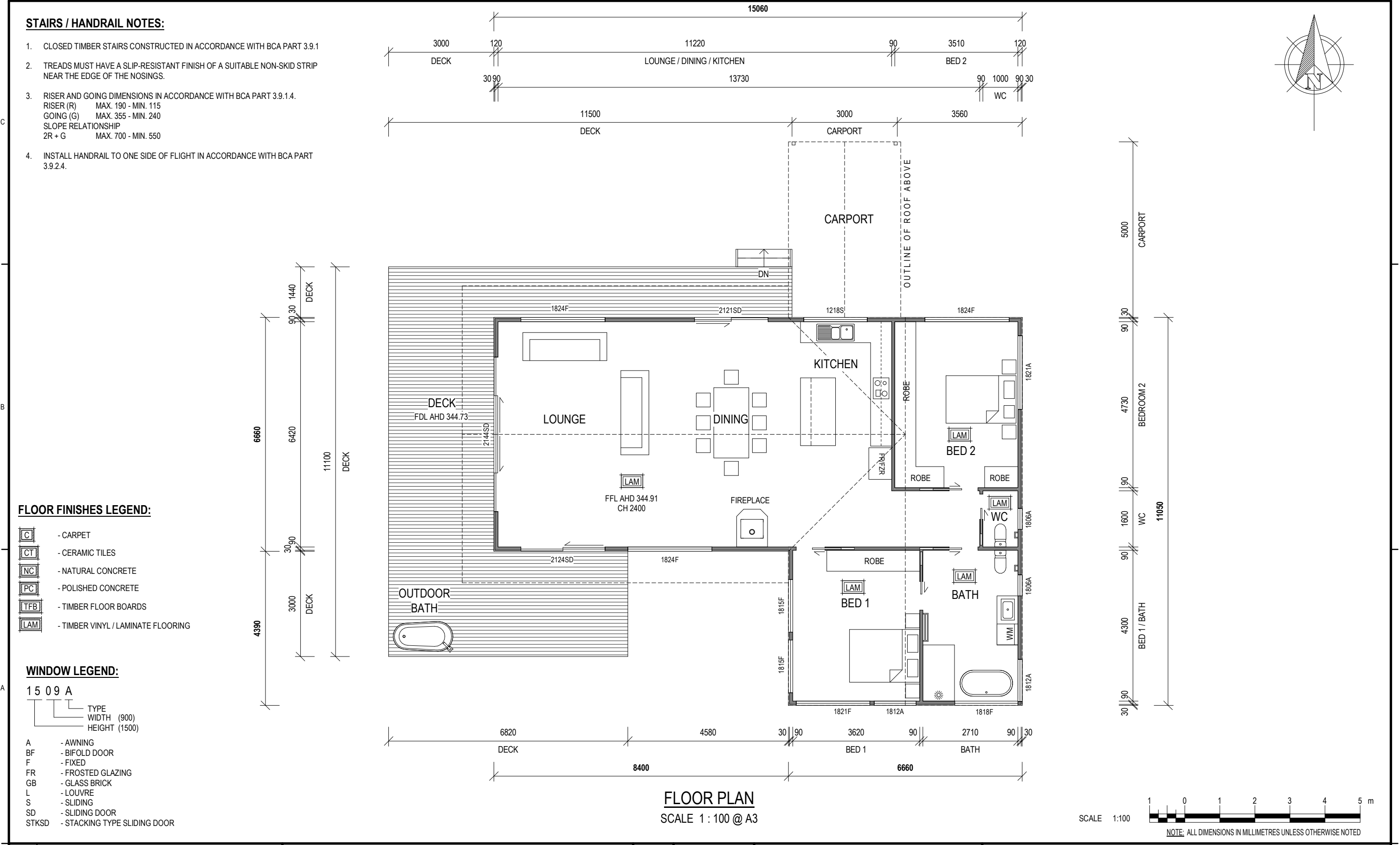
1. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
2. SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
3. PROVIDE TEMPORARY CONNECTION FROM DOWNPIPES TO STORMWATER DRAIN IMMEDIATELY FOLLOWING COMPLETION OF ROOF CLADDING, FASCIA AND GUTTER INSTALLATION. PERMANENT DOWNPIPE CONNECTION TO BE INSTALLED AT APPROPRIATE TIME OF DWELLING CONSTRUCTION.

PROTECTION WORKS NOTES:

1. THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.



REV.	DESCRIPTION	REFERENCE	DESIGNED	J.WEIR	SMEEKES DRAFTING PTY LTD	CLIENT	A. JORY & F. FRANZE
0	ISSUED FOR DEVELOPMENT APPROVAL	02-03-2022	DRAWN	J.WEIR / M.CUBILE	2/17 Bayfield Street, Rosny Park, TAS 7018	TITLE	PROPOSED DWELLING
			CHECKED	J.WEIR	Office Phone: (03) 6234 6185		970 MARKED TREE ROAD, HAMILTON TAS 7140
					Email: admin@smeekeedrafting.com		CUT/FILL & SOIL AND WATER MANAGEMENT PLAN
					Website: www.smeekeedrafting.com	DRG No.	JORY&FRANZE
					Building Designer Licence Nos. 723026951, 861284073 & 402845150	SHT.	003
						SCALE	1:200
							A3



REV.	DESCRIPTION	DATE	REFERENCE	DESIGNED	DRAWN	CHECKED	CLIENT
0	ISSUED FOR CLIENT REVIEW	25-02-2022	LOCATION PLAN	J.WEIR	J.WEIR / M.CUBILE		A. JORY & F. FRANZE
1	ISSUED FOR DEVELOPMENT APPROVAL	02-03-2022	PART SITE PLAN				PROPOSED DWELLING
			CUT/FILL & SOIL AND WATER MANAGEMENT PLAN				970 MARKED TREE ROAD, HAMILTON TAS 7140
			FLOOR PLAN				FLOOR PLAN
			ELEVATIONS				DRG No. JORY&FRANZE
			RENDERS				SHT. 004
			PLUMBING PLAN				SCALE 1:100
			ELECTRICAL PLAN				A3

