

AGENDA ATTACHMENTS

PLANNING COMMITTEE MEETING

TUESDAY 5TH APRIL 2022

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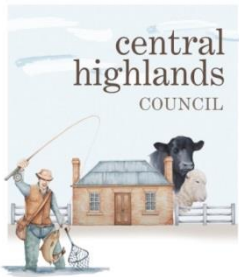
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MINUTES OF THE PLANNING COMMITTEE MEETING OF THE CENTRAL HIGHLANDS COUNCIL HELD AT THE BOTHWELL COUNCIL CHAMBERS, AT 9.03AM ON TUESDAY 9TH NOVEMBER 2021

1.0 PRESENT

Deputy Mayor Allwright (Chairperson), Mayor Triffitt, Clr Bailey & Clr Cassidy

IN ATTENDANCE

Clr Honner, Clr Campbell, Mrs L Eyles (General Manager), Mr D Mackey (Planning Consultant - Southern Midlands Council), Ms L Brown (Planning Officer) attended at 9.30am, Mr D Ridley, Mrs V Onslow & Mrs K Bradburn (Minutes Secretary)

2.0 APOLOGIES

Clr Poore

3.0 PECUNIARY INTEREST DECLARATIONS

In accordance with Regulation 8 (7) of the Local Government (Meeting Procedures) Regulations 2015, the Chairman requests Councillors to indicate whether they or a close associate have, or are likely to have a pecuniary interest (any pecuniary or pecuniary detriment) in any item of the Agenda.

Nil

4.0 CONFIRMATION OF MINUTES

Moved **Mayor Triffitt**

Seconded **Clr Bailey**

THAT the Draft Minutes of the Planning Committee Meeting of Council held on Tuesday 10th August 2021 to be confirmed.

Carried

For the Motion: Deputy Mayor Allwright, Mayor Triffitt, Clr Bailey & Clr Cassidy

5.0 QUESTION TIME & DEPUTATIONS

Mr D Ridley briefly spoke about his submission on the Draft Local Provision Schedule and his desire to see scenic values protected with the introduction of Scenic Protection Areas.

6.0 DRAFT CENTRAL HIGHLANDS LOCAL PROVISIONS SCHEDULE – PUBLIC EXHIBITION – ASSESSMENT OF SUBMISSIONS

Report By

Planning Consultant (SMC) Damian Mackey

Purpose

The purpose of this report is to commence the process of working through the submissions received in response to the recent public exhibition of the Central Highlands Draft Local Provisions Schedule with elected members.

Following the committee meeting, it is intended to produce an updated report incorporating the outcomes of discussions for the November Council meeting.

Council has a statutory timeframe of 60 days from the close of submissions to provide its assessment report to the Tasmanian Planning Commission. Effectively, this means it needs to be provided a few days prior to the Christmas break.

Background

The Tasmanian Planning Scheme will consist of the State Planning Provisions (SPPs) and the Local Provisions Schedules (LPSs) from each Council.

After several years of work and negotiations with the Tasmanian Planning Commission, Council was directed by the State Government to make certain changes to the Draft LPS and to place it on formal public exhibition for public comment. This was a 60-day period ending on 22 October.

It is now Council's role to consider the matters raised in submissions received and determine a view on them, including whether the LPS should be amended as a result. The submissions and Council's views on them will then be forwarded to the Commission which will hold public hearings. All submitters will be invited by the Commission to participate in the relevant hearing. Ultimately, the Commission will make final determinations and direct Council to make changes to the LPS accordingly. The Minister will then declare the Tasmanian Planning Scheme to be in force in the Central Highlands municipal area.

Assessment of Submissions

The Planning Committee worked through the attached Submission Assessment Table and agreed with the "Assessment and Recommendation to Council" being recommended by Damian Mackey (Planning Consultant).

Broke for Morning Tea at 10.40am

Meeting Resumed at 10.47am

RECOMMENDATIONS

THAT the following recommendations be made to Council:

Recommendation 1

Moved: Mayor Triffitt

Seconded: Clr Bailey

- A. Agree to accept Submissions No. 41, 42, 43 and 44, despite having received them after the advertised date and time for the close of submissions.

Carried

For the Motion: Deputy Mayor Allwright, Mayor Triffitt, Clr Bailey & Clr Cassidy

Recommendation 2

Moved: Mayor Triffitt

Seconded: Clr Cassidy

- A. Agree to explore the establishment, potentially pursuant to Section 35KB of the Act, of the mooted Scenic Road Corridor (or alternatively a Scenic Protection Area) under the Scenic Protection Code along the Lyell Highway which was the subject of Submissions No. 21 and 22.
- B. Agree to explore the establishment, potentially pursuant to Section 35KB of the Act, of the mooted 'Central Highlands Scenic Protection Area' under the Scenic Protection Code along Highland Lakes Road and Waddamana Road which was the subject of Submissions No. 34 and 35.

Carried

For the Motion: Deputy Mayor Allwright, Mayor Triffitt, Clr Bailey & Clr Cassidy

Recommendation 3

Moved: Clr Cassidy

Seconded: Clr Bailey

- A. Develop a structure plan for the township of Bothwell, with input from the local community. This is to follow completion of the Local Provisions Schedule development process and is to set out the preferred future development of the town and any subsequent zoning changes that ought to be made. Part funding for this project is to be sought from the State or Federal Governments.
- B. Develop a structure plan for the township of Ouse, with input from the local community. This is to follow completion of the Local Provisions Schedule development process and is to set out the preferred future development of the town and any subsequent zoning changes that ought to be made. Part funding for this project is to be sought from government.

Carried

For the Motion: Deputy Mayor Allwright, Mayor Triffitt, Clr Bailey & Clr Cassidy

7.0 OTHER BUSINESS

Nil

8.0 CLOSURE

There being no further business the meeting closed at 11.20am

DRAFT CENTRAL HIGHLANDS LOCAL PROVISIONS SCHEDULE

PUBLIC EXHIBITION

REPRESENTATIONS ASSESSMENT TABLE

9 November 2021

NOTE: IN THE TABLE, 'LOCAL PLANNING AUTHORITY' REFERS TO COUNCIL ACTING IN THAT CAPACITY UNDER THE *LAND USE PLANNING AND APPROVALS ACT*
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No.	From	Key Issues Raised	Assessment and Recommendation to Council
1.	Tree Alliance Private Forests Tasmania Penny Wells, CEO	Advises that Private Forests Tasmania's comments will be submitted as part of the Department of State Growth's submission	Noted. <u>Local Planning Authority View:</u> No action required.
2.	TasRail Jennifer Jarvis Manager Group Property & Compliance	Notes several aspects of the Draft LPS, including the inclusion of the Road & Rail Assets Code. No objections.	Noted. <u>Local Planning Authority View:</u> No action required.
3.	Tony Donaghy	<p>460 Dry Poles Road, Ellendale. PID 3389090</p> <ul style="list-style-type: none"> Concerned that property is proposed to be rezoned to Agriculture. 7.269 ha and not part of a larger farm. States that it is 'too small to be viable farm'. Used as a 'rural dwelling' and 'should be zoned either Rural Living or Rural. Aerial images provided. <p>449 Dry Poles Road, Ellendale. PID 1661759</p> <ul style="list-style-type: none"> Block across road owned by Mr Donaghy's parents. Even smaller than 460 Dry Poles Rd and proposed to be Agriculture also. Same concerns. <p>Considers the propose zoning to be an error.</p>	<p>Agree.</p> <p>These lots are on the edge of the broader boundary between Rural and Agriculture Zoned areas.</p> <p>Small lots in such locations and clearly incapable of accommodating a commercial farming enterprise and used, or intended to be used, for rural living purposes, should be in the Rural Zone.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of both properties should be amended to Rural.</p>

Central Highlands Draft LPS - Representations Assessment Table – 9 November 2021

No.	From	Key Issues Raised	Assessment and Recommendation to Council
4.	Reliance Forest Fibre Darryn Crook, Technical Manager	<p>Reliance Forest Fibre manages large areas of plantation forestry.</p> <p>Concerned that their land holdings are split between Rural and Agriculture Zones, and notes that plantation forestry is 'no permit required' in the Rural Zone.</p> <p>Notes that if is desirable from a forest management perspective to have all plantation properties in the Rural zone to avoid conflict where areas are not covered by a Private Timber Reserve.</p>	<p>Agree.</p> <p>Areas dominated by forestry and other non-agricultural use, whether PTRs exist or not, should be zoned Rural.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of all properties owned or managed by Reliance Forest Fibre should be amended to Rural.</p>
5.	Stuart & Karen Philp	<p>Owners of Lot 1 Lyell Highway, Bronte Park, PID 3054354, CT 241850/1</p> <p>124.9 ha property, 116.1 ha of which is covered by a Conservation Covenant.</p> <p>Proposed to be zoned Rural.</p> <p>Requests that it be zoned Landscape Conservation Zone.</p> <p>Note that this property is also part of the Conservation Landholders of Tasmania (CLT) submission.</p>	<p>Agree.</p> <p>Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change.</p> <p>This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do.</p> <p>If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of Lot 1 Lyell Highway, Bronte Park, PID 3054354, CT 241850/1 should be amended to Landscape Conservation.</p>