SMEEKES DRAFTING PTY LTD

ABN 89 056 706 640
2/17 Bayfield Street, Rosny Park, TAS 7018
Office Phone: (03) 6234 6185
Email: admin@smeekesdrafting.com
Website: www.smeekesdrafting.com

Building Designer Licence Nos. 723026951, 861284073 & 402845150

C

SCALE 1 : 100 @ A3



SCALE 1 : 100 @ A3



SCALE 1 : 100 @ A3



SCALE 1 : 100 @ A3



1. CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.9.1
2. TREADS MUST HAVE A SLIP-RESISTANT FINISH OF A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.
3. RISER AND GOING DIMENSIONS IN ACCORDANCE WITH BCA PART 3.9.1.4.
RISER (R) MAX. 190 - MIN. 115
GOING (G) MAX. 355 - MIN. 240
SLOPE RELATIONSHIP
2R + G MAX. 700 - MIN. 550
4. INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.

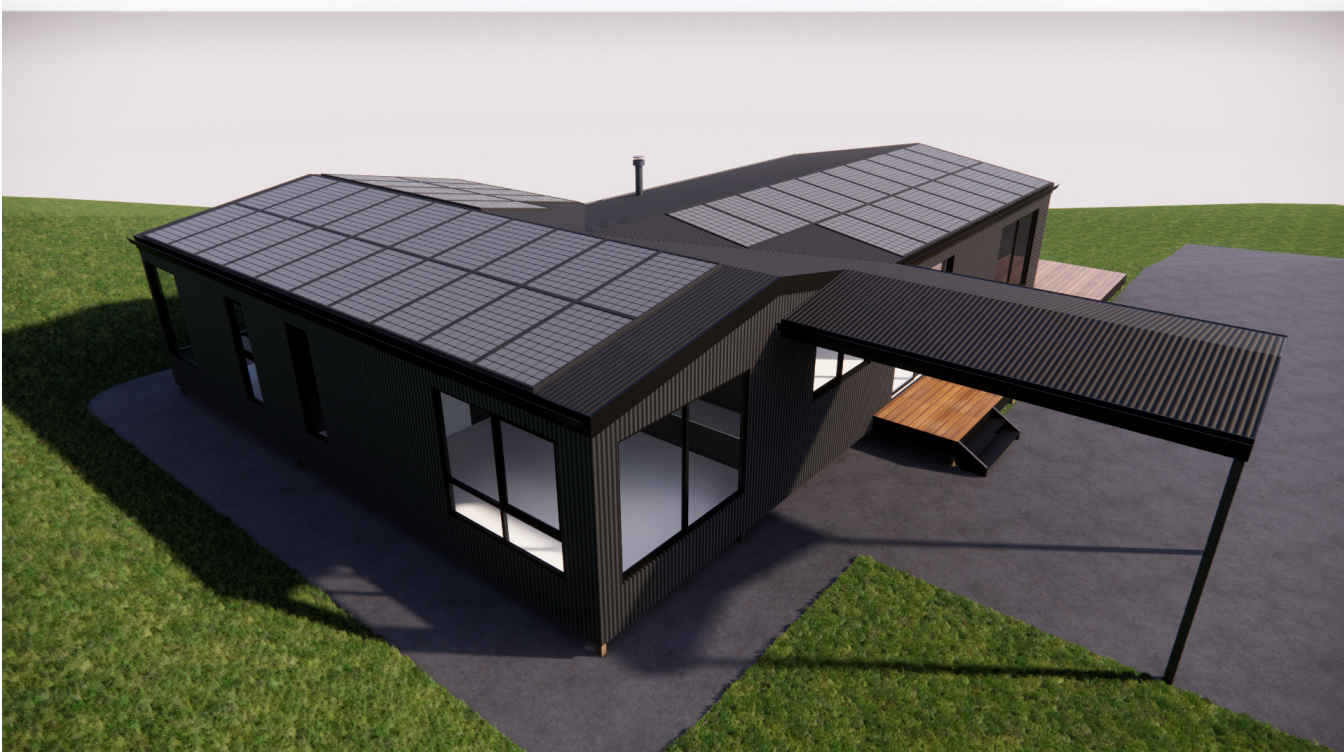
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NORTHWEST VIEW
NOT TO SCALE



SOUTHWEST VIEW
NOT TO SCALE



NORTHEAST VIEW
NOT TO SCALE

ARTISTS IMPRESSION.
SUBJECT TO CHANGE

REV.		DESCRIPTION		REFERENCE		DESIGNED	J.WEIR	<div><div><div><div><div></div></div></div><div><div><div></div></div></div><div><div><div></div></div></div><div><div><div></div></div></div></div><div><div><div></div></div></div><div><div><div></div></div></div><div><div><div></div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> <div><div><div></div></div></div> 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PLUMBING NOTES:

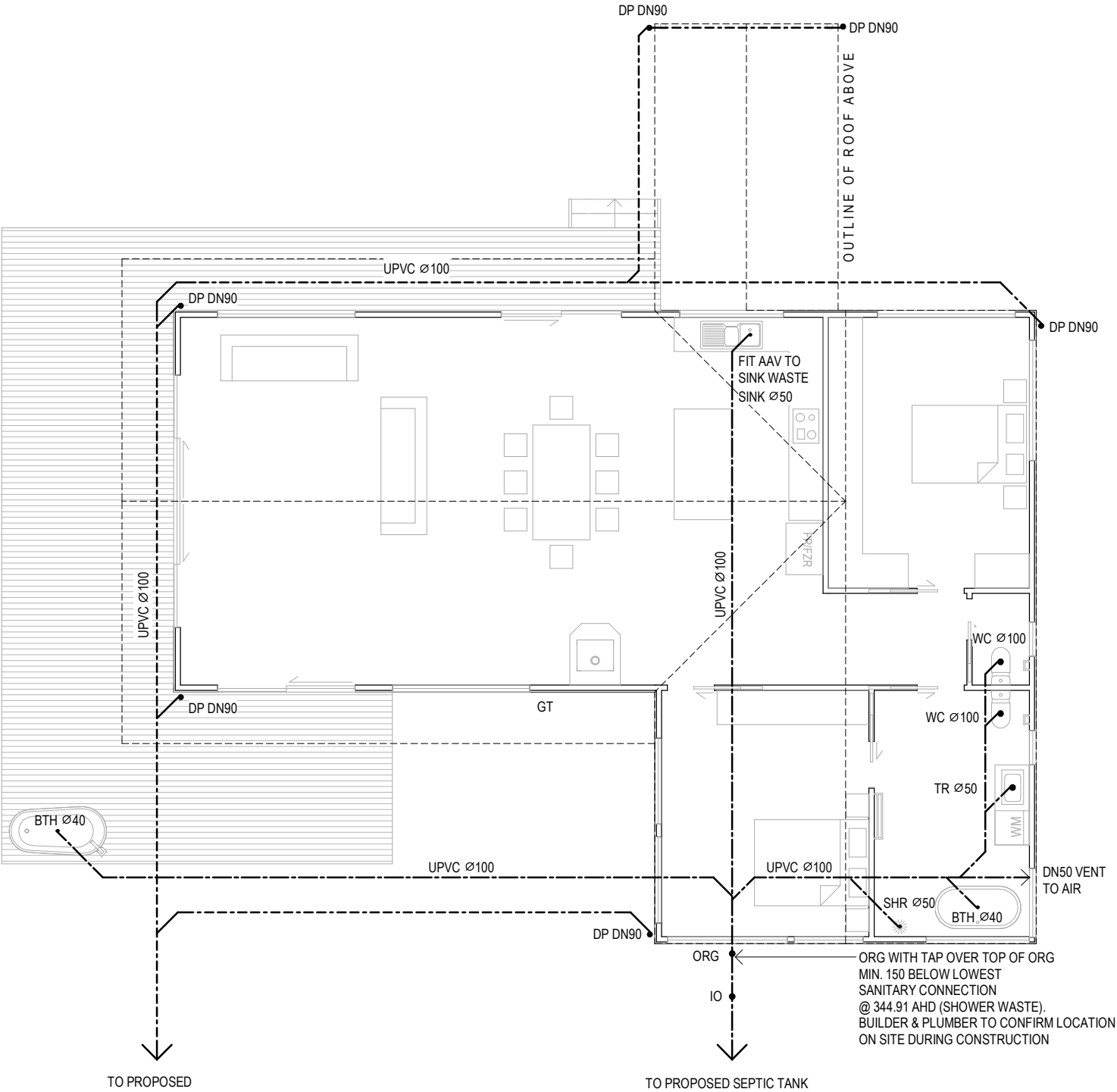
1. WATER 20NB, CLASS 20 PIPEWORK, BACKFLOW DEVICE AND MAX. 500kPA TO DWELLING AS PER AS 3500 "PLUMBING AND DRAINAGE". HOT WATER TEMPERED TO MAX. 50°C TO ABLUTION FIXTURES.
2. FASCIA GUTTER TO HAVE MIN. 20mm OVERFLOW AND EFFECTIVE AREA OF MIN. 6300mm².
3. DOWNPIPES TO BE MAX. 12m SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.
4. PENETRATIONS THROUGH SLAB SHALL BE LAGGED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2870 "RESIDENTIAL SLABS & FOOTINGS - CONSTRUCTION" CLAUSE 5.5.4.
5. CONNECTION OF STORMWATER AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTIONS.
6. PLUMBING AND DRAINAGE UNDER SLAB SHALL BE AVOIDED WHERE PRACTICAL.
7. AGRICULTURAL DRAIN MIN. 1:100 FALL GRADE, DEPTH AND DISCHARGE POINT TO BE DETERMINED ON SITE.
8. CLAD STACK IN 'SOUNDCHECK' GYPROCK, LINE INTERNALLY WITH ACOUSTIC BATTS.

GENERAL NOTE:

1. EXACT LOCATION OF HYDRAULIC SERVICES (STORMWATER / WASTEWATER) TO BE CONFIRMED BY PLUMBER & BUILDER ON SITE DURING CONSTRUCTION

PLUMBING LEGEND:

---	STORMWATER
---	SEWER
AAV	AIR ADMITTANCE VALVE
BSN	BASIN
DP	DOWN PIPE
GT	GARDEN TAP
FP	FLUSHING POINT
HP	HIGH POINT ON EAVES GUTTER
	MIN. FALL 1:500
HWC	HOT WATER CYLINDER
ORG	OVERFLOW RELIEF GULLY (WITH TAP OVER)
SH	SHOWER
SNK	SINK
TR	TROUGH
WC	WATER CLOSET