Central Highlands Draft LPS - Representations Assessment Table – 9 November 2021

No.	From	Key Issues Raised	Assessment and Recommendation to Council
6.	<p>Conservation Landholders Tasmania</p> <p>John Thompson obo the Board of Trustees, CLT Trust.</p>	<p>Conservation Landholders Tasmania (CLT) describes themselves as 'an educational trust'.</p> <p>CLT has identified 13 Conservation Covenant areas in Central Highlands that it believes should be zoned Landscape Conservation Zone, instead of the proposed Rural Zone in the Draft LPS, 'subject to landowner agreement'.</p> <p>These are listed in table provided in the submission.</p>	<p>It appears that CLT have contacted the owners of the Conservation Covenant areas and requested them to consider supporting the idea that the zoning of the land be changed from Rural to Landscape Conservation Zone.</p> <p>Seven of the landowners have separately made submissions making this request. These are submissions No. 5, 8, 14, 15, 19, 25 and 33. All except No. 8 requested that the entirety of their titles change to Landscape Conservation with No.8 requesting that just the covenanted area change.</p> <p>As detailed above in relation to submission No. 5, Council has indicated it would be receptive to changing the zone of covenanted areas if requested by the landowners. Therefore, it is recommended that this submission by CLT be supported insofar as the proposed zoning changes are supported by the landowners concerned.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of the subject properties where landowner consent has been given should be amended to Landscape Conservation.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
7.	<p>TasWater Jason Taylor Development Assessment Manager</p>	<p>A. Requests that several water reservoir tank facilities be zoned Utilities. These are:</p> <ul style="list-style-type: none"> • Ouse Reservoir Tank • Bronte Park (Various Tanks). <p>B. Requests that Attenuation Area buffers around Sewerage Treatment Plants not be mapped and that the system rely on the distances specified in the code. In support of this, the submission noted that several mapped Attenuation Areas do not match that specified in the code, and that TasWater is planning upgrade works on various facilities which would alter other appropriate attenuation distances.</p>	<p>A. Agree. Key infrastructure such as township water reservoir tanks should be zoned Utilities.</p> <p>B. Disagree. The policy for the depiction of Attenuation Areas on the LPS overlay maps is determined by the State Government. The downside of relying on the written description for buffer areas is that they can be missed – by members of the public, Council planners, consultant planners, people involved in conveyancing, etc. If they are mapping into an overlay, such mistakes are much less likely. The overarching policy embedded within the state planning system is that codes should be applied by mapped overlay wherever possible. The depiction of bushfire prone areas is one notable example of this that Councillors will be familiar with. This is a matter for statewide consistency, and not for individual councils to determine, and it is recommended that Council not support this suggestion. <u>Local Planning Authority View:</u> A. The zoning of the land containing the TasWater-owned Ouse Reservoir Tank and Bronte Park Tanks should be amended to Utilities B. Amending the Attenuation Area maps to remove buffer areas around active Sewerage Treatment Plants is not supported.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
8.	Daniel Lee	<p>A. Owner of Lot 1 Marked Tree Road, Hamilton, PID 3264618, CT 166564/1 41.9 ha property, 39.3 ha of which is covered by a Conservation Covenant. Proposed to be zoned Rural. Requests that the covenanted area be zoned Landscape Conservation Zone, but that the 2.5 ha portion of non-covenanted land be retained as Rural Zone. If split zoning is not possible, then the preference is to retain the Rural Zone for the entire property. This property is also part of the Conservation Landholders of Tasmania (CLT) submission.</p> <p>B. The submitter also notes that two adjoining forested properties are proposed to be zoned Agriculture, yet they contain substantial areas of significant environmental values – the same values that led the government agreeing to the conservation covenant on Lot 1 Marked Tree Road. The submitter requests that this neighbouring land be zoned Rural so that the Priority Vegetation Overlay of the Natural Values Code can apply to provide a level of protection. Aerial mapping provided.</p>	<p>A. Agree. Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change. This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do. If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally. Agree to the covenanted portion only being changed to Landscape Conservation and the remainder being Rural Zone.</p> <p>B. Agree. This accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'. The titles identified in the submission are a case in point. Agree that the two neighbouring titles (RF 171934/1 and FR 108593/1) be zoned Rural. <u>Local Planning Authority View:</u> A. The zoning of the covenanted area on Lot 1 Marked Tree Road, Hamilton, PID 3264618, CT 166564/1 should be amended to Landscape Conservation. B. The zoning of the neighbouring land referred to in Point B should be amended to Rural, subject to landowner consent.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
9.	<p>Department of Justice Consumer, Building & Occupational Services Peter Graham, Executive Director</p>	<p>Notes that the Bushfire Prone Areas mapping will be introduced into the Central Highlands via the Tasmanian Planning Scheme, (once the Local Provisions Schedule is finalised by the TPC). Requests that Council consider introducing it into the current scheme, the Central Highlands Interim Planning Scheme 2015.</p>	<p>Disagree. The Bushfire Prone Areas mapping could only be introduced into the current planning scheme via a planning scheme amendment process. This would take months – possible as long, or longer, than to complete the Local Provisions Schedule process. <u>Local Planning Authority View:</u> Amending the Central Highlands Interim Planning Scheme 2015 to include the Bushfire Prone Areas mapped overlay is not supported as it would likely take a similar time to the finalisation of the LPS and the subsequent incorporation of this mapping in the Tasmanian Planning Scheme for the Central Highlands municipal area.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
10.	Department of Police, Fire & Emergency Management State Emergency Services Andrew Lea, Director.	<p>Notes that there is no Flood Prone Areas overlay in the Draft LPS, and further notes that Council advised that this is because there is no reliable spatial data.</p> <p>A. Advises that a state-wide project is underway to produce flood prone area mapping for areas that do not yet have it and asks Council to consider incorporating the mapping into the appropriate overlay in the planning scheme in the future.</p> <p>B. Notes that, despite there being no overlay in the LPS, the Flood Prone Areas code applies anyway, via the ordinance. The submission advises that the Department of Justice / State Emergency Service is working on a guidance document for Councils to help them determine when a development application should trigger consideration under the Flood Prone Areas code.</p> <p>The submission further notes a range of information that Council officers can utilise whilst awaiting the above.</p>	<p>A. Agree in principle, noting that this is not a matter for Council to determine as part of the current Draft LPS process. Flood prone areas mapping, if available, should be incorporated into the appropriate overlay in the planning scheme.</p> <p>B. Noted, and welcomed. Under C12.2.3 of the State Planning Provisions, planning authorities may ask for a flood hazard report. In the absence of a mapped overlay of flood prone areas, there is no specific trigger for Council to ask for such a report. A guidance document would be of great assistance to Council planning officers whilst awaiting the introduction of a mapped overlay.</p> <p><u>Local Planning Authority View:</u></p> <p>These matters are noted and agreed in principal.</p> <p>It is noted that no action is required in regard to the Draft Local Provisions Schedule.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
11.	Michael Stevens & Fiona McOwan	<p>Owners of property at 370 Strickland Rd, Strickland.</p> <p>PID 7710494, CT 160316/1. 70 acres.</p> <p>Rural lifestyle block with hobby-farm level agriculture. No intention to use for commercial agriculture.</p> <p>Concerned about the restrictions on use of proposed Agriculture Zone and has requested the Rural Zone apply.</p>	<p>Agree.</p> <p>Whilst this patch is cleared, the property is part of a broader landscape dominated by forest.</p> <p>It is a relatively small lot close to the edge of the broader boundary between Rural Zone and Agriculture Zone.</p> <p>This accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'. This is a case in point.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of 370 Strickland Rd, Strickland, PID 7710494, CT 160316/1, should be amended to Rural.</p>
12.	Humbie Pastoral Paul Ellis & Shauna Ellis	<p>Owners of St Patricks Plains, PID 5000165.</p> <p>2,143 ha property. Class 6 agricultural land. 900m above sea level. Fit for dry sheep grazing only. Runs 1 sheep to 3 to 5 acres. Severe winters (average maximum temperatures do not exceed 10 degrees C. Widespread inundation in winter, with rocky land elsewhere. 434 ha of FCF covenanted land.</p> <p>Maps and BOM data provided.</p> <p>The submitters strongly question the application of the Agriculture Zone to this area, as it is poor farmland. The future, they say, is in tourism, recreation and, potentially, renewable energy. Not farming.</p> <p>The Rural Zone is much more suitable to this land.</p>	<p>Agree.</p> <p>High altitude central plateau land such as this is clearly some of the poorest and most marginal land in Tasmania. It is several orders of magnitude poorer than some of the hinterland on the northwest coast that has been allocated the Rural Zone. A core outcome of the entire state-wide single planning scheme project is consistency. In the interest of this alone, this land should be Rural Zone.</p> <p>Recommend that this land, and the other areas of proposed Agricultural Zone in this landscape, be changed to Rural.</p> <p>In regard to the proposed windfarm, alluded to in the submission, it is noted that as the Local Planning Authority, Council must not pre-judge a possible development application upon which it may need to statutorily sit in judgment.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of St Patricks Plains, including PID 5000165, should be amended to Rural.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
13.	Greg Pullen	<p>Resident of the Central Highlands.</p> <p>Concerned that too much land is proposed to be zoned Agriculture instead of Rural.</p> <p>Agriculture Zone up the boundaries of settlements will make future expansion all but impossible.</p> <p>The Agriculture Zone also removes consideration of natural values, as the Priority Vegetation overlay cannot apply in this zone. This will lead to ill-considered developments.</p> <p>Cites the proposed wind farm at St Patricks Plains as an example – on land proposed to be Agriculture Zone yet contains many significant natural values.</p> <p>Concerned the inability of councils to ‘tidy up ... historical anomalies’ in the planning scheme through this process will be at a substantial cost to ratepayers through the need for multiple minor planning scheme amendments in the future.</p>	<p>Agree.</p> <p>This accords with Council’s view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as ‘land potentially suitable for the Agriculture Zone’</p> <p>The submission is correct in that the Priority Vegetation overlay cannot apply in the Agriculture Zone. This is reasonable in the case of genuine productive agricultural land, as such land was invariably cleared and farmed many years ago and therefore contains little or no natural values.</p> <p>Many large areas of proposed Agricultural Zone in the Central Highlands, conversely, are inherently poor from an agricultural perspective and there have not been subject to wholesale clearance over the course of the last 200 years and retain very substantial levels of significant natural values. This is indicative of the poor ‘fit’ of the Agriculture Zone to such land.</p> <p>Recommend that the extent of the proposed Agriculture Zone be substantially reviewed using the ‘decision tree’ document that the Southern councils jointly developed.</p> <p>In regard to the proposed windfarm, it is noted that as the Local Planning Authority, Council must not pre-judge a possible development application upon which it may need to statutorily sit in judgment.</p> <p><u>Local Planning Authority View:</u></p> <p>The Agriculture Zone has been applied far to widely and covers relatively poor quality land and land hard-up against townships where it will lead to land use conflict and make township expansion considerations more onerous than the quality of the land warrants. The application of the Agriculture Zone should be reviewed across the municipal area in accordance with the AK Consulting Decision Tree adopted by all Southern Councils.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
14.	ECO-NOMY P/L Dean Brampton, Director.	<p>Owner of 'Bronte Park 2', Lyell Highway, Bronte Park, PID 2304227, CT 243948/1</p> <p>15.09 ha property, 14.08 ha of which is covered by a Conservation Covenant.</p> <p>Proposed to be zoned Rural.</p> <p>Requests that it be zoned Landscape Conservation Zone.</p> <p>Note that this property is also part of the Conservation Landholders of Tasmania (CLT) submission.</p>	<p>Agree.</p> <p>Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change.</p> <p>This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do.</p> <p>If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of 'Bronte Park 2', Lyell Highway, Bronte Park, PID 2304227, CT 243948/1 should be amended to Landscape Conservation.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
15.	PC Jacques & MJ Jacques	<p>Owner of property off Dennistoun Road, Bothwell, PID 1843865, CT 126437/1</p> <p>Property containing a Conservation Covenant.</p> <p>Proposed to be zoned Rural.</p> <p>Requests that it be zoned Landscape Conservation Zone.</p> <p>Note that this property is also part of the Conservation Landholders of Tasmania (CLT) submission.</p>	<p>Agree.</p> <p>Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change.</p> <p>This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do.</p> <p>If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of the property off Dennistoun Road, Bothwell, PID 1843865, CT 126437/1 should be amended to Landscape Conservation.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
16.	Tas Fire Service Tom O'Connor Senior Planning & Assessment Officer	<p>TFS is broadly supportive of the Draft LPS.</p> <p>The TFS points out that, since the Bushfire Prone Areas Code was reviewed in 2017, it no longer applies to Visitor Accommodation use. It is therefore suggested that clause P1.2(b) in the proposed Lake Meadowbank Specific Area Plan be amended to remove specific reference to the Code and simply refer to 'bushfire protection':</p> <p><i>(b) the extent of clearing is the minimum necessary to meet the requirements of the Bushfire Prone Areas Code for bushfire protection.</i></p> <p>TFS consider that this change will enable proposed Visitor Accommodation Use to be subject to bushfire risk mitigation considerations.</p>	<p>Agree.</p> <p>Whilst this change seems counter-intuitive, the recommendation is based on the practical experience of TFS working with the Code.</p> <p>It is somewhat inexplicable that the 2017 revision of the Code removed Visitor Accommodation from its operation, as fire emergencies are even more threatening to people unfamiliar with an area.</p> <p>The proposed change is supported.</p> <p><u>Local Planning Authority View:</u></p> <p>The following change should be made to clause P1.2(b) in the proposed Lake Meadowbank Specific Area Plan to remove specific reference to the Code and simply refer to 'bushfire protection':</p> <p><i>(b) the extent of clearing is the minimum necessary to meet the requirements of the Bushfire Prone Areas Code for bushfire protection.</i></p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
17.	Venesser Oakes	<p>Owner of 168 Risbys Road, Ellendale. PID 7147419.</p> <p>12.17 ha 'steeply sloped property, with approximately 50% natural bush' and with electrical infrastructure running through it. Too small and steep to be successfully used for anything more than a small-scale hobby farm.</p> <p>Concerned that the land is proposed to be Agriculture Zone. The Rural Zone is more appropriate.</p> <p>Expressed dissatisfaction with the formatting and layout, and general usability of the various documents on display as part of the Draft LPS public exhibition.</p>	<p>Agree.</p> <p>This property is approximately 50% cleared and is relatively steep. It is part of a cluster of Rural Zoned similar-sized lots to the north and west, whilst it abuts a much larger Agriculture Zone property to the east.</p> <p>It is a relatively small lot on the edge of the broader boundary between Rural Zone and Agriculture Zone.</p> <p>The submission accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'. This is a case in point.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of 168 Risbys Road, Ellendale, PID 7147419, should be amended to Rural.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
18.	TasNetworks ?	<p>A. Requests the Derwent Bridge substation and nine communication sites be zoned Utilities.</p> <p>B. Requests that no land with Electricity Transmission Corridors over it be zoned Landscape Conservation.</p> <p>C. Requests Priority Vegetation Overlay be removed from 18 infrastructure sites where the vegetation has already been substantially modified.</p> <p>D. Notes several problems with the State Planning Provisions that could cause safety issues - - mainly exemptions. It is suggested that there be exceptions to these exemptions in the Electricity Transmission Corridors overlay – similarly to the exceptions associated with the Local Historic Heritage Code.</p>	<p>A. Agree. Substantial infrastructure sites such as these should be zoned utilities.</p> <p>B. Agree. The Landscape Conservation Zone is incompatible with Electricity Transmission Corridors. Whilst there is no Landscape Conservation Zone in the draft LPS, this may change with a number of owners of conservation covenanted land requesting this zoning. The existence of an Electricity Transmission Corridor would need to be checked in these cases.</p> <p>C. Agree. The Priority Vegetation Overlay on substantially modified infrastructure sites is unnecessary and problematic.</p> <p>D. Noted. As this matter relates to the State Planning Provisions, it is not within Council's current role to form a view on this matter.</p> <p><u>Local Planning Authority View:</u></p> <p>A. The zoning of TasNetworks' Derwent Bridge substation and nine listed communication sites should be amended to Utilities</p> <p>B. Any areas amended to Landscape Conservation Zone that include Electricity Transmission Corridors should have these areas excluded from the Landscape Conservation Zone.</p> <p>C. The Priority Vegetation Overlay should be removed from the 18 listed infrastructure sites where the vegetation has already been substantially modified.</p> <p>D. This a matter for the State to consider.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
19.	Malcolm Grant	<p>Owner of Lot 3 Marked Tree Road, Hamilton, PID 3268969, CT 166563/3</p> <p>40.1 ha property, 27.43 ha of which is covered by a Conservation Covenant.</p> <p>Proposed to be zoned Rural.</p> <p>Requests that it be zoned Landscape Conservation Zone.</p> <p>Note that this property is also part of the Conservation Landholders of Tasmania (CLT) submission.</p>	<p>Agree.</p> <p>Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change.</p> <p>This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do.</p> <p>If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of Lot 3 Marked Tree Road, Hamilton, PID 3268969, CT 166563/3 should be amended to Landscape Conservation.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
20.	Jim Allwright	<p>A. Concerned about the large extent of proposed Agriculture Zone, covering land that is unsuitable to agriculture:</p> <ul style="list-style-type: none"> • Rural lifestyle areas around Ellendale and Westerway. • High-altitude seasonal grazing land, better suited to other (non-agricultural) pursuits. <p>The Agriculture Zone will reduce landowners' ability to further use and development of these areas in the future.</p> <p>Applying the Agricultural Zones to marginal areas such as these is at odds with the zoning of much better agricultural potential land in the northwest as Rural, and one of the stated key aims of this entire planning reform project to achieve state-wide consistency.</p> <p>B. Concerned that the Planning Commission has directed that Council's modified Lake Meadowbank Specific Area Plan be removed from the Draft LPS. The lake, with all its users and values, including Aboriginal heritage, needs contemporary planning arrangements.</p> <p>C. Concerned that Council's attempts to remove minor split-zonings has not been permitted, so far, by the Commission, despite State guidance to the effect that split zoning is to be avoided if at all possible.</p> <p>D. Concerned that this planning reform process has not allowed the removal of minor redundant anomalies, such as the removal of the Attenuation Area around the now non-existence sewerage treatment ponds at Great Lake Hotel.</p>	<p>A. Agree.</p> <p>This accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Large areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'.</p> <p>Recommend that areas with these characteristics be changed to the Rural Zone, in accordance with the 'decision tree' document adopted by the Southern councils.</p> <p>B. Agree.</p> <p>The amendments to the Lake Meadowbank Specific Area Plan would enable it to function more efficiently, better fit with the SPP format and protect significant Aboriginal Heritage values.</p> <p>Recommend that Council continue to argue for its inclusion at the Commission hearings.</p> <p>C. Agree.</p> <p>The split zone titles that Council wishes to adjust so that they are entirely one zone constitute minor changes and ought to be possible.</p> <p>D. Agree.</p> <p>Council has not been able to undertake a general 'scheme renovation' for twenty years. In the late 2000s, Council was about to embark on a new planning scheme when the Regional Planning Reform process began, and Council chose to join that process. Midway through the process it was announced by the State that the interim schemes being created had to be 'like-for-like', and hence scheme renovation was not permitted. The current Statewide planning reform process has also been designed to be a 'like-for-like' transition and, hence, general scheme renovation is similarly not allowed.</p> <p>The outcome of all of this is that schemes have become full of 20 redundant or out-of-date components, and it will take a great deal of local government and state government resources to fix these matters through a long series of planning scheme amendments.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
21.	Eco-Nomy P/L Dean Brampton	<p>Proposes the creation of a Scenic Road Corridor (possibly a Scenic Protection Area) under the Scenic Protection Code of the State Planning Provisions.</p> <p>The area would extend 20km along the Lyell Highway, extending to the furthest skyline or 2 km if the skyline is very distant. Detailed maps and extensive landscape values analysis are provided in the submission.</p>	<p>Potentially agree.</p> <p>Whilst the proposal may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or the impacted landowners in particular regarding this specific proposal.</p> <p>A proposed change of this magnitude should only be considered through a specific planning scheme amendment process.</p> <p><u>Local Planning Authority View:</u></p> <p>The establishment of the mooted Scenic Road Corridor (or alternatively a Scenic Protection Area) under the Scenic Protection Code along the Lyell Highway should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
22.	S&K Superannuation Fund Stuart & Karen Philp	<p>Proposes the creation of a Scenic Road Corridor (possibly a Scenic Protection Area) under the Scenic Protection Code of the State Planning Provisions.</p> <p>The area would extend 20km along the Lyell Highway, extending to the furthest skyline or 2 km if the skyline is very distant. Detailed maps and extensive landscape values analysis are provided in the submission.</p> <p>The submission is identical to No. 21.</p>	<p>Potentially agree.</p> <p>Whilst the proposal may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or the impacted landowners in particular regarding this specific proposal.</p> <p>A proposed change of this magnitude should only be considered through a specific planning scheme amendment process.</p> <p><u>Local Planning Authority View:</u></p> <p>The establishment of the mooted Scenic Road Corridor (or alternatively a Scenic Protection Area) under the Scenic Protection Code along the Lyell Highway should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
23.	PDA Surveyors Justine Brooks Senior Planning Consultant.	<p>Pertains to an approved subdivision on the northern edge of Bothwell, for Clyde River Holdings Pty Ltd. PID 3240245, CT 164767/1.</p> <p>The subdivision for 16 residential lots and the amalgamation of a number of adjacent large rural titles was approved prior to the advent of the Central Highlands Interim Planning Scheme 2015. The small lots have not yet been created but the approval has “substantial commencement” and therefore remains alive.</p> <p>The submission states that the land was zoned Village prior to the 2015 interim scheme and that this zoning was changed to Rural Resource by that scheme. It is now proposed to be Agriculture under the draft LPS.</p> <p>It is requested that the land subject to the 16 approved small lots be changed back to Village, to appropriately suit the future development and use of this land.</p>	<p>Agree.</p> <p><u>Local Planning Authority View:</u></p> <p>The land accommodating the 16 approved residential lots at Bothwell on PID 3240245, CT 164767/1 be changed to Village, in line with the zoning that existed prior to the Central Highlands Interim Planning Scheme 2015.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
24.	Alexandra Brock & Garry Daud.	<p>Owners of 571 Thousand Acre Lane, Hamilton.</p> <p>Proposed to be zoned Rural. (The submitters are content with that zoning.)</p> <p>Concerned about the rezoning of neighbouring land to Agriculture.</p> <p>Their land and the neighbouring properties form a cluster of rural lifestyle lots that retain substantial areas of remnant native bush, embedded within a broader pastoral farming landscape that is predominantly cleared.</p> <p>The native bush has priority vegetation values, both on the submitters land and on the neighbouring rural lifestyle blocks. These values are not protected on the neighbouring land, due to the Agriculture Zoning.</p> <p>It is requested that these neighbouring titles be zoned Rural.</p> <p>The submitters also express broader concerns over the proposed far-ranging application of the Agriculture Zone in Central Highlands, where they consider there will be many other cases where high-value native vegetation areas are so zoned, and therefore omitted from the Priority Vegetation Overlay.</p>	<p>Agree.</p> <p>Subject to landowner consent.</p> <p>The submission accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Large areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'. This is a case in point.</p> <p>Recommend that Council contact the owners of the neighbouring rural-lifestyle blocks to ascertain their views. Where agreed, support change to the Rural Zone.</p> <p><u>Local Planning Authority View:</u></p> <p>The two land parcels (neighbouring 571 Thousand Acre) be changed to Rural Zone, subject to landowner consent.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
25.	Peter & Michelle Cassar Smith.	<p>Owners of Lot 3 Marked Tree Road, Hamilton, PID 3264626, CT 166564/3. (Note: a different Lot 3 to Submission No.19)</p> <p>138.9 ha property containing a Conservation Covenant.</p> <p>Proposed to be zoned Rural.</p> <p>Requests that it be zoned Landscape Conservation Zone.</p> <p>Advises that they are selling the property and that they have notified the purchasers of this issue and that the purchasers agree with the Landscape Conservation Zone.</p> <p>Note that this property is also part of the Conservation Landholders of Tasmania (CLT) submission.</p>	<p>Agree.</p> <p>Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change.</p> <p>This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do.</p> <p>If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of Lot 3 Marked Tree Road, Hamilton, PID 3264626, CT 166564/3 should be amended to Landscape Conservation.</p>
26.	Department of State Growth James Verrier Director, Transport Systems and Planning Policy	<p>Generally, in agreement with the draft LPS.</p> <p>Several aspects of the State Planning Provisions are noted and endorsed.</p> <p>A. Requests amending the zoning of a new road lot to Utilities. CT 46/6704, Highland Lakes Road near Ripple Creek.</p> <p>B. Notes that some mining leases are proposed to be zoned Agriculture and suggests that the Rural Zone might be more appropriate.</p>	<p>A. Agree.</p> <p>The road easements of major roads such as Highland Lakes Road should be Utilities.</p> <p>B. Not agree.</p> <p>Council liaised with Mineral Resources Tasmania regarding all mining leases. Where a lease is for a relatively minor operation within a larger agricultural title, it was agreed not to spot-zone to Rural.</p> <p><u>Local Planning Authority View:</u></p> <p>A. The zoning of CT 46/6704, Highland Lakes Road, should be changed to Utilities.</p> <p>B. Mining leases for minor mining facilities should be zoned as per the subject title, as agreed with Mineral Resources Tasmania.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
27.	Tasmanian Land Conservancy James Hatton, CEO	<p>A. Requests all land owned by the Tasmanian Land Conservancy to be zoned Landscape Conservation Zone.</p> <p>In Central Highlands this is multiple properties covering 20,000 ha. Protected by conservation covenants.</p> <p>Much of this land is currently proposed to be Rural. Some is proposed to be a mix of Environmental Management, Agriculture and Rural.</p> <p>Nevertheless, all TLC land is requested to be Landscape Conservation.</p> <p>B. Request Council to implement a process of continually revising, updating and re-evaluating natural assets overlay mapping.</p> <p>C. Requests that the Priority Vegetation Overlay apply to all zones.</p> <p>D. Request that the Natural Assets Code be reviewed – principally to remove exemptions.</p> <p>E. Suggest that all covenanted land be zoned landscape Conservation.</p>	<p>A. Agree.</p> <p>Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change.</p> <p>This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do.</p> <p>B. Not relevant to the current statutory process. It is noted that such work is best carried out at the regional or state level.</p> <p>C. Not within Council's purview.</p> <p>This pertains to the State Planning Provisions. The State has directed that these are specifically outside the scope of the current process.</p> <p>D. Not within Council's purview.</p> <p>This pertains to the State Planning Provisions. The State has directed that these are specifically outside the scope of the current process.</p> <p>E. Not agree.</p> <p>If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally.</p> <p><u>Local Planning Authority View:</u></p> <p>A. The zoning of all land owned by the Tasmanian Land Conservancy should be amended to Landscape Conservation.</p> <p>B. This is not relevant to the Draft LPS.</p> <p>C. This is a matter for the State.</p> <p>D. This is a matter for the State.</p> <p>E. It is not agreed that all land subject to a conservation covenant be rezoned to Landscape Conservation. If this was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
28.	Greg & Jane McGann Hatlor Pty Ltd	<p>Owners of a home on 70 acres at Arthurs Lake.</p> <p>A. Concerned about the proposed rezoning from Rural Resource to Agriculture, and the 'unintended negative impacts' that could result.</p> <p>B. Questions why the Scenic Protection Code has not been used, given the area's natural beauty.</p>	<p>A. The submitters appear to hold the same concerns that Council has in regard to the proposed inappropriate rezoning of large areas of land to Agriculture. Council's view is that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Large areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'.</p> <p>B. Council has not sought to introduce a Scenic Landscape Area into the scheme via this Tasmanian Planning Scheme establishment process.</p> <p>Whilst this may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or potentially impacted landowners.</p> <p>A proposed change of this magnitude should only be considered through a specific planning scheme amendment process, and be based on a professional study by a suitably qualified person to define the area(s).</p> <p>C. The Supporting Report details this State Government-initiated project. This can be provide to the submitters.</p> <p><u>Local Planning Authority View:</u></p> <p>A. The Agriculture Zone has been applied far to widely and covers relatively poor quality land often accommodating uses such as forestry and natural values conservation. The application of the Agriculture Zone should be reviewed across the municipal area in accordance with the AK Consulting Decision Tree adopted by all Southern Councils.</p> <p>B. Council has agreed to explore the use of the Landscape Conservation Code as potential planning scheme amendments, pursuant to specific proposals submitted by a number of other representors.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
29.	Dominica Sophia Tannock	<p>Melbourne resident who has recently purchased a property in the Central Highlands lakes area.</p> <p>A. Concerned about the rezoning of this area from Rural Resource to Agriculture. Specifically, the potential impact on landscape.</p> <p>B. Proposes the use of the Scenic Protection Code</p>	<p>A. Council's established view is that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Council view therefore accords with the general concerns of the submitter.</p> <p>B. Not agree.</p> <p>Whilst the creation of scenic protection areas may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or impacted landowners in particular. A proposed change of this magnitude should only be considered through a specific planning scheme amendment process, and be based on a professional study by a suitably qualified person to define the area(s).</p> <p><u>Local Planning Authority View:</u></p> <p>A. The Agriculture Zone has been applied far too widely and covers relatively poor quality land often accommodating uses such as forestry and natural values conservation. The application of the Agriculture Zone should be reviewed across the municipal area in accordance with the AK Consulting Decision Tree adopted by all Southern Councils.</p> <p>B. Council has agreed to explore the use of the Landscape Conservation Code as potential planning scheme amendments, pursuant to specific proposals submitted by a number of other representors.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
30.	GHD David Cundall, Senior Planner obo Geoffery Herbert	<p>3 Adelaide Street, Bothwell. CT 245881/1.</p> <p>Land zoned Low Density Residential and proposed to transition to the new Low Density Residential zone.</p> <p>Existing approval for subdivision of 8 lots, ranging in size from 1547m2 to 2446m2.</p> <p>Notes that this land is adjacent to five existing village-sized lots (around 900m2) and proposes that 3 Adelaide Street should also be Village Zone.</p> <p>Requests Council to commit to a structure planning process for Bothwell to consider the most appropriate zoning for the various parts of the town into the future.</p>	<p>Agree.</p> <p>Many rural towns around the State have been subject to structure planning projects over the last ten years.</p> <p>It would appear to be many decades since Bothwell has had the benefit of such a process.</p> <p>Structure plans often recommend rezonings, and they are then used to support planning scheme amendments.</p> <p>Recommended that Council pursue a structure plan for Bothwell once the LPS work is completed, potentially with financial support from the State Government.</p> <p><u>Local Planning Authority View:</u></p> <p>A structure plan for the township of Bothwell, with input from the local community should be developed. This should follow completion of the Local Provisions Schedule development process and is to set out the preferred future development of the town and any subsequent zoning changes that ought to be made.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
31.	Ian Fitzgerald	<p>Concerned for the preservation of the natural landscapes around The Steppes, St Patricks Plains, Thousand Lakes Wilderness Area and the Great Lake and associated water bodies.</p> <p>Specifically, concern is expressed about the possible impacts of the mooted windfarm at St Patricks Plains / Steppes.</p>	<p>The submitter is not specific in suggesting how the Draft LPS could be modified to address these concerns. The creation of Scenic Protection Areas under the SPP's Scenic Protection Code would potentially address them.</p> <p>Whilst the creation of Scenic Protection Areas may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or impacted landowners in particular. A proposed change of this magnitude should only be considered through a specific planning scheme amendment process and be based on a professional study by a suitably qualified person to define the area(s).</p> <p>In regard to the proposed windfarm, it is noted that as the Local Planning Authority, Council must not pre-judge a possible development application upon which it may need to statutorily sit in judgment.</p> <p><u>Local Planning Authority View:</u></p> <p>The submission is not sufficiently detailed in regard to proposed changes to the Draft LPS for a definitive view to be formed. However, Council has formed views on related matters regarding the zoning of this land and possible Scenic Protection Areas.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
32.	Mary Louise Ashton Jones	<p>Concerned for the preservation of the natural landscapes around Central Highlands.</p> <p>Request that the Scenic Protection Code be utilised in the LPS.</p>	<p>Potentially agree.</p> <p>Whilst the creation of Scenic Protection Areas may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or impacted landowners in particular. A proposed change of this magnitude should only be considered through a specific planning scheme amendment process and be based on a professional study by a suitably qualified person to define the area(s).</p> <p><u>Local Planning Authority View:</u></p> <p>The establishment of a Scenic Protection Area under the Scenic Protection Code in this area should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>
33.	Natalie Fowell	<p>Owner of Lot 2 Marked Tree Road, Hamilton, PID 3264597, CT 166564/2.</p> <p>41.64 ha property containing a 38.19 ha Conservation Covenant.</p> <p>Proposed to be zoned Rural.</p> <p>Requests that it be zoned Landscape Conservation Zone.</p> <p>Note that this property is also part of the Conservation Landholders of Tasmania (CLT) submission.</p>	<p>Agree.</p> <p>Council's policy on this issue is that all covenanted land would be proposed to be zoned Rural in the Draft LPS, and that Council would consider alternate zoning if the owners submitted a request to change.</p> <p>This policy was adopted in light of the fact that Council was anecdotally aware that many landowners specifically do not want their land rezoned as a consequence of entering into such a covenant, whilst others do.</p> <p>If rezoning was an automatic consequence of entering into a conservation covenant, many such covenants would not have been created, leading to reduced environmental outcomes generally.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of Lot 2 Marked Tree Road, Hamilton, PID 3264597, CT 166564/2 should be amended to Landscape Conservation.</p>