PLUMBING PLAN

SCALE 1 : 100 @ A3



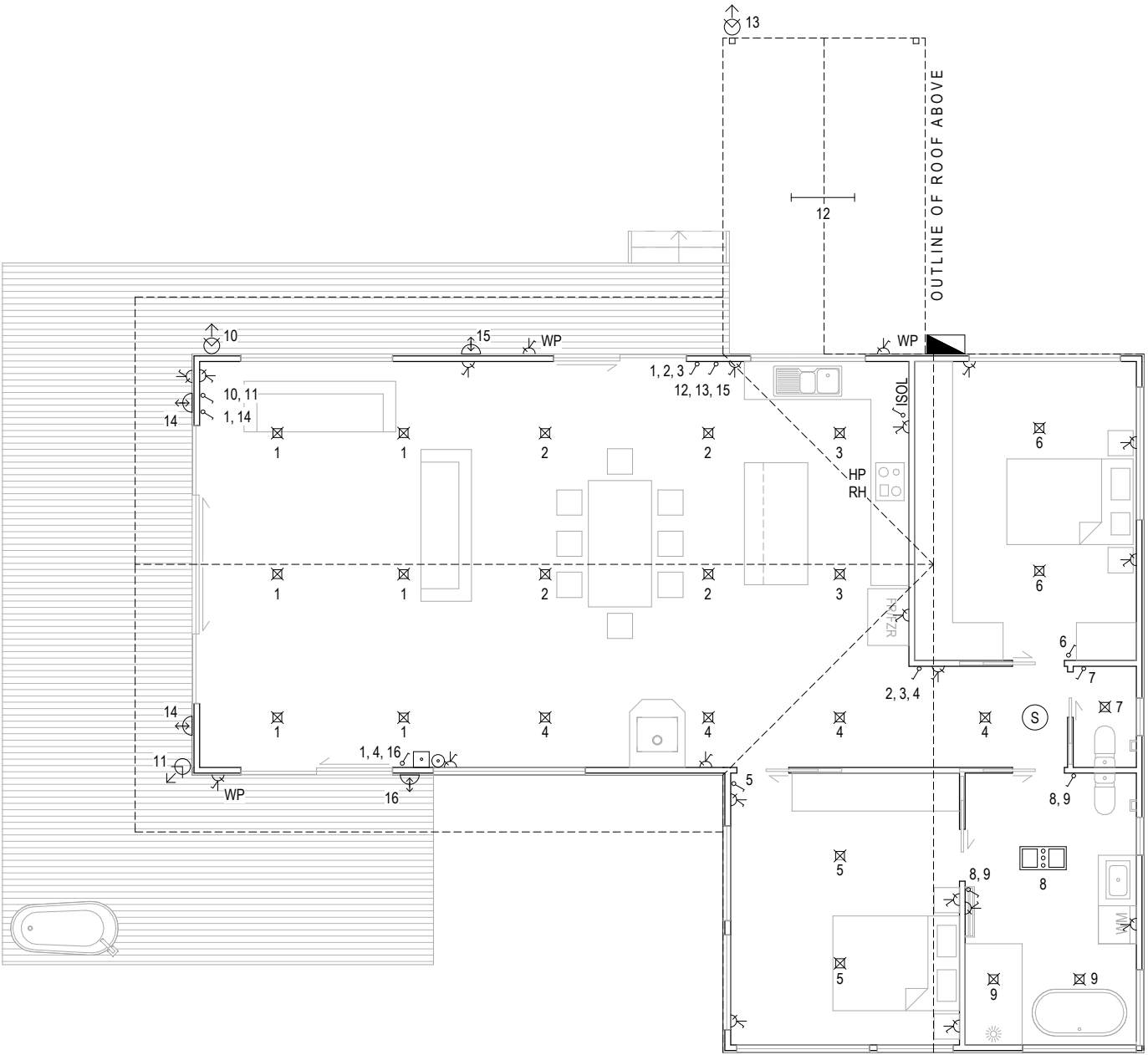
REV.	DESCRIPTION	REFERENCE	DESIGNED	J.WEIR	CLIENT	A. JORY & F. FRANZE
0	ISSUED FOR DEVELOPMENT APPROVAL	02-03-2022	DRAWN	J.WEIR / M.CUBILE	TITLE	PROPOSED DWELLING
			CHECKED	J.WEIR		970 MARKED TREE ROAD, HAMILTON TAS 7140
						PLUMBING PLAN
					DRG No.	JORY&FRANZE
					SHT.	007
					SCALE	1:100
						A3

ELECTRICAL NOTES:

1. ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000 "WIRING RULES".
2. CEILING MOUNTED SMOKE DETECTORS TO BE MAINS WIRED WITH BATTERY BACKUP AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM, INSTALLED IN ACCORDANCE WITH TASMANIAN FIRE SERVICES REGULATIONS AND AS 3786 "SMOKE ALARMS".
3. THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING, EXCLUDING HEATERS THAT EMIT LIGHT, MUST NOT EXCEED THE ALLOWANCE OF 5 W/m² IN ACCORDANCE WITH THE REQUIREMENTS OF BCA PART 3.12.5.5.

ELECTRICAL SYMBOLS LEGEND:

- ⌂ GENERAL PURPOSE OUTLET - 2 WAY
(WP - WEATHERPROOF)
(U - USB PORT)
(SP - SURGE PROTECTED)
- ⊠ LED DOWNLIGHT (65° BEAM)
- 95B ⊠ LED DOWNLIGHT (95° BEAM)
- IP44 ⊠ IP44 LED DOWNLIGHT
- ⬆ LED WALL MOUNTED UP-LIGHT
- ⬆ LED WALL MOUNTED DOWN-LIGHT
- ⬆ LED WALL MOUNTED UP/DOWN-LIGHT
- ⊗ FLUSH TO CEILING LED 'OYSTER' FITTING
- ⊗ MOTION SENSOR
- ⬅⊗ COMBINATION SENSOR & LED FLOOD LIGHT
- 35W LED FLAT TUBE FITTING
- C CONTINUOUS LED STRIP LIGHTING
- L LINEAR LED VANITY / MIRROR LIGHT (MTD OVER MIRROR)
- (P) PENDANT LIGHT FITTING (LENGTH TO BE ADVISED)
- P PENDANT LED STRIP LIGHT
- (S) SMOKE DETECTOR (SEE NOTE 2)
- ⌂ LIGHT SWITCH
- ⌂ D LIGHT SWITCH WITH DIMMER
- ⌂ ISOL ISOLATOR SWITCH FOR OVEN / HOTPLATE
- INVERTER OUTDOOR INVERTER
(REVERSE CYCLE A/C)
- INDOOR BLOWER UNIT (FLOOR MOUNTED)
(REVERSE CYCLE A/C)
- HWC HOT WATER SYSTEM
- X PANEL HEATER (WALL MOUNTED) WITH TIMER
'X' DENOTED RATING IN KW
- COMBINED LIGHT, FAN AND HEATER UNIT
(CEILING MOUNTED)
(LIGHTING CAPACITY - MAX. 50W)
- ⊕ EXHAUST FAN (EXHAUST TO ATMOSPHERE)
- METER BOX
- ⊙ COAXIAL SOCKET
- ⊙ CAT 6 ETHERNET DATA POINT
- NBN NBN MODEM
- ⌂ UNDER TILE HEATING
- HTR HEATED TOWEL RAIL MW - MICROWAVE OVEN
DW - DISHWASHER WO - WALL OVEN
HP - HOT PLATE RH - RANGE HOOD