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No.	From	Key Issues Raised	Assessment and Recommendation to Council
34.	Victoria Onslow & William Phipps Onslow	<p>Concerned for the preservation of the natural landscapes around Central Highlands.</p> <p>Request that the Scenic Protection Code be utilised in the LPS.</p> <p>Cites the need to protect the area's world class trout fishing, tourism and recreation industries.</p> <p>Particularly mentions the Steppes area.</p>	<p>Potentially agree.</p> <p>Whilst the creation of Scenic Protection Areas may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or impacted landowners in particular. A proposed change of this magnitude should only be considered through a specific planning scheme amendment process and be based on a professional study by a suitably qualified person to define the area(s).</p> <p><u>Local Planning Authority View:</u></p> <p>The establishment of the mooted Central Highlands Scenic Protection Area under the Scenic Protection Code along the Highland Lakes Road and Waddamana Road should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
35.	David Ridley	<p>Concerned for the preservation of the natural landscapes around Central Highlands.</p> <p>Requests that the Scenic Protection Area be created in the LPS covering those parts of the Central Plateau visible from Highland Lakes Road and Waddamana Road.</p> <p>Provides a very detail report “Central Highlands Scenic Protection Area (SPA), Tasmania”. This includes maps, photographs and a detailed and thorough analysis of landscape values.</p> <p>The submitter points out that the existing Rural Resource Zone contains some provisions pertaining to landscape protection whilst the new Rural and Agriculture Zones do not.</p>	<p>Potentially agree.</p> <p>Whilst the creation of Scenic Protection Areas may have merit, the introduction of such a significant planning mechanism cannot be undertaken in this process at this stage.</p> <p>There has been no formal consultation with the community generally or impacted landowners in particular. A proposed change of this magnitude should only be considered through a specific planning scheme amendment process and be based on a professional study by a suitably qualified person to define the area(s).</p> <p>The point that the transition from the existing Rural Resource Zone to the new Rural and Agriculture Zones will result in the removal of clauses pertaining to landscape impact is well made, and should be relevant to Council’s future consideration of this matter generally.</p> <p><u>Local Planning Authority View:</u></p> <p>The establishment of the mooted Central Highlands Scenic Protection Area under the Scenic Protection Code along the Highland Lakes Road and Waddamana Road should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
36.	Irene Inc Jacqui Blowfield, Senior Planner obo the No Turbine Action Group Inc (Central Highlands).	<p>Concerned that the mooted windfarm will significantly impact on the significant natural values of the areas around Liawenee, Todds Corner and St Patricks Plains.</p> <p>Supporting the submission is a biodiversity values assessment and a statement on the impact on Wedge-tailed eagles.</p> <p>Of particular focus is the proposed zoning of these areas to Agriculture and the subsequent omission of the Priority Vegetation Overlay of the Natural Assets Code. These areas have important natural values that ought to be protected in the new scheme.</p> <p>Suggests that the Landscape Conservation Zone is the most appropriate zone.</p>	<p>Partially agree.</p> <p>Recommended that the Rural Zone, and therefore the Priority Vegetation Overlay of the Natural Assets Code, apply to these areas.</p> <p>In regard to the proposed windfarm, it is noted that as the Local Planning Authority, Council must not pre-judge a possible development application upon which it may need to statutorily sit in judgment.</p> <p><u>Local Planning Authority View:</u></p> <p>A change of zoning to Landscape Conservation is not supported.</p> <p>The zone should be changed to Rural.</p> <p>The establishment of a Scenic Protection Area under the Scenic Protection Code in this area should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
37.	<p>Red Seal Urban & Regional Planning</p> <p>Trent Henderson, Principal Planner obo Jonathon Dorkings</p>	<p>Jonathon Dorkings is owner of 204 Meadowbank Road, Meadowbank, PID 7516181, CT 35385/2.</p> <p>The subject land is a small 3079m² rural lifestyle block, part of a cluster with seven similar -sized lots.</p> <p>Concern centres on the proposed Agriculture Zone.</p> <p>Request that the zone be Rural Living Zone to match the use and development of this land.</p> <p>The request is supported by a detailed planning report and an agricultural capability assessment by a qualified consultant – Geo-Environmental Solutions (GES).</p> <p>The GES report concludes the land is Class 6 agricultural land, i.e.: poor, with no capacity for cropping.</p> <p>Concludes that the subject land and the seven similar-sized adjacent lots should be Rural Living Zone.</p>	<p>Agree that the Agriculture Zone is inappropriate for this land and the seven similar adjacent titles.</p> <p>Recommend Rural Zone, however, not Rural Living Zone.</p> <p>Although small clusters of Rural Living Zone or Low Density Residential Zone are not uncommon, with many such small clusters around the Highland lakes.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of 204 Meadowbank Road, Meadowbank, PID 7516181, CT 35385/2 should be amended to Rural.</p> <p>The zoning of the similar lots in the same strip should be changed to Rural, subject to landowner consent.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
38.	John Toohey	<p>A regular visitor to the Central Highlands.</p> <p>Concerned that the intrinsic values, scenic values, aboriginal heritage, unique character and landscape values of the Highlands is maintained and protected.</p> <p>Suggests these tables in the LPS should not be left blank:</p> <p>A. Table C6.1 Local Heritage Places</p> <p>B. Table C6.3 Local Historic Landscape Precincts</p> <p>C. Table C6.4 Places or Precincts of Archaeological Potential</p> <p>D. Table C6.5 Significant Trees</p> <p>E. Table C8.1 Scenic Protected Areas</p> <p>F. Table C8.2 Scenic Road Corridors</p>	<p>A. Disagree.</p> <p>As Councillors will be aware, Council's preference is to include the existing Local Heritage Places list in the new LPS – but with spatial extents modified to match the revised equivalent listings on the Tasmanian Heritage Register. To transfer them without doing this would result in thousands of hectares of farmland unnecessarily listed for non-existent heritage values. This was apparently not possible, so the decision was made to remove the local list. It is noted that all places remain on the Tasmanian Heritage Register, and so remain protected.</p> <p>B. C. D. E & F Disagree.</p> <p>These various precincts, places and areas are not in the current planning scheme and there has been no work done to identify any and/or liaise with community and potentially impacted landowners. Council is not in a position to propose the introduction of these mechanisms as part of this current process.</p> <p><u>Local Planning Authority View:</u></p> <p>A. Table C6.1 Local Heritage Places should not be utilised as Council has been unable to manage the spatial extents of the listed properties to match the Tasmanian Heritage Register listings and the key areas of all properties are, in any case, listed on the THR, rendering the local list redundant.</p> <p>B. Table C6.3 Local Historic Landscape Precincts should not be utilised.</p> <p>C. Table C6.4 Places or Precincts of Archaeological Potential should not be utilised.</p> <p>D. Table C6.5 Significant Trees should not be utilised.</p> <p>E. and F. The establishment of a Scenic Protection Area and a Scenic Road Corridor under the Scenic Protection Code should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act, as per specific proposals subject of other representations.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
39.	Jacob Smith	<p>Owner of the former Principal's Cottage of Ouse School at 7011 Lyell Highway.</p> <p>States that this land is not zoned Village despite being part of the village of Ouse, next to the school.</p> <p>Under the Draft LPS it is proposed to be zoned Agriculture and is currently Rural Resource Zone.</p> <p>Notes that Council's Supporting Report states that there is insufficient need for more Village Zone land in Ouse pursuant to the Southern Tasmania Regional Land Use Strategy. However, the submitter argues that this strategy is out-of-date, being developed eleven years ago prior to the recent population boom in Tasmania which has led to a general shortage of housing supply.</p> <p>The land is unsuitable for an agricultural enterprise, being relatively small, adjacent to the school and unirrigated.</p> <p>Allowing the land to be subdivided would, in contrast, likely strengthen the school through increased student numbers.</p> <p>Request change to Village Zone.</p>	<p>Agree that the Southern Tasmania Regional Land Use Strategy is badly out of date.</p> <p>However, a structure plan or similar settlement analysis would need to be undertaken at Ouse to support a rezoning to Village.</p> <p>Nevertheless, the Agriculture Zone is considered inappropriate for the reasons raised by the submitter.</p> <p>Smaller titles such as this that are, in practice, part of villages but not zoned as such should be zoned Rural, as a 'holding zone'. This would allow easier consideration of town expansion in the future and to create a buffer around the townships.</p> <p><u>Local Planning Authority View:</u></p> <p>The zoning of 7011 Lyell Highway should be changed to Rural, as this will negate potential for land use conflict, especially in such close proximity to the school, and it will perform the function of a 'holding zone' in the short term.</p> <p>A structure plan for the township of Ouse, with input from the local community should be developed. This should follow completion of the Local Provisions Schedule development process and is to set out the preferred future development of the town and any subsequent zoning changes that ought to be made.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
40.	<p>Department of Primary Industries, Parks, Water & Environment.</p> <p>Tim Baker, Secretary</p>	<p>A. Does not support the zoning of the western half of the Interlaken Canal as Utilities Zone. Requests that it be Environmental Management Zone.</p> <p>States that the EMZ zones is necessary to protect the RAMSAR wetland <i>“from further encroachment and/or hydrological impact by the canal and associated works, now and in the future”</i>.</p> <p>B. Requests that a Public Reserve, PID 5475283, on the Lyell Highway be changed from Rural Zone. (Not stated which zone is requested).</p> <p>C. Request unallocated Crown Land at Brady’s Lagoon (PID 2541169) be changed from Agriculture Zone to Environmental Management Zone, as it contains threatened native vegetation.</p> <p>D. Notes that all references to the National parks and Reserves Land Regulations 2009 should be updated to the national Parks and reserves management regulations 2019.</p>	<p>A. Not agree:</p> <p>Council has zoned the eastern half of the canal as Utilities Zone. This section is on an adjacent title outside the RAMSAR area.</p> <p>In the Supporting Report, Council indicated its preference for the entire canal to be zoned Utilities, reflecting the reality on the ground and providing greater certainty that this key component of the Clyde irrigation district can continue operating properly into the future.</p> <p>B. Agree.</p> <p>Public Reserves are generally appropriately zoned Environmental Management Zone.</p> <p>C. Agree.</p> <p>Change to the Environmental Management Zone.</p> <p>D. Noted.</p> <p>A matter for the State Government to address within the State Planning Provisions.</p> <p><u>Local Planning Authority View:</u></p> <p>A. Council maintains its view that the whole canal should be zoned Utilities, reflecting the reality on the ground.</p> <p>B. The zoning of Public Reserve, PID 5475283, should be changed to Environmental Management.</p> <p>C. The zoning of unallocated Crown Land at Brady’s Lagoon (PID 2541169) should be changed to Environmental Management.</p> <p>D. Noted.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
41.	<p>Susanne and Dean Klower</p> <p>Received at 8:58pm, 22 October 2021. After the advertised deadline of close of business 22 October 2021.</p> <p>The Planning Commission have advised it is up to Council to decide if late submissions will be accepted.</p>	<p>Owns land at 735 Arthurs Lake Road, Arthurs Lake.</p> <p>Concerned with the proposed extent of rezoning to the Agriculture Zoning in the area, and that this will lead to loss of important values.</p> <p>Cites the proposed wind farm at St Patricks Plains as an example – on land proposed to be Agriculture Zone yet contains many significant natural values.</p>	<p>Agree.</p> <p>This accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'.</p> <p>Recommend that the extent of the proposed Agriculture Zone be substantially reviewed using the 'decision tree' document that the Southern councils jointly developed.</p> <p>In regard to the proposed windfarm, it is noted that as the Local Planning Authority, Council must not pre-judge a possible development application upon which it may need to statutorily sit in judgment.</p> <p><u>Local Planning Authority View:</u></p> <p>The late submission should be accepted.</p> <p>The Agriculture Zone has been applied far too widely and covers relatively poor quality land and land dominated by natural values and forestry. The application of the Agriculture Zone should be reviewed across the municipal area in accordance with the AK Consulting Decision Tree adopted by all Southern Councils.</p> <p>The establishment of a Scenic Protection Area under the Scenic Protection Code in this area should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>

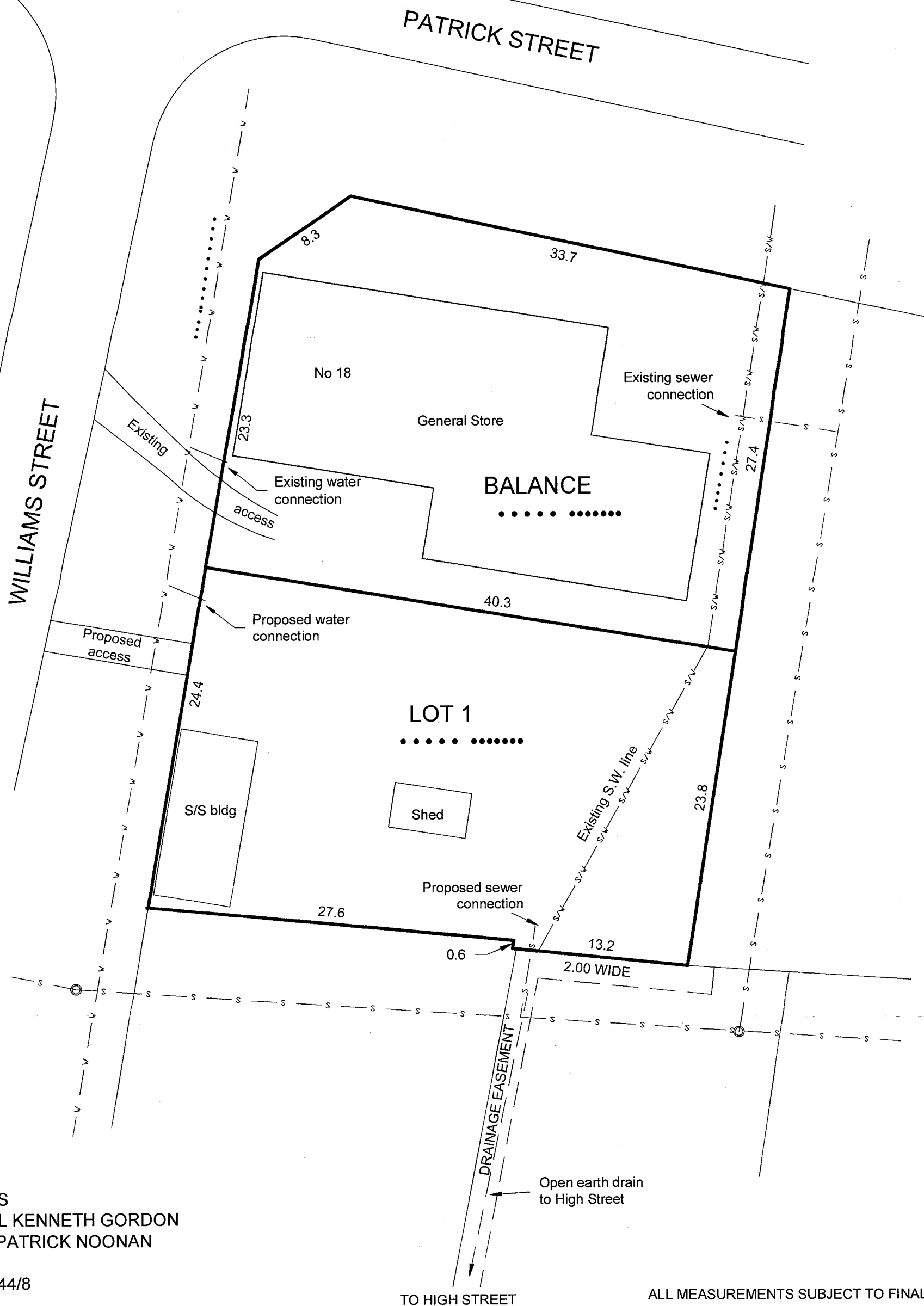
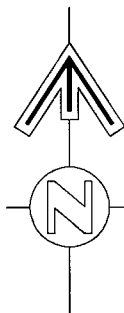
Central Highlands Draft LPS - Representations Assessment Table – 9 November 2021

No.	From	Key Issues Raised	Assessment and Recommendation to Council
42.	<p>T.L Wood</p> <p>Received at 5:27pm, 22 October 2021. After the advertised deadline of close of business 22 October 2021.</p> <p>The Planning Commission have advised it is up to Council to decide if late submissions will be accepted.</p>	<p>Concerned with the proposed extent of rezoning to the Agriculture Zoning in the area, and that this will lead to loss of important values.</p>	<p>Agree.</p> <p>This accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'.</p> <p>Recommend that the extent of the proposed Agriculture Zone be substantially reviewed using the 'decision tree' document that the Southern councils jointly developed.</p> <p><u>Local Planning Authority View:</u></p> <p>The late submission should be accepted.</p> <p>The Agriculture Zone has been applied far too widely and covers relatively poor quality land and land dominated by natural values and forestry. The application of the Agriculture Zone should be reviewed across the municipal area in accordance with the AK Consulting Decision Tree adopted by all Southern Councils.</p>

No.	From	Key Issues Raised	Assessment and Recommendation to Council
43.	<p>Odile Foster</p> <p>Received on 23 October 2021. After the advertised deadline of close of business 22 October 2021. The Planning Commission have advised it is up to Council to decide if late submissions will be accepted.</p>	<p>Owner of shack at Miena</p> <p>Concerned with the proposed extent of rezoning to the Agriculture Zoning in the area, and that this will lead to loss of important values.</p> <p>Cites the proposed wind farm at St Patricks Plains as an example – on land proposed to be Agriculture Zone yet contains many significant natural values.</p>	<p>Agree.</p> <p>This accords with Council's view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as 'land potentially suitable for the Agriculture Zone'.</p> <p>Recommend that the extent of the proposed Agriculture Zone be substantially reviewed using the 'decision tree' document that the Southern councils jointly developed.</p> <p>In regard to the proposed windfarm, it is noted that as the Local Planning Authority, Council must not pre-judge a possible development application upon which it may need to statutorily sit in judgment.</p> <p><u>Local Planning Authority View:</u></p> <p>The late submission should be accepted.</p> <p>The Agriculture Zone has been applied far too widely and covers relatively poor quality land and land dominated by natural values and forestry. The application of the Agriculture Zone should be reviewed across the municipal area in accordance with the AK Consulting Decision Tree adopted by all Southern Councils.</p> <p>The establishment of a Scenic Protection Area under the Scenic Protection Code in this area should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>

Central Highlands Draft LPS - Representations Assessment Table – 9 November 2021

No.	From	Key Issues Raised	Assessment and Recommendation to Council
44.	<p>William John Gunn</p> <p>Received on 25 October 2021. After the advertised deadline of close of business 22 October 2021. The Planning Commission have advised it is up to Council to decide if late submissions will be accepted.</p>	<p>Owner of house at Miena.</p> <p>Concerned with proposed changes to the planning scheme “as it appears to be mainly to allow the development of many more wind towers”.</p> <p>Concerned of the impact on the natural landscape ‘over the whole community’.</p>	<p>Agree, generally.</p> <p>It is assumed the changes to the planning scheme referred to are the rezoning of large areas of Highland Lakes land to Agriculture, rather than Rural, especially at St Patricks Plains.</p> <p>This underlying sentiment accords with Council’s general view that the Agriculture Zone has been applied far too widely within Central Highlands, covering land that is clearly not agricultural land of any significance. Significant areas of land that are dominated by rural lifestyle blocks, forestry and/or nature conservation have been inappropriately mapped as ‘land potentially suitable for the Agriculture Zone’. This includes St Patricks Plains.</p> <p>In regard to the proposed windfarm, it is noted that as the Local Planning Authority, Council must not pre-judge a possible development application upon which it may need to statutorily sit in judgment.</p> <p><u>Local Planning Authority View:</u></p> <p>The late submission should be accepted.</p> <p>The establishment of a Scenic Protection Area under the Scenic Protection Code in this area should be explored through a planning scheme amendment process potentially pursuant to Section 35KB of the Act.</p>
45	<p>Sue Chandler</p>	<p>Raises general concerns about the impact of development on wilderness values.</p> <p>The representation does not propose any specific changes to the Draft LPS.</p>	<p>No view can be formed.</p>



OWNERS
MICHAEL KENNETH GORDON
SHANE PATRICK NOONAN

C.T. 28244/8

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TONY WOOLFORD

PROPOSED SUBDIVISION
18 PATRICK STREET
BOTHWELL

SCALE 1: 300 (A3)

DATE: December 2021

DRAWN: IDS/TNW

DWG NO. D1108-1



T. N. WOOLFORD & ASSOCIATES
LAND & ENGINEERING SURVEYORS
72 GRAHAMS RD, MT. RUMNEY

Phone (03) 6248 5224

m: 0418 248 569
e: tnwoolford@tassie.net.au

✱ ✱
REPLACE WITH
SHIPPING CONTAINER
1 MT SIDE
SET BACK

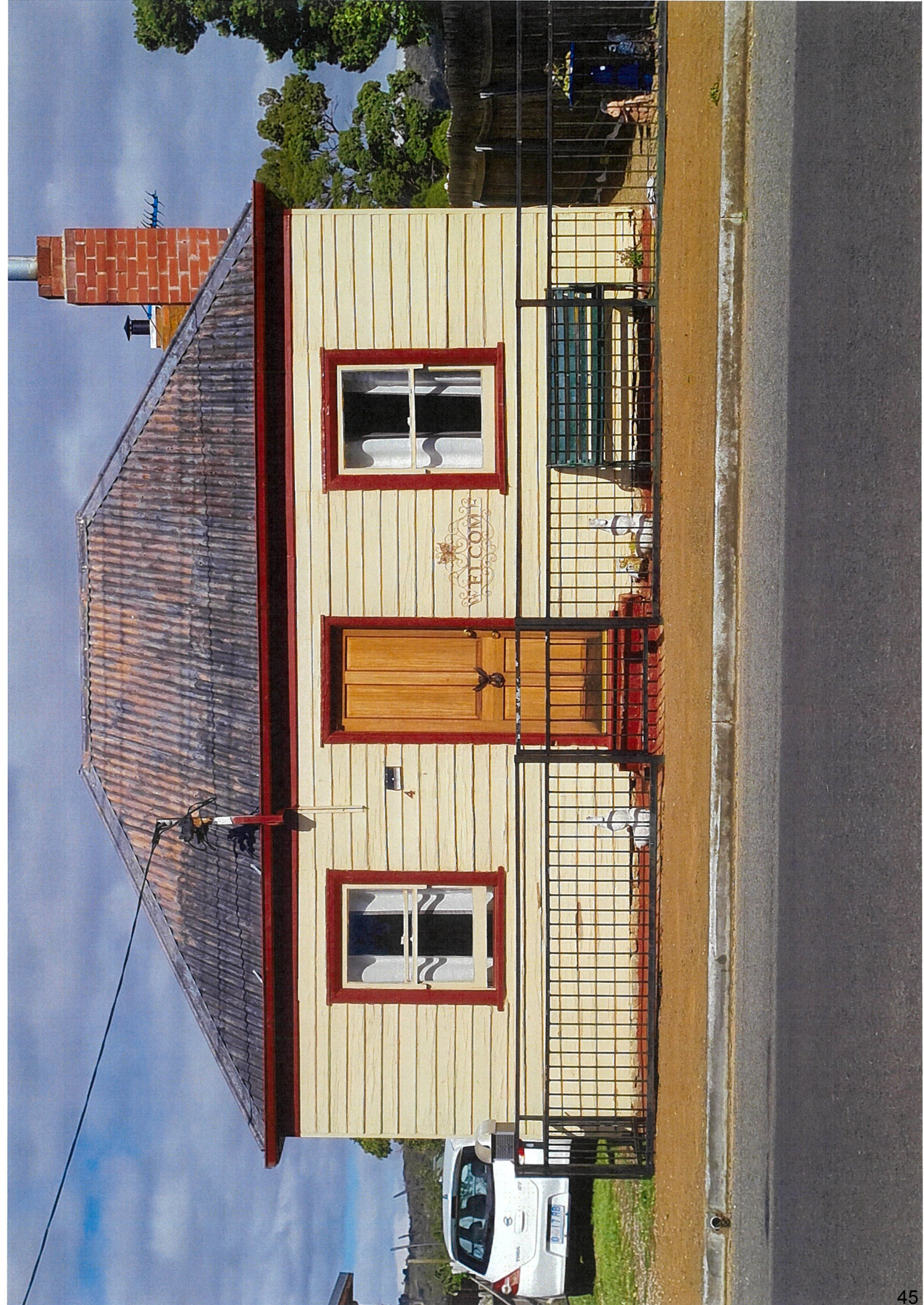
1 MT.

DEMOLISH
OLD SHED

2 MT.

2 MT MIN

2 MT MIN











Tas 7030

9th March 2022

Re: 4 Dennistoun Road, Bothwell Proposal: Replacement of Windows & Fence, Demolition of Shed, Outbuilding DA Number: DA 2022 / 00010

My objection to this application is in the use of Colourbond Cladding replacing the original weatherboards and aluminium windows replacing the timber sash windows.

I am concerned that the proposed alterations to this property will permanently and negatively alter the historic building's character and style. Given the fact that it is surrounded by heritage listed buildings in the immediate vicinity (1-3, 5, 7, 8-10 Dennistoun Road), this would potentially devalue the heritage values of these listed buildings and the historic streetscape.

I have noticed another old building just up from the post office that has had the same treatment (metal cladding over weatherboards and modern aluminium windows) and it has ruined any historic value the building had and spoiled the streetscape which apart from the Elders building was a complete row of historic facades.

I believe the town is having a resurgence of interest from people attracted to the heritage values and history of the town. I myself am a new - comer to the area as are the people either side of me and we have all been attracted to the town for its heritage values and charm. Surely it is in Council's interest to see these charming old buildings faithfully restored and cared for, particularly the street frontages.

I value these small semi rustic workers cottages just as much as the beautiful larger properties of the landed gentry scattered throughout the area and as someone who has worked on and restored a number of older buildings I am sure the existing windows and weatherboards could be brought back to good working order within a reasonable budget and make the property something the owner can feel a real sense of pride in as opposed to how it will present with colourbond cladding and modern aluminium windows..

Unfortunately, these objections probably do not relate back to any planning codes the council currently has in relation to non-heritage buildings – perhaps if this is the case we need to consider changes to the planning rules before the charm and character of this historic village is further degraded.

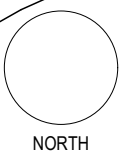
Regards,

DWG NO.	DRAWING	REV
A000	COVER PAGE	02
A101	LOCATION PLAN	01
A102	PROPOSED SITE PLAN	02
A103	SITE DRAINAGE PLAN	01
A202	GROUND AND ROOF PLANS	02
A301	SITE ELEVATION 1	01
A302	SITE SECTION 1	01
A303	ELEVATIONS	02
A304	ELEVATIONS	01
A701	PERSPECTIVE VIEWS	02
A702	PERSPECTIVE VIEWS	02



○ EXTERIOR PERSPECTIVE 1: ALL UNITS

NCC BUILDING CLASSIFICATION(S):	
CLASS 1a (DWELLINGS) AND CLASS 10b (SHED)	
BAL ASSESSMENT:	TBA (AS3959-2018)
NEW GROUND FLOOR:	118.6m ²
NEW DECKS:	29.6m ²
TOTAL AREA:	148.2m ²
TOTAL NEW BUILD (3x BUILDINGS) 444.6m ²	
NEW SHED:	19m ²
PLANNING ZONE: 12.0 LOW DENSITY RESIDENTIAL	
LAND TITLE REF:	134169/13
PROPERTY ID:	1985315
SOIL CLASSIFICATION:	TBA (AS2870-2011)
WIND CLASSIFICATION:	TBA (AS4055-2012)
CLIMATE ZONE:	8 (ALPINE) (NCC 2019)
ALPINE AREA:	YES (NCC 2019)
CORROSION ENV:	C3 MEDIUM (AS4312-2008)
DRAWINGS TO BE READ IN CONJUNCTION WITH ANY WRITTEN SPECIFICATIONS AND ANY ASSOCIATED DOCUMENTATION PREPARED BY SUB-CONSULTANTS	
BOUNDARY INFORMATION AND CONTOURS HAVE BEEN SOURCED FROM THE LIST AND ELVIS FOUNDATION SPATIAL DATA AND IS APPROXIMATE.	
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS	
DIMENSIONS IN MILLIMETRES UNLESS NOTED OTHERWISE	
DOCUMENTATION IS SUBJECT TO STATUTORY APPROVALS	
THIS DESIGN IS INTENDED TO BE BUILT ONLY ONCE AND ONLY ON THE SITE THAT THE DESIGN WAS PREPARED FOR	
IMPORTANT	
WORKS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARDS, CONSTRUCTION CODES (NCC) & REQUIREMENTS OF ANY RELEVANT LOCAL AUTHORITIES	
ARTISTS IMPRESSIONS ARE INDICATIVE	



ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: (A3)

REV	AMENDMENT	DATE
01	SKETCH DESIGN	21/10/2021
02	DEVELOPMENT APPLICATION	21/12/2021

DEVELOPMENT APPLICATION

COVER PAGE

DWG: **A000**
PROJECT: **P21037**

REV: **02**





BAL ASSESSMENT: TBA
(AS3959-2018)

PLANNING ZONE:
12.0 LOW DENSITY RESIDENTIAL

SOME ITEMS LISTED BELOW MAY
NOT BE APPLICABLE

REFER MATERIALS & FINISHES
SCHEDULE FOR FURTHER DETAIL

BOL: BOLLARD

EX: EXISTING

FH: FIRE HYDRANT

FL: FLOOR LEVEL

MH: MANHOLE

RL: RELATIVE LEVEL

SH: SHED / OUTBUILDING

WHT: WATER HARVESTING TANK

AG: AG-DRAIN

COM: COMMS LINE

G: GAS LINE

HV: HV POWER LINE

LV: LV POWER LINE

S: SEWER LINE

SW: STORMWATER

W: WATER LINE

LEVELS AND DIMENSIONS TO BE
CONFIRMED ON SITE

UTILITY CONNECTION LOCATIONS
TO BE CONFIRMED ON SITE

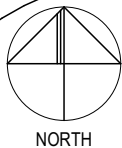
SITE ACCESS TO BE PROVIDED WITH
APPLICABLE TURNING AND
TRANSITION REQUIREMENTS

PRODUCTS AND SYSTEMS TO BE
INSTALLED AND / OR USED AS PER
MANUFACTURER'S INSTRUCTIONS

IMPORTANT
WORKS ARE TO BE IN ACCORDANCE
WITH THE APPLICABLE AUSTRALIAN
STANDARDS, CONSTRUCTION
CODES (NCC) & REQUIREMENTS OF
ANY RELEVANT LOCAL AUTHORITIES