ELECTRICAL PLAN
SCALE 1 : 100 @ A3



REV.	DESCRIPTION	REFERENCE	DESIGNED	J.WEIR	CLIENT	A. JORY & F. FRANZE
0	ISSUED FOR DEVELOPMENT APPROVAL 02-03-2022	LOCATION PLAN JORY&FRANZE-001 PART SITE PLAN JORY&FRANZE-002 CUT/FILL & SOIL AND WATER MANAGEMENT PLAN JORY&FRANZE-003 FLOOR PLAN JORY&FRANZE-004 ELEVATIONS JORY&FRANZE-005 RENDERS JORY&FRANZE-006 PLUMBING PLAN JORY&FRANZE-007 ELECTRICAL PLAN JORY&FRANZE-008	DRAWN	J.WEIR / M.CUBILE	TITLE	PROPOSED DWELLING 970 MARKED TREE ROAD, HAMILTON TAS 7140
			CHECKED	J.WEIR		ELECTRICAL PLAN
					DRG No.	JORY&FRANZE
					SHT.	008
					SCALE	1:100
						A3

Environmental Values Report

For sub-division at 430 Thousand Acre Lane, Hamilton



For Chris Hume

March 2015


environmental solutions for a changing world

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1. Introduction

The following *Environmental Values Report* has been carried out as a requirement of a development application under the Central Highlands Planning Scheme 1998. The site at 430 Thousand Acre Lane (Grid ref. 495401E, 5286290N – GDA94; PID 3200534) is zoned as Rural and a report on the natural values of the site and the impacts of the proposed subdivision is required by the Central Highlands Council.

The objectives of the Rural Zone are: (a) To encourage and facilitate the development of rural land for sustainable long-term agriculture or pastoral activities, and other uses. (b) To protect rural resources from conversion to other uses. (c) To allow for non-agricultural activities in locations which will not constrain agricultural or pastoral activities or resources. In addition “all new lots shall contain an area of at least 20 hectares.”

The proposed lot area of approximately 27.5 ha is situated on the eastern side of Thousand Acre Lane 16 km from Hamilton approximately 11 km from Gretna (Figure 1). It is part of a larger parcel ‘Allanvale’ which is a commercial agricultural property (676 ha). The proposed smaller lot contains intact native vegetation with a two wheel track into the proposed house site (Figure 2).

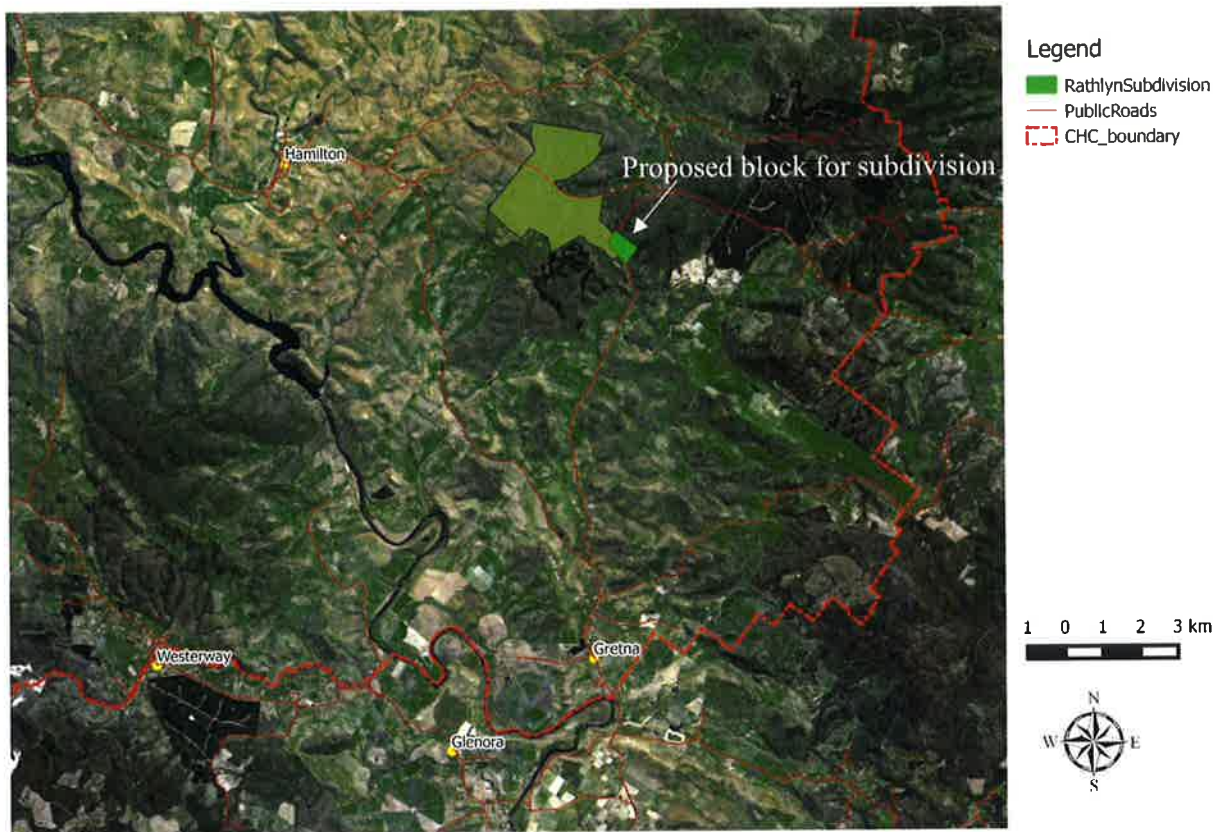


Figure 1 - Location Plan

An assessment of the natural values of the site was conducted. The plant and animal communities occurring on the site (in particular around the area of the proposed residence) were determined; a list of vascular plants was compiled; significant fauna habitat assessed and the impact of the proposed building site and bushfire management zone was investigated.