LOCATION PLAN
1:2000

CBM Sustainable Design
LTN: 51 York Street, PO Box 1971, Launceston TAS 7250
HBT: 1 Kyeema Place, Cambridge TAS 7170
VIC: Level 14, 390 St Kilda Road, Melbourne VIC 3004
NSW: Impact Centre, 19 Chetwynd Road, Erina NSW 2250
P: +613 6332 6988 E: info@cbmgroup.com.au A: CC1113Z



ACCOMMODATION UNITS
1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030
SIMCO (TAS) PTY LTD
SCALE: **1:2000 (A3)**

REV	AMENDMENT	DATE
01	DEVELOPMENT APPLICATION	21/12/2021

DEVELOPMENT APPLICATION

ISSUED BY:
dstanford
DRAWN BY:
jdingemanse,
dstanford
APPROVED BY:
jdingemanse

LOCATION PLAN

DWG: **A101**
PROJECT: **P21037**

REV: **01**



BAL ASSESSMENT: TBA
(AS3959-2018)

SITE AREA: 3097.5m²
NEW FOOTPRINT: 463.6m²
SITE COVERAGE: 14.9%

SOME ITEMS LISTED BELOW MAY NOT BE APPLICABLE

REFER MATERIALS & FINISHES SCHEDULE FOR FURTHER DETAIL

BOL: BOLLARD
EX: EXISTING
FH: FIRE HYDRANT
FL: FLOOR LEVEL
MH: MANHOLE
RL: RELATIVE LEVEL
SH: SHED / OUTBUILDING
WHT: WATER HARVESTING TANK

AG

AG-DRAIN

COM

COMMS LINE

G

GAS LINE

HV

HV POWER LINE

LV

LV POWER LINE

S

SEWER LINE

SW

STORMWATER

W

WATER LINE

LEVELS AND DIMENSIONS TO BE CONFIRMED ON SITE

UTILITY CONNECTION LOCATIONS TO BE CONFIRMED ON SITE

SITE ACCESS TO BE PROVIDED WITH APPLICABLE TURNING AND TRANSITION REQUIREMENTS

VEHICLES TO ONLY BE PARKED IN DESIGNATED AREAS

CUT-OFF AND AG-DRAINS TO BE INSTALLED PRIOR TO EXCAVATION OF FOOTINGS

EXCAVATED MATERIAL TO BE PLACED UP-SLOPE OF DRAINS AND SEDIMENT FENCES INSTALLED DOWN-SLOPE OF MATERIAL

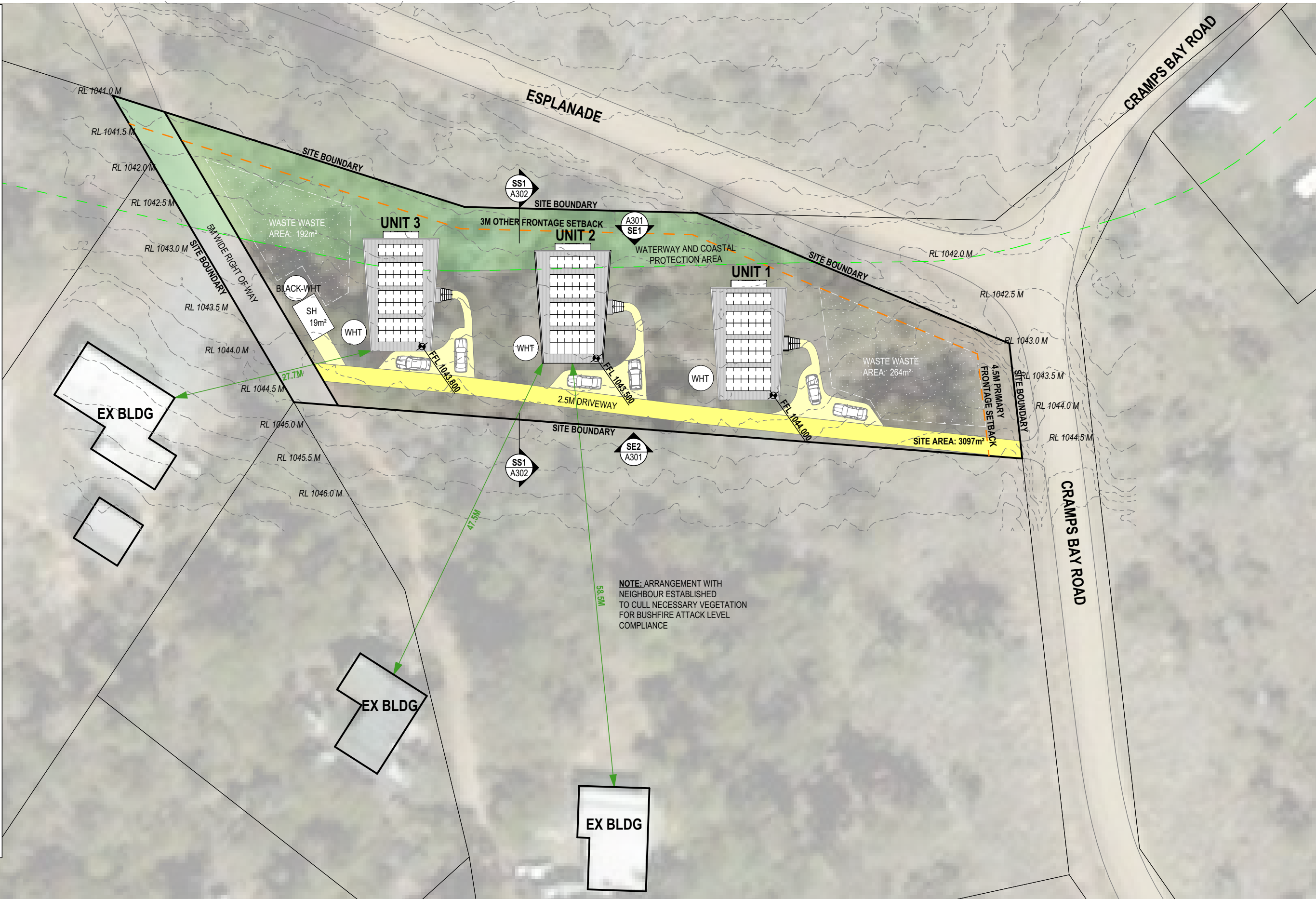
EXCAVATED MATERIAL TO BE USED WHERE SITE WORKS REQUIRE FILL, BEFORE EXCESS MATERIAL IS PROPERLY REMOVED FROM SITE

DOWNPIPES TO BE CONNECTED TO RELEVANT SYSTEM AS SOON AS ROOF IS INSTALLED

PRODUCTS AND SYSTEMS TO BE INSTALLED AND / OR USED AS PER MANUFACTURER'S INSTRUCTIONS

IMPORTANT

WORKS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARDS, CONSTRUCTION CODES (NCC) & REQUIREMENTS OF ANY RELEVANT LOCAL AUTHORITIES



PROPOSED SITE PLAN

1:500

CBM Sustainable Design

LTN: 51 York Street, PO Box 1971, Launceston TAS 7250
HBT: 1 Kyeema Place, Cambridge TAS 7170
VIC: Level 14, 390 St Kilda Road, Melbourne VIC 3004
NSW: Impact Centre, 19 Chetwynd Road, Enna NSW 2250
P: +613 6332 6988 E: info@cbmgroup.com.au A: CC1113Z

ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: 1:500 (A3)

DEVELOPMENT APPLICATION

REV	AMENDMENT	DATE
01	SKETCH DESIGN	21/10/2021
02	DEVELOPMENT APPLICATION	21/12/2021

ISSUED BY: dstanford

DRAWN BY: jdingemanse, dstanford

APPROVED BY: jdingemanse

PROPOSED SITE PLAN

DWG: A102

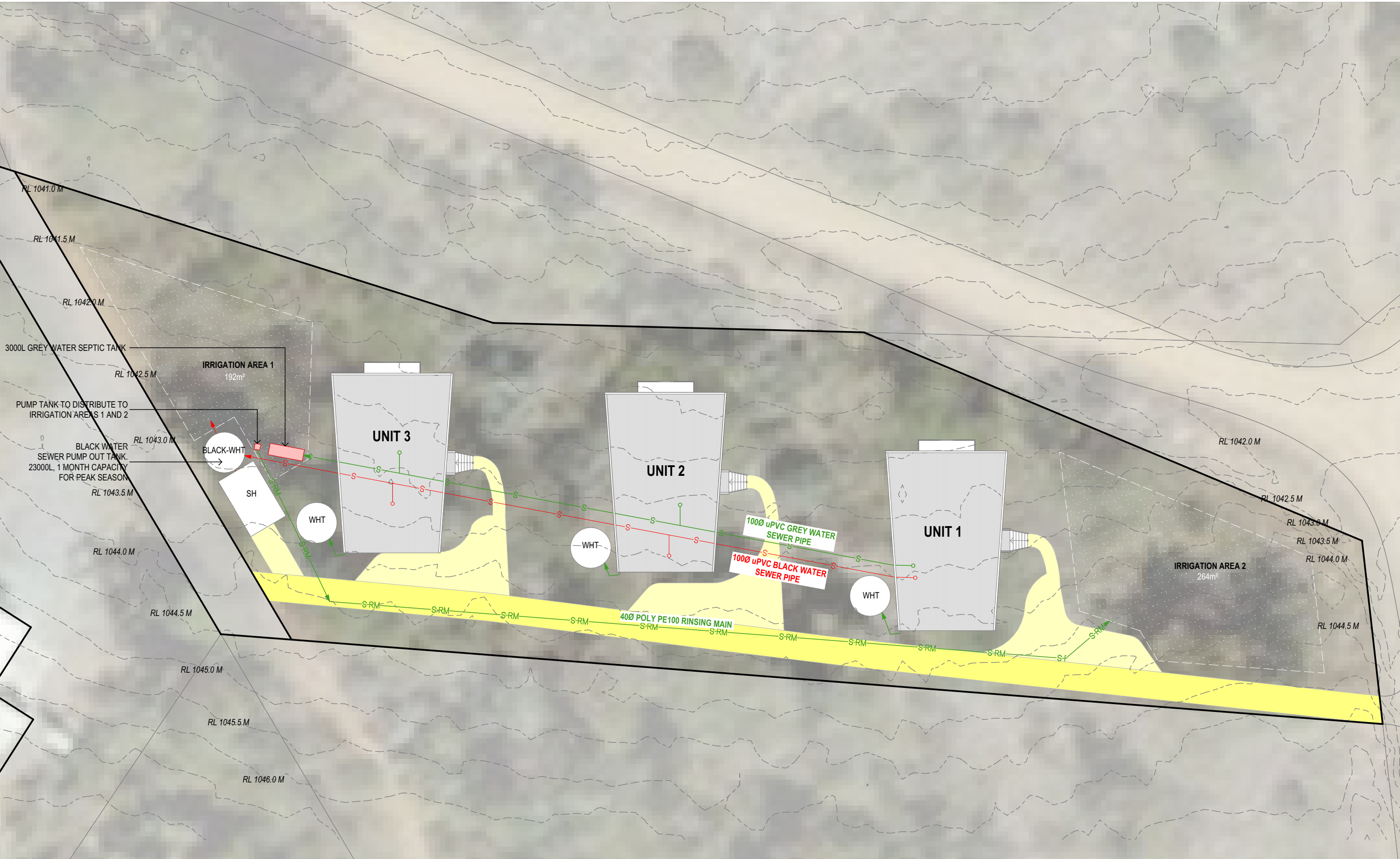
PROJECT: P21037


REV: 02

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53

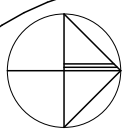




SITE DRAINAGE PLAN

1:300

LTN: 51 York Street, PO Box 1971, Launceston TAS 7250
HBT: 1 Kyeema Place, Cambridge TAS 7170
VIC: Level 14, 390 St Kilda Road, Melbourne VIC 3004
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NORTH

ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: 1:300 (A3)

REV	AMENDMENT	DATE
01	DEVELOPMENT APPLICATION	21/12/2021

ISSUED BY:
dstanford

DRAWN BY:
jdingemans,
dstanford

APPROVED BY:
jdingemans


DEVELOPMENT APPLICATION

SITE DRAINAGE PLAN

DWG: A103

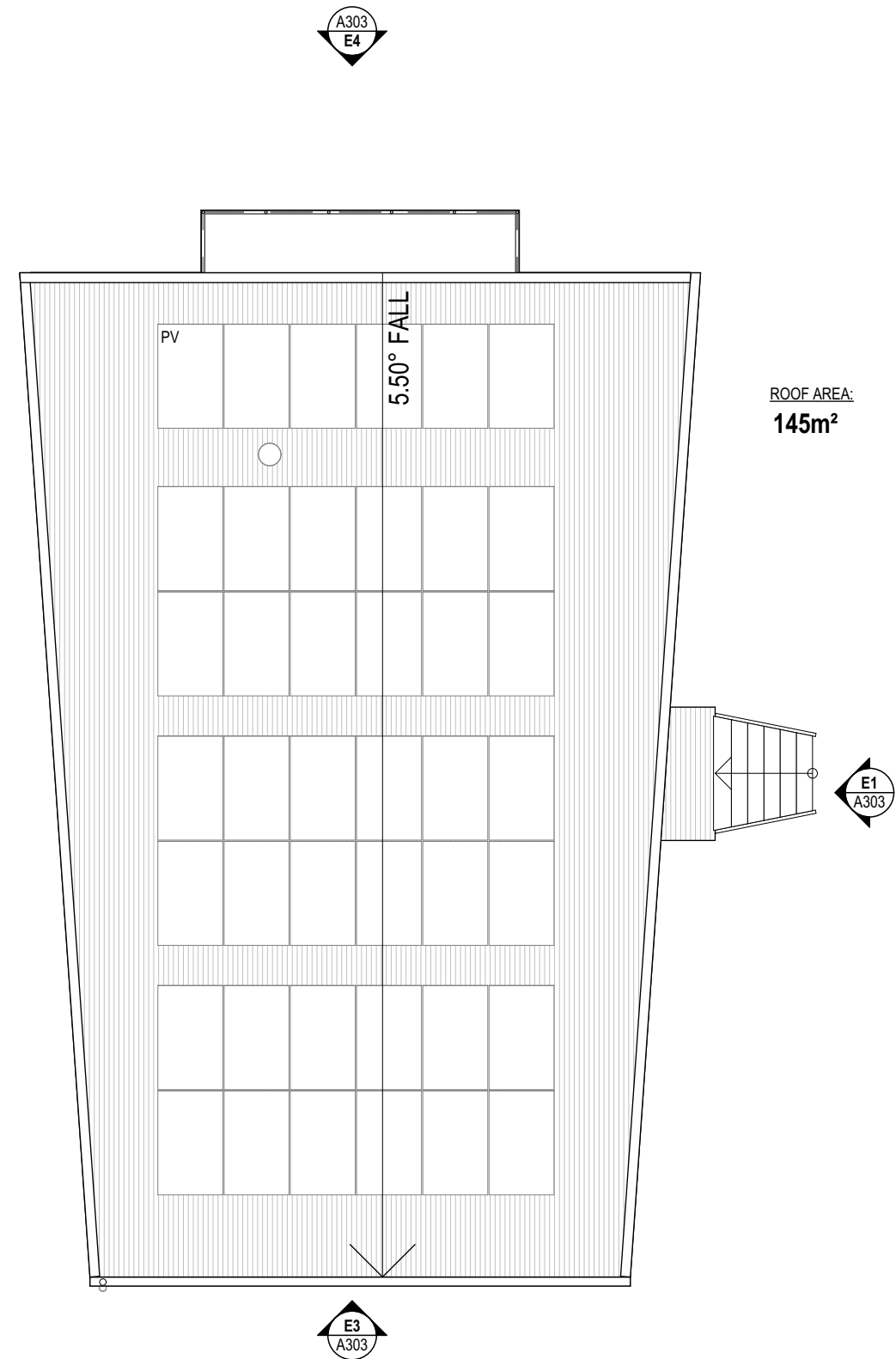
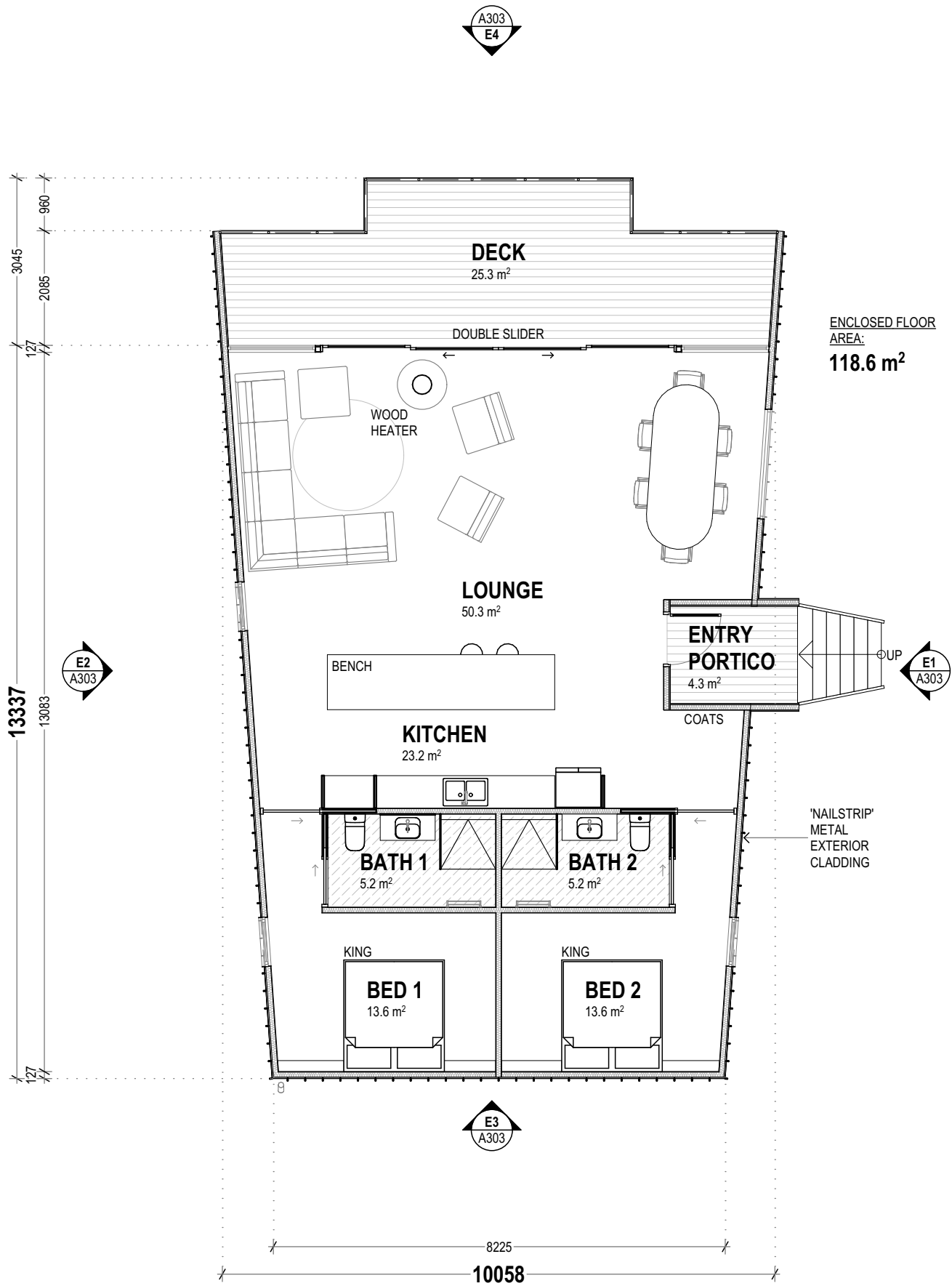
PROJECT: P21037