2. Natural Values Assessment

Vegetation Communities

The site contains one native vegetation communities as per the TASVEG (v3.0) vegetation classification system (Figure 2).

TASVEG Unit – *Eucalyptus obliqua* dry forest

Community Description – Dry eucalypt forest with a shrubby understorey

TASVEG Code – DOB

General Description - Dry *Eucalyptus obliqua* forest is dominated by *E. obliqua* trees typically of medium height (20 - 30m) and with well-formed stems approximately half of the total tree height. The shrubby understorey is typically dense and diverse, and the ground layer sparse. It often grades into *E. obliqua* wet forest (WOU), which has a tall dense understorey of broad-leaf shrubs.

This community is widespread in north, east and south-east Tasmania where it occurs extensively from sea level to about 300m.

Site Specific Description – The DOB community occurs across the site. The site is mapped in Tasveg (v3) as containing DTO as well as DOB, however this was not observed during survey. Only DOB was observed. Stringybark (*Eucalyptus obliqua*) is the dominant tree species with isolated *E. viminalis*. The canopy is tall with heights in excess of 20m however there also a number of smaller trees and there is evidence of past logging on the site. The understorey is dominated by bracken (*Pteridium esculentum*) and a mixture of heathy shrub species, i.e. golden rosemary (*Oxylobium elipticum*) white beard heath (*Leucopogon collinus*) and Common Aotus (*Aotus ericoides*). The tall shrub layer contains blackwood (*Acacia melanoxylon*), dolly bush (*Cassinia aculeata*) and curajong (*Asteriotrichon discolor*). The species mix of the understorey varies significantly across the site dependant on the aspect with the south westerly aspect dominated by Poa and sagg. The proposed house site and bushfire management zone is however dominated by Bracken. The vegetation is generally in good condition other than in the stream in Sibleys Gully adjacent to the road on the southern section of the block where a large infestation of Californian thistle (*Cirsium arvense*) exists.



Figure 2 - Vegetation communities.

Flora Values

During the survey 36 native plant species and 8 common exotic species and 1 declared weed were recorded on site (Appendix 1). Whilst efforts were made to compile a complete list of native plant species (in particular in close proximity to the proposed house site), limitations of the survey technique and factors such as seasonality and absence of identifying features of some plants means that additional species may be found in subsequent surveys.

No threatened flora species listed under Schedule 3, 4 or 5 of the *Threatened Species Protection Act 1995* or under the *Environmental Protection and Biodiversity Conservation Act 1999* were recorded during the survey.

The search of the Natural Values Atlas database (DPIPWE) revealed no threatened flora species records within 500m of the site.

There are however 11 species records within 5km radius of the site. These species are listed in Table 2 and information on the likelihood of them occurring at this site is also included.

Table 1 – Threatened flora recorded within a 5km radius of site

Species	Status TSPA	Status EPBCA	Comments
<i>Asperula scoparia</i> subsp. <i>scoparia</i>	Rare	Not listed	Widespread but only occasionally found. It has been recorded from grassy woodland and tall eucalypt forest often in hilly and rocky sites. As this species is a small herb it may be easily overlooked. Was not recorded during survey.
<i>Austrostipa nodosa</i>	Rare	Not listed	Occurs predominantly in the eastern half of the State in grassland or open forest. <i>Austrostipa</i> sp. recorded from site however seed was not able to be identified due to the time of year.
<i>Austrostipa scabra</i> subsp. <i>falcata</i>	Rare	Not listed	Found in open habitats, grassy remnants, roadside banks and coastal vegetation on the East Coast and the south and central Midlands. <i>Austrostipa</i> sp. recorded from site but not within the proposed building and bushfire management zone. Seed was not available for identification due to the time of year.
<i>Carex longibrachiata</i>	Rare	Not listed	<i>Carex longibrachiata</i> grows along riverbanks, in rough grassland and pastures. Not recorded
<i>Carex tasmanica</i>	Not listed	Vulnerable	Grows in soaks and seepage lines in a range of grassland and grassy woodland communities. Not recorded.
<i>Poa mollis</i>	Rare	Not listed	Found on dry open hillsides and cliffs, predominantly in the east of the State. Not recorded.

<i>Pultenaea prostrata</i>	Rare	Not listed	Recorded from the Northern and Southern Midlands, where it grows within grassy woodlands or grasslands, mostly on Tertiary basalt or Quaternary alluvium. Not recorded.
<i>Vittadinia cuneata</i> var. <i>cuneata</i>	Rare	Not listed	Occurs in areas of low precipitation on both fertile and infertile soils. Predominantly found in dry sclerophyll forest around Hobart, into the midlands. Not recorded.
<i>Vittadinia muelleri</i>	Rare	Not listed	Known from the driest and most fertile soils in the Hobart area and extending up into the Midlands. Not recorded.

Notes on preferred habitats for threatened plants sourced from document produced by Threatened Species Unit (DPIWE)

Introduced Plants

There are a number of common exotic herbs and shrubs recorded on the site predominantly introduced grass species which are common throughout the Municipality. Californian Thistle (*Cirsium arvense*) also occurs on site and is a declared weed listed under the *Weed Management Act 1999*. This species was observed in the in Sibley's Gully beside Marked Tree Road and covered at least 100m of the stream.

Fauna Values

To assess the conservation significance of the site for fauna species an assessment of habitat types was undertaken.

No threatened fauna species listed under Schedule 3, 4 or 5 of the *Threatened Species Protection Act 1995* or the *Environmental Protection and Conservation Biodiversity Act 1999* were found at the site.

A search of the Natural Values Atlas database (DPIPWE) revealed that 11 threatened fauna species have been recorded within a 500m radius with additional records of two species already identified within 5km of the site. These species are listed in Table 2 & 3 including a comment on the likelihood of them occurring at this site. However suitable habitat was observed including den habitat for the Tasmanian Devil.