REV: 01



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GROUND FLOOR PLAN
1:100

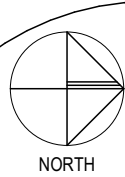
ROOF PLAN
1:100

DEVELOPMENT APPLICATION



CBM Sustainable Design
LTN: 51 York Street, PO Box 1971, Launceston TAS 7250
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VIC: Level 14, 390 St Kilda Road, Melbourne VIC 3004
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P: +613 6332 6988 E: info@cbmgroup.com.au A: CC1113Z



ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: (A3)

REV	AMENDMENT	DATE
01	SKETCH DESIGN	21/10/2021
02	DEVELOPMENT APPLICATION	21/12/2021

ISSUED BY: dstanford
DRAWN BY: jdingemans, dstanford
APPROVED BY: jdingemans

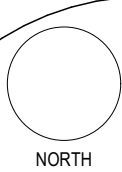
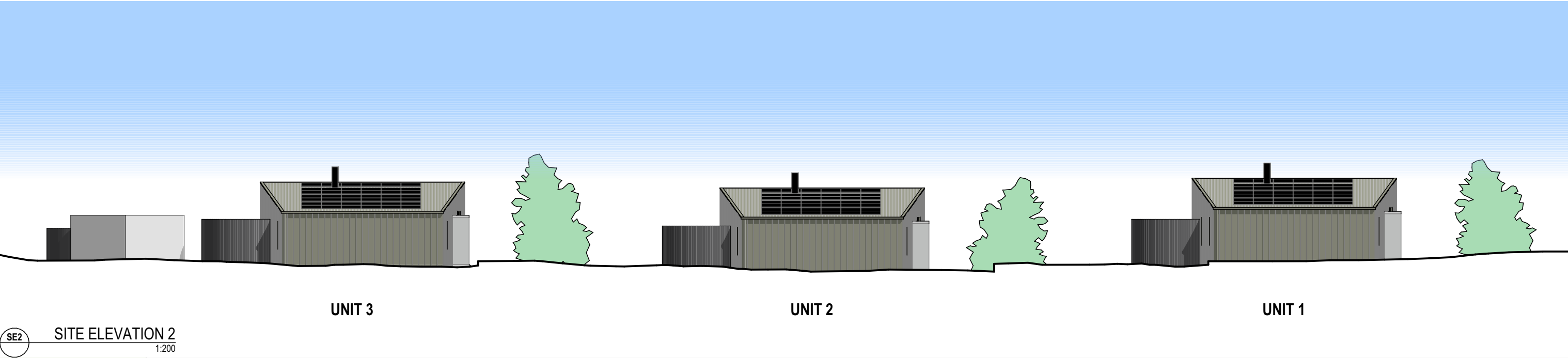
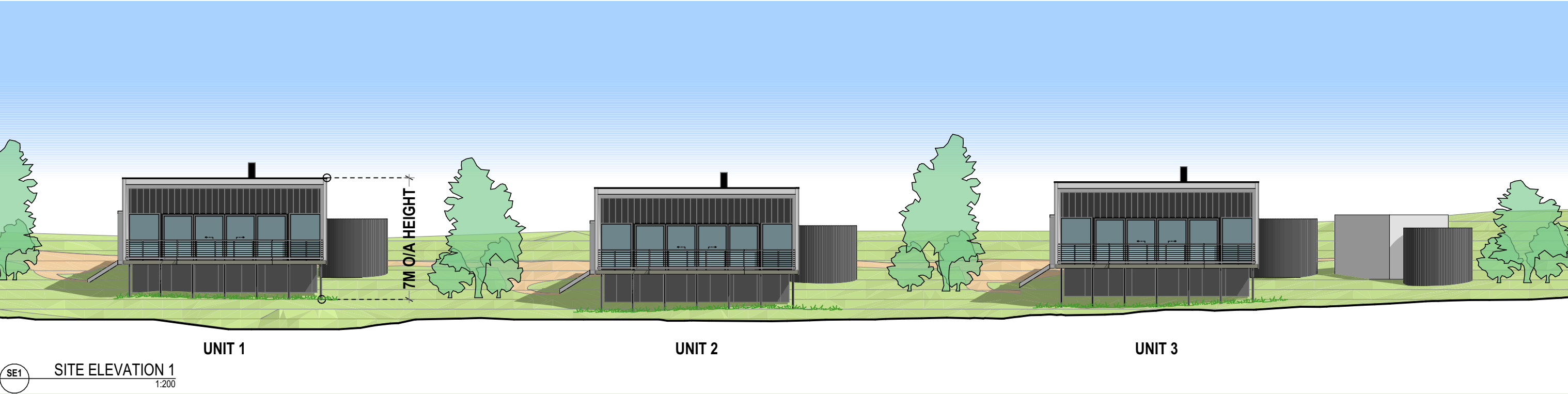
GROUND AND ROOF PLANS

DWG: **A202**
PROJECT: **P21037**

REV: **02**



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ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: 1:200 (A3)

REV	AMENDMENT	DATE
01	DEVELOPMENT APPLICATION	21/12/2021

DEVELOPMENT APPLICATION

ISSUED BY: dstanford
DRAWN BY: jdingemane, dstanford
APPROVED BY: jdingemane

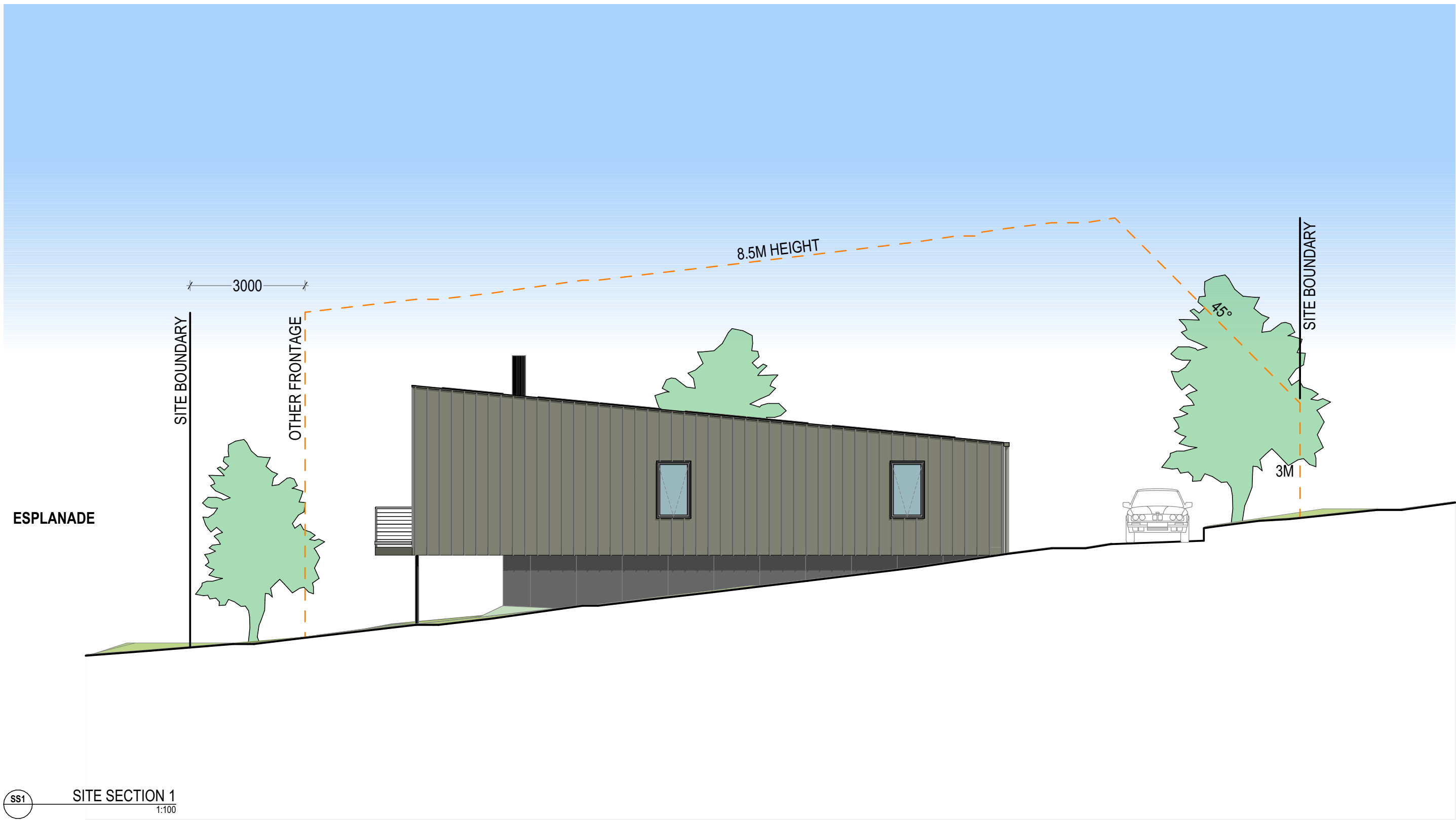
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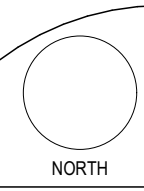
PROJECT: P21037

REV: 01





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ACCOMMODATION UNITS
1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030
SIMCO (TAS) PTY LTD
SCALE: **1:100 (A3)**

REV	AMENDMENT	DATE
01	DEVELOPMENT APPLICATION	21/12/2021

DEVELOPMENT APPLICATION
SITE SECTION 1
DWG: **A302**
PROJECT: **P21037**

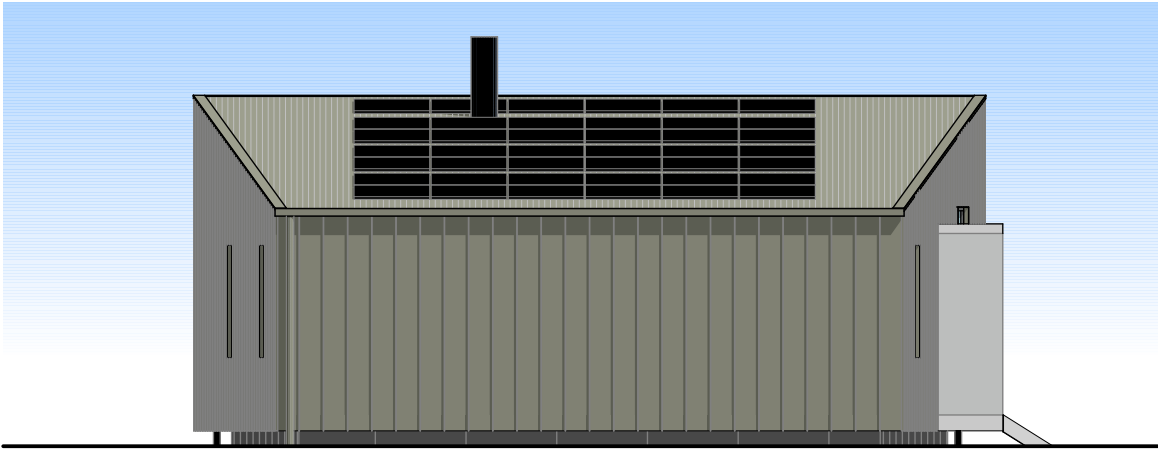
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REV: **01**

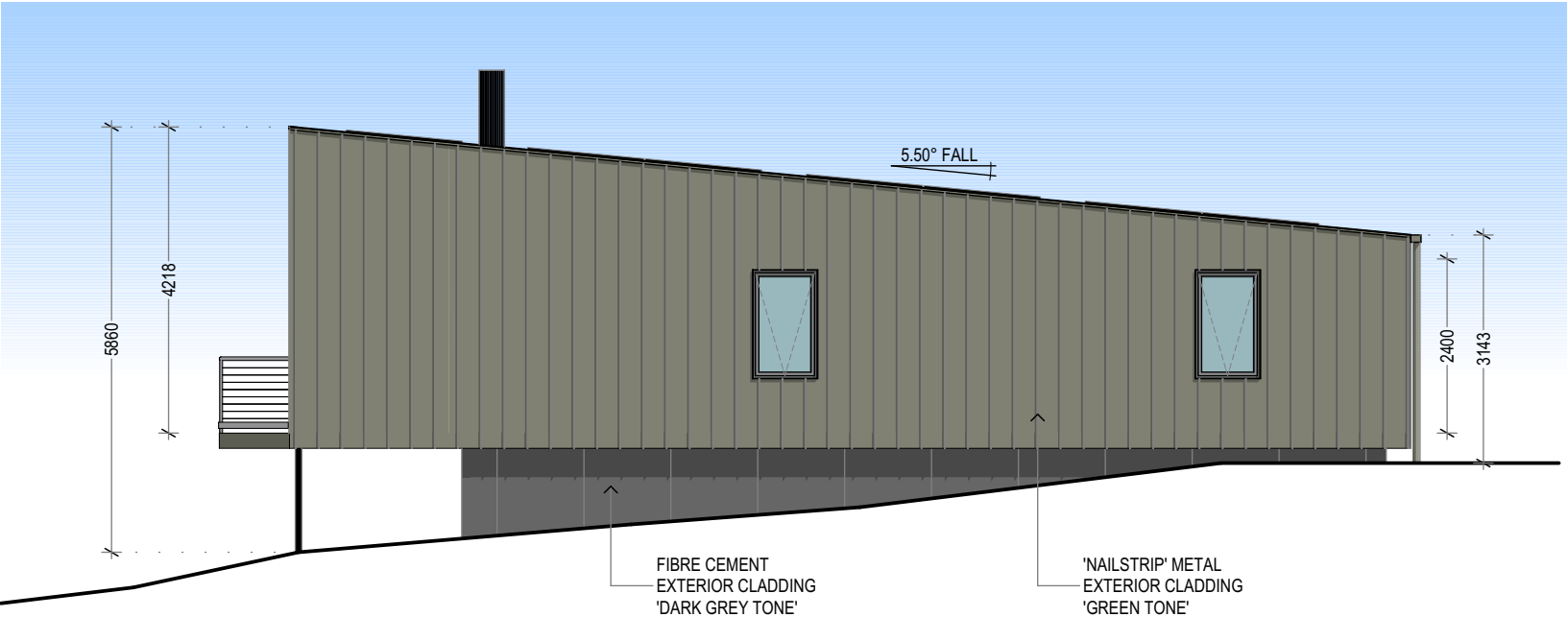

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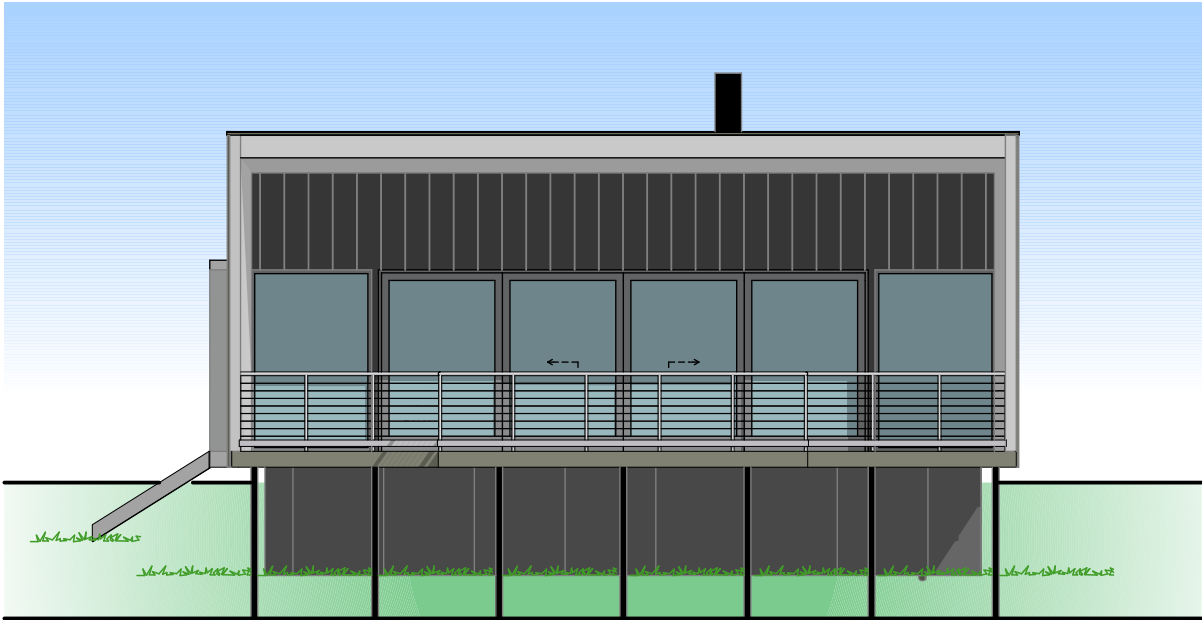
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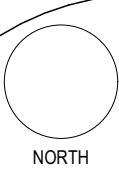
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1:100



E2 TYPICAL SOUTH ELEVATION
1:100



E4 TYPICAL WEST ELEVATION
1:100



ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: 1:100 (A3)

REV	AMENDMENT	DATE
01	SKETCH DESIGN	21/10/2021
02	DEVELOPMENT APPLICATION	21/12/2021

DEVELOPMENT APPLICATION

ISSUED BY:
dstanford

DRAWN BY:
jdingemane,
dstanford

APPROVED BY:
jdingemane

ELEVATIONS

DWG: **A303**

PROJECT: **P21037**

REV: **02**

0m 1m 5m





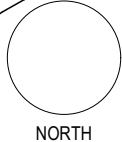
2 EXTERIOR PERSPECTIVE 2: ALL UNITS

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ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: (A3)

REV	AMENDMENT	DATE
01	SKETCH DESIGN	21/10/2021
02	DEVELOPMENT APPLICATION	21/12/2021

DEVELOPMENT APPLICATION

ISSUED BY:
dstanford

DRAWN BY:
jdingemane,
dstanford

APPROVED BY:
jdingemane

PERSPECTIVE VIEWS

DWG: **A701**

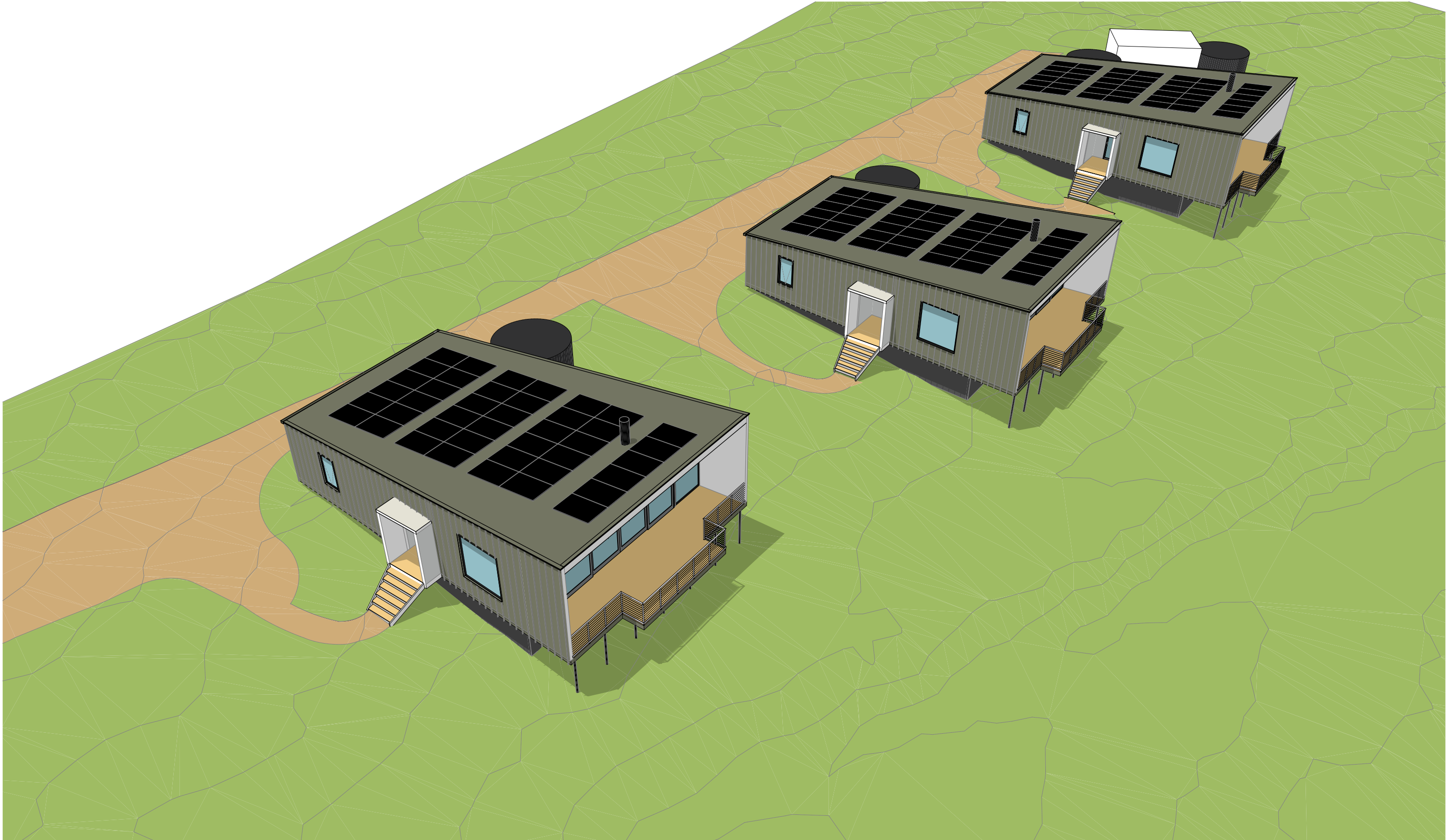
PROJECT: **P21037**

REV: **02**



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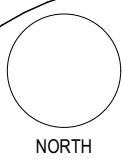
EXTERIOR PERSPECTIVE 3: ALL UNITS

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ACCOMMODATION UNITS

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SCALE: (A3)

REV	AMENDMENT	DATE
01	SKETCH DESIGN	21/10/2021
02	DEVELOPMENT APPLICATION	21/12/2021

DEVELOPMENT APPLICATION

ISSUED BY: dstanford
DRAWN BY: jdjngemane, dstanford
APPROVED BY: jdjngemane

PERSPECTIVE VIEWS

DWG: **A702**
PROJECT: **P21037**

REV: **02**



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BAL ASSESSMENT: TBA
(AS3959-2018)

SITE AREA: 3097.5m²
NEW FOOTPRINT: 463.6m²
SITE COVERAGE: 14.9%

SOME ITEMS LISTED BELOW MAY NOT BE APPLICABLE

REFER MATERIALS & FINISHES SCHEDULE FOR FURTHER DETAIL

BOL: BOLLARD
EX: EXISTING
FH: FIRE HYDRANT
FL: FLOOR LEVEL
MH: MANHOLE
RL: RELATIVE LEVEL
SH: SHED / OUTBUILDING
WHT: WATER HARVESTING TANK

AG: AG-DRAIN
COM: COMMS LINE
G: GAS LINE
HV: HV POWER LINE
LV: LV POWER LINE
S: SEWER LINE
SW: STORMWATER
W: WATER LINE

LEVELS AND DIMENSIONS TO BE CONFIRMED ON SITE

UTILITY CONNECTION LOCATIONS TO BE CONFIRMED ON SITE

SITE ACCESS TO BE PROVIDED WITH APPLICABLE TURNING AND TRANSITION REQUIREMENTS

VEHICLES TO ONLY BE PARKED IN DESIGNATED AREAS

CUT-OFF AND AG-DRAINS TO BE INSTALLED PRIOR TO EXCAVATION OF FOOTINGS

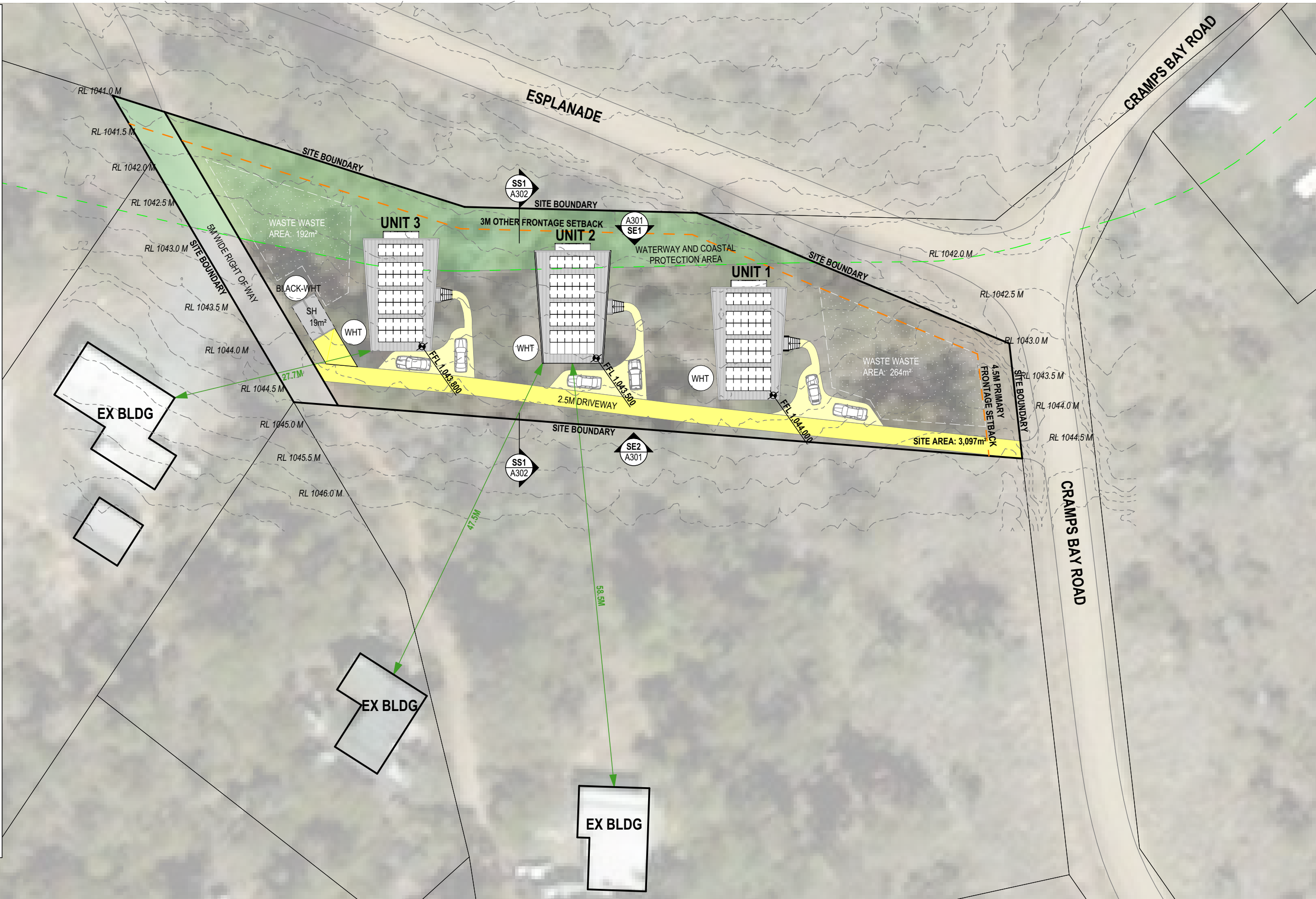
EXCAVATED MATERIAL TO BE PLACED UP-SLOPE OF DRAINS AND SEDIMENT FENCES INSTALLED DOWN-SLOPE OF MATERIAL

EXCAVATED MATERIAL TO BE USED WHERE SITE WORKS REQUIRE FILL, BEFORE EXCESS MATERIAL IS PROPERLY REMOVED FROM SITE

DOWNPINES TO BE CONNECTED TO RELEVANT SYSTEM AS SOON AS ROOF IS INSTALLED

PRODUCTS AND SYSTEMS TO BE INSTALLED AND / OR USED AS PER MANUFACTURER'S INSTRUCTIONS

IMPORTANT
WORKS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARDS, CONSTRUCTION CODES (NCC) & REQUIREMENTS OF ANY RELEVANT LOCAL AUTHORITIES



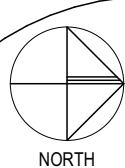
PROPOSED SITE PLAN
1:500

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ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: 1:500 (A3)

REV	AMENDMENT	DATE
01	SKETCH DESIGN	21/10/2021
02	DEVELOPMENT APPLICATION	21/12/2021
03	DEVELOPMENT APPLICATION RFI	24/03/2022

DEVELOPMENT APPLICATION

ISSUED BY:	dstanford
DRAWN BY:	jdingemanse, dstanford
APPROVED BY:	sdingemanse

PROPOSED SITE PLAN

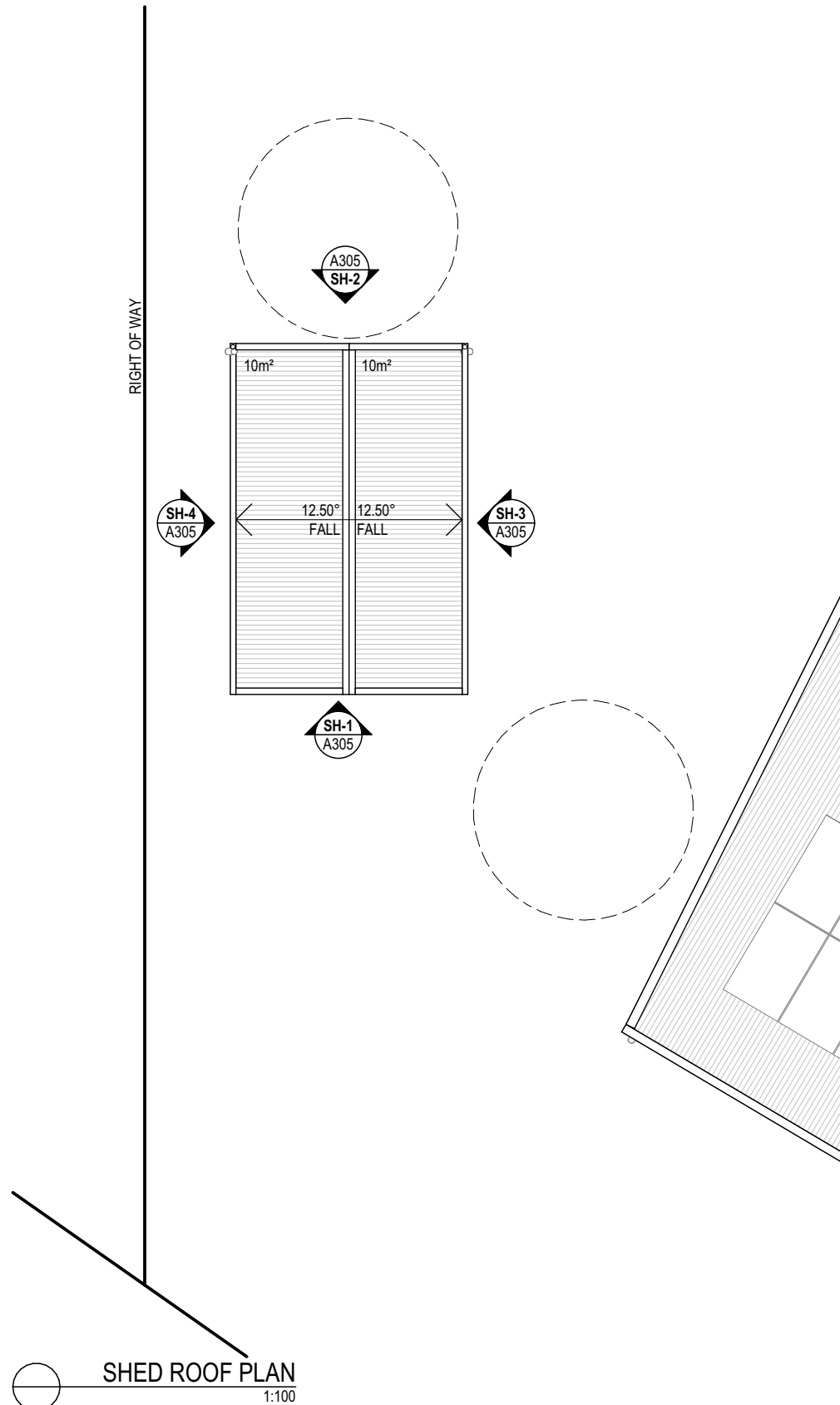
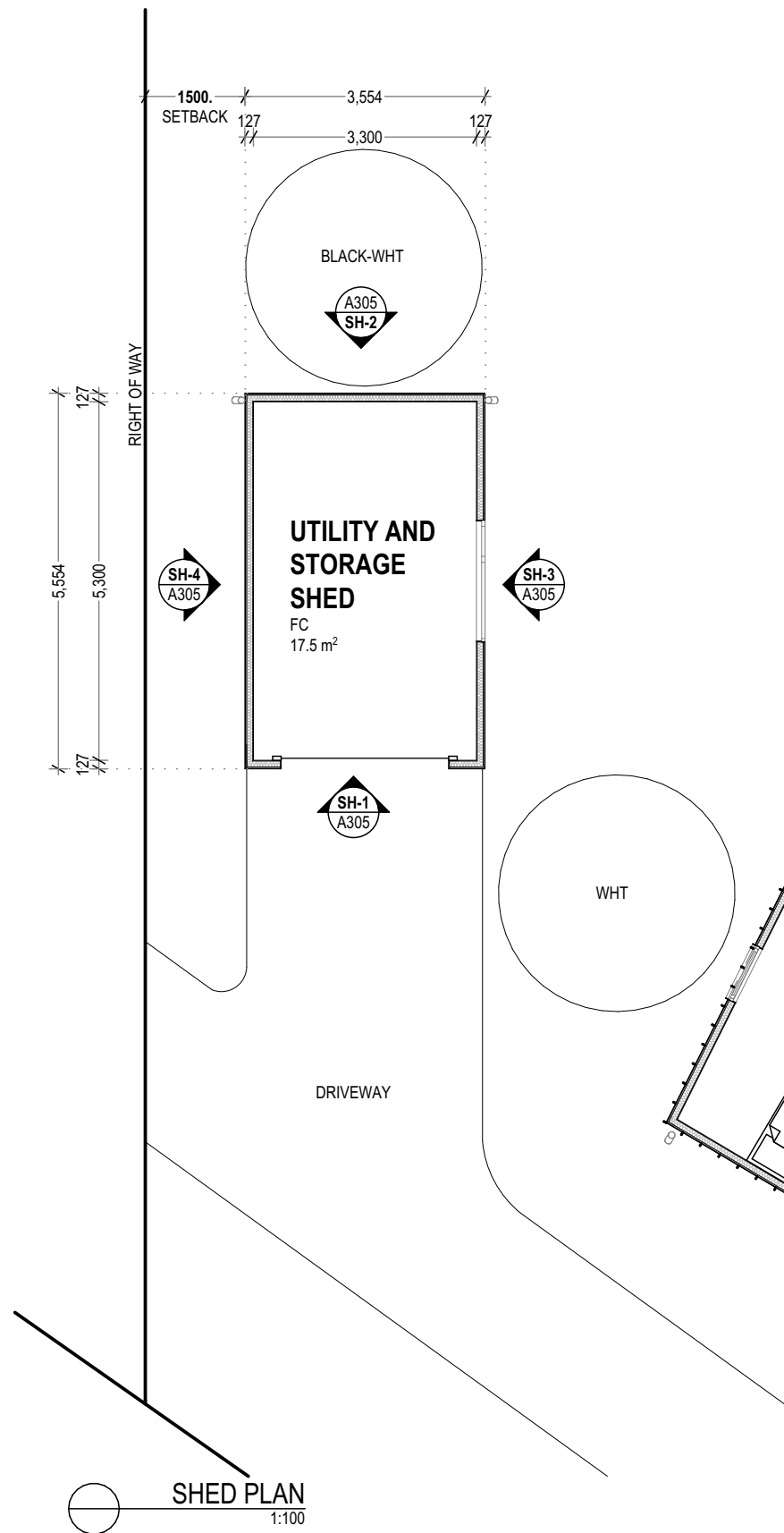
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PROJECT: P21037