Table 2 – Threatened Fauna recorded within a 500m radius of site

Species	Status TSPA	Status EPBCA	Comments
<i>Accipiter novaehollandiae</i> Grey goshawk	e		Suitable habitat on site. Not recorded
<i>Aquila audax subsp. fleayi</i> Tasmanian wedge-tailed eagle	e	EN	A nest site is recorded within 1.4km of the proposed house site. It is outside the line of sight and no suitable habitat occurs within 500m line of sight of the proposed house site.
<i>Dasyurus maculatus</i> Spotted-tailed quoll	r	VU	Suitable habitat. Not recorded
<i>Haliaeetus leucogaster</i> White-bellied sea-eagle	v		No significant habitat on site.
<i>Lathamus discolor</i> Swift parrot	e	EN	Has strong association with blue gums and black gums. Neither species occurs on site
<i>Litoria raniformis</i> Green and gold frog	v	VU	No suitable habitat recorded on site. Requires more substantial waterways than present on site.
<i>Perameles gunnii</i> Eastern barred bandicoot		VU	Suitable habitat on site but not within the proposed building or bushfire management zone.
<i>Prototroctes maraena</i> Australian grayling	v	VU	No suitable habitat recorded on site. Requires more substantial waterways than present on site.
<i>Pseudemoia pagenstecheri</i> Tussock skink	v		No tussocks within the proposed house site or bushfire management zone. There is however potential habitat on the southerly facing slope.
<i>Sarcophilus harrisii</i> Tasmanian devil	e	EN	Potential maternal den site and habitat recorded (refer to Figure 3)
<i>Tyto novaehollandiae</i> Masked owl	e	VU	All trees with hollows were recorded within the proposed building site and bushfire management zone. No hollows large enough for Masked Owl were recorded in this area.

Table 3 - Threatened Fauna recorded within a 5km radius of site.

Species	Status TSPA	Status EPBCA	Comments
<i>Aquila audax subsp. fleayi</i> Tasmanian wedge-tailed eagle	e	EN	A nest site is recorded within 1.4km of the proposed house site. It is outside the line of sight and no suitable habitat occurs within 500m line of sight of the proposed house site.
<i>Sarcophilus harrisii</i> Tasmanian devil	e	EN	Potential maternal den site and habitat recorded (refer to Figure 3)

Notes on preferred habitats sourced from Bryant and Jackson 1999

General Habitat Values

The site provides good habitat for a variety of native bird, mammal and reptile species that occur in eucalypt forests. The bushland is intact and contains fallen logs and an intact understorey which provides good habitat for common fauna species. There are a number of larger trees on the site with some stringybark trees containing small hollows suitable for hollow nesting bird species and arboreal mammals (see Table 5).

There are a number of large stringy-barks on the site situated around the proposed residence amongst the DOB vegetation. However, only two trees with hollows were observed.

Table 5 Habitat tree locations

390	Eucalyptus obliqua	495310	5286623	Mature hollows
398	Eucalyptus viminalis	495370	5286552	one hollow present

The site also provides habitat for the Tasmanian Devil and one active den site was observed although confirmation of species was not made – no skats were observed or species siting's were made. The ridgeline above provided a number of suitable lay overs and temporary dens (Figure 3). Only one potential maternal den site was observed – this was the active den observed.

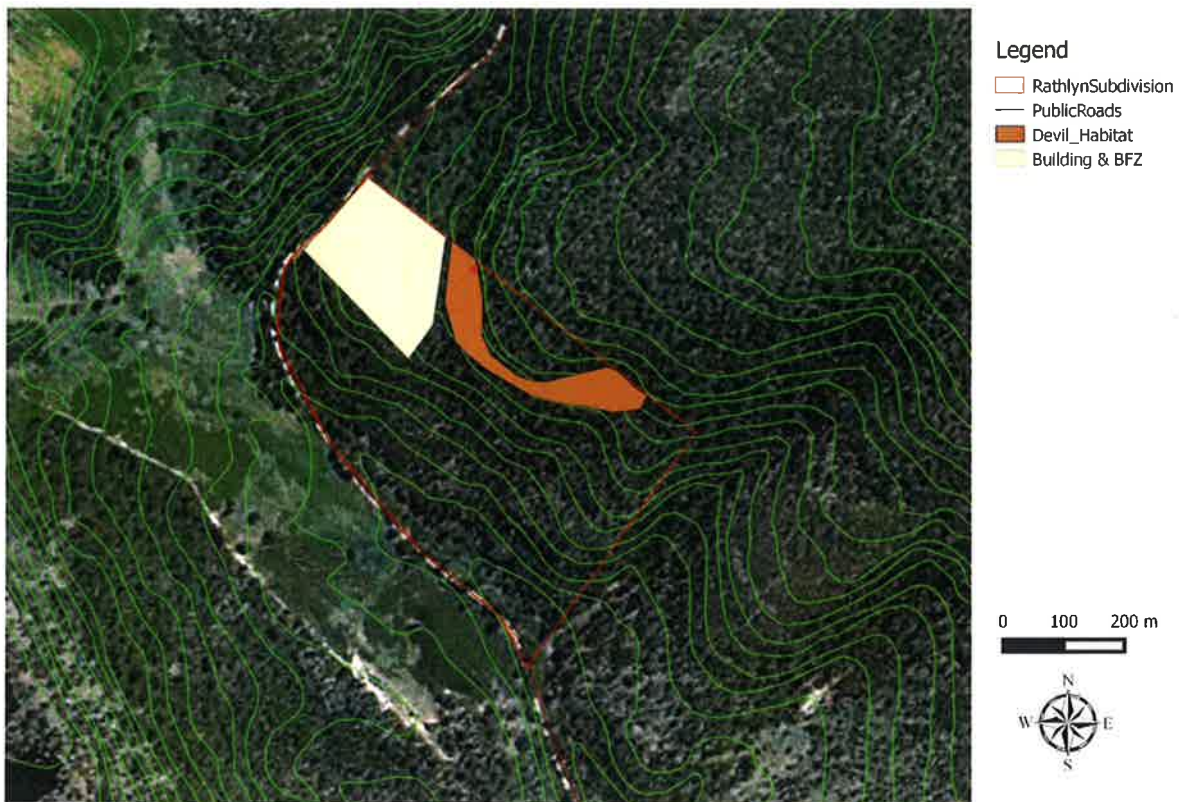


Figure 3 Tasmanian Devil Habitat on site

3. Sub-division Impacts on Natural Values

The following section outlines the possible impacts of the sub-division on the natural values of the lot. The sub-division of this 27.5ha from the main Rathlyn property 648.5(ha) does not significantly alter the natural values. The proposed smaller lot is bounded by Marked Tree Road which currently acts as a man-made barrier. The western and southern sections adjoining Marked Tree Road and adjacent to the proposed smaller lot are FAG (agricultural land). The vegetation to the north west will not be impacted by the subdivision. The proposed dwelling site and bushfire management zone will impact on the DOB (*Eucalyptus obliqua* Dry Forest). This is not a threatened community.

Impacts on Threatened Species and significant vegetation communities

There was suitable habitat for the Tasmanian Devil which has been previously recorded within the area and one potential maternal den site was recorded as well as suitable temporary dens. The

proposed development will not significantly impact on habitat for this species as the proposed building and bushfire zones occurs downslope of the habitat. The bushfire management zone will not encroach on the Tasmanian Devil habitat (refer to the Bushfire Hazard Assessment Report March 2015).

4. Summary & Recommendations

This subdivision falls within the objectives of the Rural Zone in particular to allow for non-agricultural activities in locations which will not constrain agricultural or pastoral activities or resources. The 27.5ha lot proposed for subdivision contains intact vegetation and is not suitable for agricultural production.

The natural values of the area will be impacted by the proposed building site and bushfire management zone. However no listed vegetation community will be impacted. No threatened species habitat will be directly impacted by the development, although habitat for threatened species does occur on the 27.5ha lot. The following recommendations are made to ameliorate the impacts to natural values.

Recommendations

- Potential Tasmanian Devil habitat should be left undisturbed
- The loss of the vegetation within the impact zone should be offset through on site conservation of remaining vegetation.
- Large trees that occur within the potential impact area should be retained where possible to minimise impacts on the native species.
- Declared weeds on the site should be controlled on the site.
- Any soil or gravel imported to the site for construction or landscaping purposes should be from a weed free source to prevent the establishment of introduced species on the site.
- Gardens associated with the house should contain local native species and any plants listed as environmental weeds should be prohibited.

Species List – 430 Thousand Acre Lane

Recorder: E Lazarus & J Kelman

Date: 28/02/2015

e = endemic i = introduced

Dicotyledonae

Family name	Species	Common name
ASTERACEAE		
e	<i>Bedfordia linearis subsp. linearis</i>	
	<i>Cassinia aculeata</i>	Dolly Bush
i	<i>Cirsium arvense</i>	Californian Thistle
i	<i>Leontodon taraxacoides</i>	Hawkbit
	<i>Leptorhynchus squamatus subsp. alpinus</i>	
CAMPANULACEAE		
	<i>Wahlenbergia gracilis</i>	Graceful New Holland Daisy
CONVOLVULACEAE		
	<i>Dichondra repens</i>	Kidney-weed
DILLENIACEAE		
	<i>Hibbertia procumbens</i>	Spreading Guinea-flower
EPACRIDACEAE		
	<i>Epacris impressa</i>	Common Heath
	<i>Leucopogon collinus</i>	White Beard-heath
EUPHORBIACEAE		
	<i>Amperea xiphoclada</i>	Broom spurge
FABACEAE		
	<i>Aotus ericoides</i>	Common Aotus
	<i>Oxylobium ellipticum</i>	Golden Rosemary

	<i>Pultenaea juniperina</i>	Prickly Beauty
GENTIANACEAE		
i	<i>Centaurium erythraea</i>	Common centuary
HALORAGACEAE		
	<i>Gonocarpus tetragynus</i>	Common Raspwort
MALVACEAE		
e	<i>Asterotrichion discolor</i>	Currajong
MIMOSACEAE		
	<i>Acacia dealbata subsp. dealbata</i>	Silver Wattle
	<i>Acacia melanoxylon</i>	Blackwood
MYRTACEAE		
	<i>Eucalyptus obliqua</i>	Stringybark
	<i>Eucalyptus viminalis subsp. viminalis</i>	Manna Gum
OXALIDACEAE		
	<i>Oxalis perennans</i>	Native Oxalis
POLYGONACEAE		
i	<i>Acetosella vulgaris</i>	Sorrel
ROSACEAE		
	<i>Acaena novae-zelandiae</i>	Buzzy
SANTALACEAE		
	<i>Exocarpos cupressiformis</i>	Native Cherry
THYMELAEACEAE		
	<i>Pimelea humilis</i>	Dwarf Rice-flower

TREMANDRACEAE

Tetralthea pilosa subsp. *pilosa* Hairy Pink-bells

VIOLACEAE

e	<i>Viola hederacea</i> subsp. <i>hederacea</i>	Native Violet
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Monocotyledonae

Family name	Species	Common name
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CYPERACEAE

Carex appressa var. *virgata*
Ficinia nodosa

JUNCACEAE

<i>Juncus pallidus</i>	Pale Rush
<i>Luzula acutifolia</i>	Blade-leaf Luzula

LILIACEAE

<i>Dianella brevicaulis</i>	Black Anther Flax-lily
<i>Dianella tasmanica</i>	Flax lily

POACEAE

i	<i>Agrostis capillaris</i> var. <i>capillaris</i>	
i	<i>Aira elegantissima</i>	
	<i>Dichelachne rara</i>	Scarce Plume-grass
i	<i>Holcus lanatus</i>	Yorkshire fog-grass
i	<i>Poa annua</i>	Annual Grass
	<i>Poa rodwayi</i>	Silver Tussock
	<i>Poa sieberiana</i>	
i	<i>Vulpia bromoides</i>	Squirrel-tail Fescue

XANTHORRHOEACEAE

Lomandra longifolia Sagg

Pteridophyta

Family name	Species	Common name
DENNSTAEDTIACEAE		
	<i>Pteridium esculentum</i>	Bracken
LINDSAEACEAE		
	<i>Lindsaea linearis</i>	Screw fern