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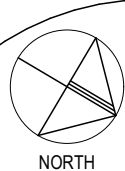
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BAL ASSESSMENT:	TBA (AS3959-2018)
SOME ITEMS LISTED BELOW MAY NOT BE APPLICABLE	
REFER MATERIALS & FINISHES SCHEDULE FOR FURTHER DETAIL	
AIR/C:	AIR-CONDITIONING UNIT
ACP:	ALUMINIUM COMP. PANEL (ALUCOBOND 'PLUS' OR 'A2' ONLY)
B:	BENCH
BH:	BULKHEAD
BOL:	BOLLARD
BL:	BLOCKWORK
BR:	BRICKWORK
CUPB:	CUPBOARD
CL:	CEILING LEVEL
COL:	COLUMN (REFER STRUCTURAL DWGS)
CON:	EXPOSED CONCRETE
D:	DOOR
DP:	DOWNPIPE (REFER PLUMBING PLAN)
EX:	EXISTING
FC:	FIBRE CEMENT SHEET
FL:	FLOOR LEVEL
FPB:	FIRE RESISTANT P'BOARD
HR:	HANDRAIL / GRAB-RAIL
HWC:	HOT WATER CYLINDER
MRS:	METAL ROOF SHEETING
MWS:	METAL WALL SHEETING
NGL:	NATURAL GROUND LINE
OH:	OVERHEAD (STORAGE)
PB:	PLASTERBOARD
PC:	POLYCARBONATE SHEET
PLY:	PLYWOOD SHEET
PV:	PHOTOVOLTAIC PANELS
RL:	RELATIVE LEVEL
SHF:	SHELF / SHELVING
SH:	SHED / OUTBUILDING
SS:	STAINLESS STEEL
TBR:	TIMBER
TLE:	TILE
VYL:	VINYL
W:	WINDOW
WDH:	WOOD-HEATER / FIRE
WPB:	WATER RESISTANT P'BOARD
WHT:	WATER HARVESTING TANK
ADJACENT SURFACES TO BE FALLING AWAY FROM BUILDING	
FLASHINGS AND TRIMS TO BE COLOUR MATCHED (AS POSSIBLE)	
MATERIAL FINISHES TO BE SYMPATHETIC TO SITE CONTEXT	
PRODUCTS AND SYSTEMS TO BE INSTALLED AND / OR USED AS PER MANUFACTURER'S INSTRUCTIONS	
IMPORTANT WORKS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARDS, CONSTRUCTION CODES (NCC) & REQUIREMENTS OF ANY RELEVANT LOCAL AUTHORITIES	



ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: 1:100 (A3)

REV	AMENDMENT	DATE
01	DEVELOPMENT APPLICATION RFI	24/03/2022

DEVELOPMENT APPLICATION



ISSUED BY:

dstanford

DRAWN BY:

jdingemanse,
dstanford

APPROVED BY:

sdingemanse

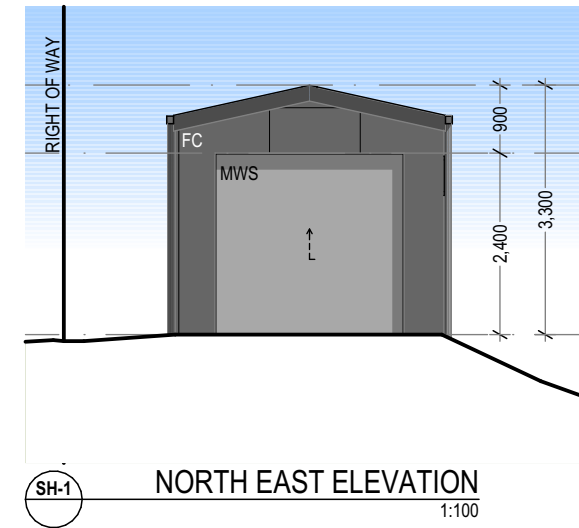
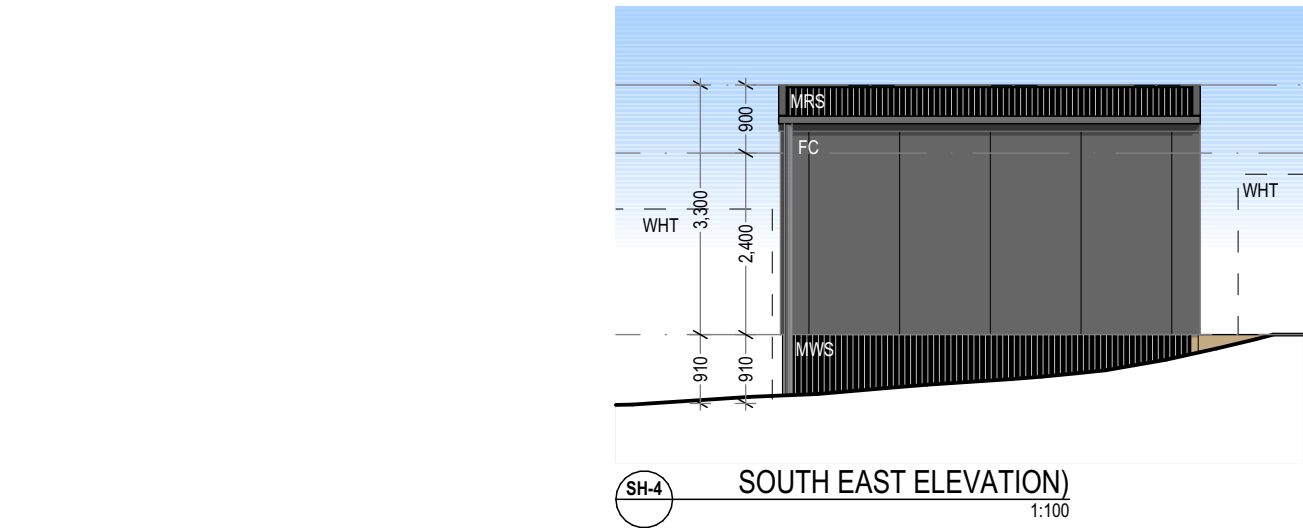
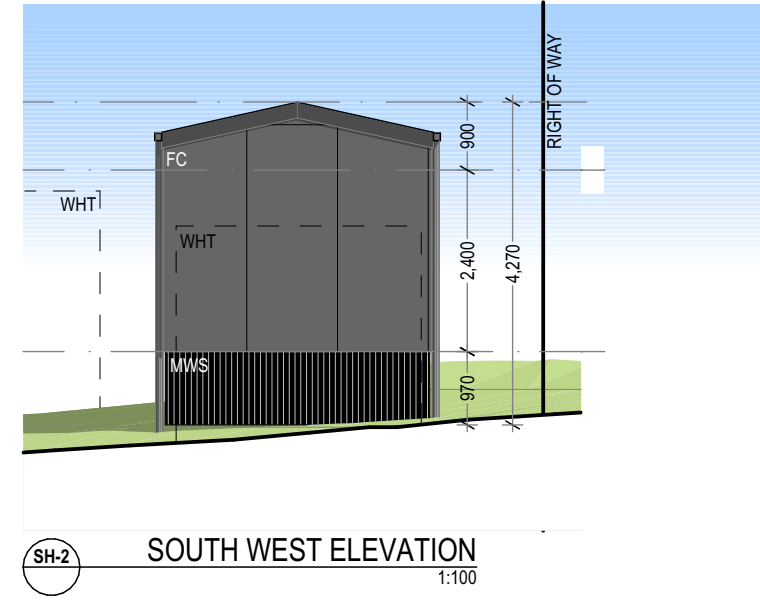
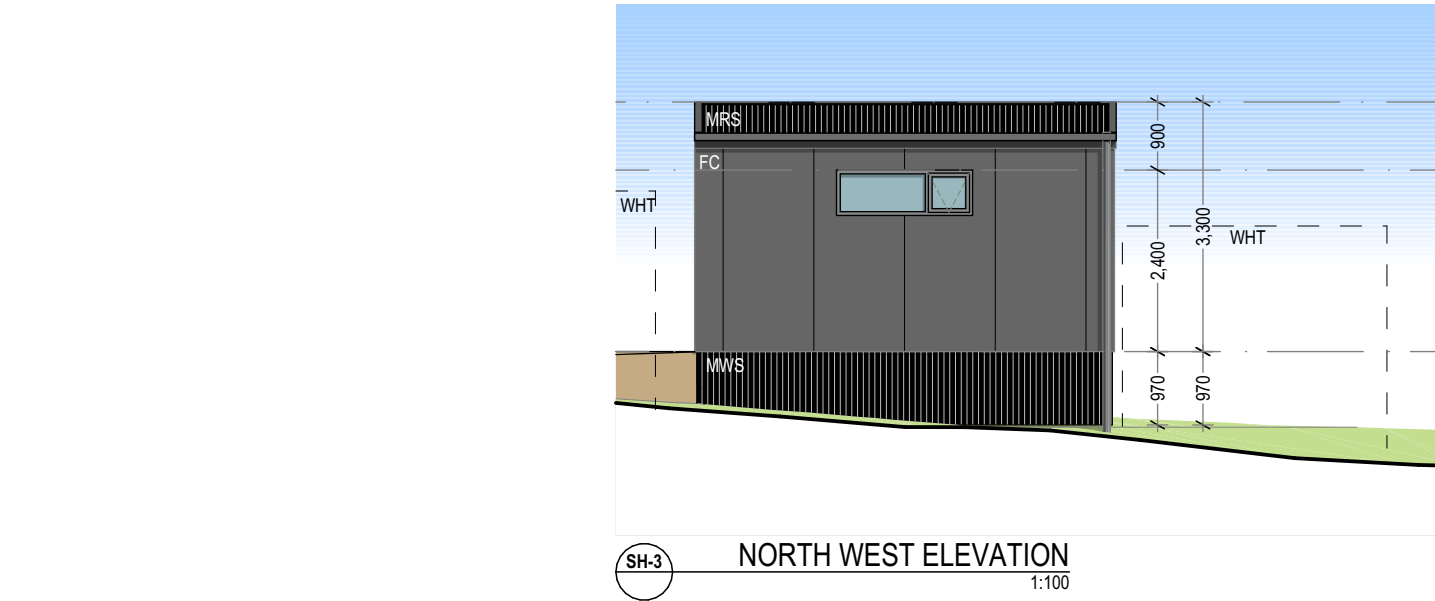
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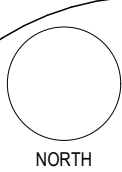
PROJECT: **P21037**

REV: **01**





BAL ASSESSMENT:	TBA (AS3959-2018)
SOME ITEMS LISTED BELOW MAY NOT BE APPLICABLE	
REFER MATERIALS & FINISHES SCHEDULE FOR FURTHER DETAIL	
AIR/C:	AIR-CONDITIONING UNIT
ACP:	ALUMINIUM COMP. PANEL (ALUCOBOND 'PLUS' OR 'A2' ONLY)
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CON:	EXPOSED CONCRETE
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ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

SIMCO (TAS) PTY LTD

SCALE: 1:100 (A3)

REV	AMENDMENT	DATE
01	DEVELOPMENT APPLICATION RFI	24/03/2022

DEVELOPMENT APPLICATION

ISSUED BY:

dstanford

DRAWN BY:

jdingemane,
dstanford

APPROVED BY:

sdingemane

ELEVATIONS: SHED

DWG: A305

PROJECT: P21037

REV: 01

0m 1m 5m



ACCOMMODATION UNITS

1 CRAMPS BAY ESPLANADE CRAMPS BAY TAS 7030

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PROJECT: **P21037**

24/03/2022

TRANSMITTAL

[illegible]

Of beauty rich and rare.

On-site Wastewater Management Report - DA

SIMCO (TAS) Pty Ltd
3 Accommodation Units
Cramps Bay Tas

Prepared for:	Simco (Tas) Pty Ltd
Project No:	221025
Document No:	221025 OWMR – 001
Issue No:	01
Revision No:	-

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Launceston, TAS 7250

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DOCUMENT CONTROL

Project	Simco – 3 Accommodation Units – Cramps Bay
Report Title	On-site Wastewater Management Report
Project No	221025
Document ID	221025 OWMR - 002
File Path	R:\Projects\2022\221000 Civil\221025 - Tas City Building - Onsite Wastewater - Cramps Bay\03 Internal Design\02 Design Development\21-12-09
Client	Simco (Tas) Pty Ltd

Record of Report					
Issue	Reason	Revision	Date	Prepared By	Approved By
01	On-site Wastewater Management Report	-	17/02/2022	KL	RJ

Distribution of Report			
Company	Name & Address	Contact	Copies
Simco (Tas) Pty Ltd	Steven Simeoni 58A Elizabeth St Launceston TAS 7250	E: ssimeoni@tascitybuilding.com.au Ph: 0408 642 819	1 (elec)

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3. SITE EVALUATION	4
4. GEOLOGICAL EVALUATION	5
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1. INTRODUCTION

Rare Innovation have been engaged to prepare an On-Site Wastewater Management Report for 3 Accommodation Units at Cramps Bay Tasmania. This is a preliminary report for the Development Application.

This report has been prepared in accordance with the requirements of "AS/NZS 1547:2012 On-site Domestic Wastewater Management" and the findings from an onsite investigation on 28/08/2019.

2. PROJECT CRITERIA

The following criteria have been considered in our wastewater assessment:

Municipality	Central Highlands Council
Site Plan	Prepared by Rare - 221025 - C
Architectural Plans	20211021 – CB&M
Climate	Annual rainfall for the area is approximately 1600mm
Land area	3100m ²
Title reference	13/134169
Water supply	Tank
Land use	Low Density Residential
Land history	Rural
Drainage	Natural
Power Supply	Mains powered site
Method of testing	Test pit excavation by 5t Excavator. The excavations were completed to identify the distribution of, and variation in soil material.

3. SITE EVALUATION

From our site and desktop investigations, the key findings were:

Site Gradient	Gently sloping from east to west
Exposure	The site is partially shielded
Slope Stability	Site slope is below the landslide threshold angle
Boulder/ rock outcrops	Covered in rocks and boulders
Land Surface shape	Linear planar – refer Fig C2 AS/NZS 1547:2012
Vegetation	Surface cover consist of grasses, shrubs and tress
Waterways	Great Lake is approximately 130m away dependant on lake water level
Fill	Nil
Stormwater run-on and upslope seepage	Nil

Flood Potential	Nil
Salinity	Not undertaken in this instance
Erosion potential	None known
Available land application area	There are large areas of space available to accommodate the land application area requirements albeit rocky.

4. GEOLOGICAL EVALUATION

A desktop evaluation found the underlying geological ground profile based on The Mineral Resources Tasmania (MRT) Digital geological Atlas, 1:250,000, indicated the site is located on Mesozoic aged rock consisting of Tasmanian Dolerite. The rock is not suitable for absorption.

5. INDICATIVE DIR FOR IRRIGATIONS SYSTEMS

For spray irrigation to landscape areas DIR is 2mm/day.

6. WASTEWATER SYSTEM RECOMMENDATIONS

Due to the rocky nature of the site, it is recommended to have a two-pronged approach to wastewater disposal, by separating Grey Water and Black Water. The Grey Water will be piped to a septic tank for treatment prior to being irrigated onto the site landscape area. The Black Water will be drained to a pump out tank, the recommended capacity of the tank is for one month of full accommodation in peak season.

We recommend all works are carried out by an accredited and registered plumber.

7. GREYWATER SYSTEM DESIGN

The effluent flow and land application area required is as follows:

Adopted number of equivalent persons (AS/NZS 1547:2012 T. J1)	12 persons
Water source	Tank
Daily Loading (L/per person / per day) (AS/NZS 1547:2012 T. H1)	72 Litres
Adopted Loading per day (L/D) (AS/NZS 1547:2012 T.J1)	864 (L/D)
Septic tank size (AS/NZS 1547:2012 T. J1)	1 x 3000 Litres
Adopted Soil Category (AS/NZS 1547:2012 T. L1)	-
Indicative Ksat (m/d) (AS/NZS 1547:2012 T. L1)	2m/day
Spray Irrigation Area	432m ² minimum

8. BLACKWATER SYSTEM DESIGN

The effluent flow and land application area required is as follows:

Adopted number of equivalent persons (AS/NZS 1547:2012 T. J1)	12 persons
Water source	Tank
Daily Loading (L / person / day) (AS/NZS 1547:2012 T. H1)	48 Litres
Total Loading per day (L/D)	576 Litres (L/D)
Pump Out Tank Size (30days x 576litres) + 30% safety factor	23 000 litres

9. RISK MANAGEMENT OF SITE AND SOIL CONSTRAINTS

We have carried out a risk management process associated with this system in accordance with AS/NZS 1547:2012 to reduce public health and environmental risk by minimizing the likelihood of leakages or breakout of effluent. These processes are summarised in the tables below:

Table 9.1 DESIGN RISK REDUCTION MEASURES

Constraint	Design risk reduction measures
Wastewater system hydraulic failure	<ul style="list-style-type: none"> • Occupants directed to decrease solids in wastewater discharged. • Occupants directed to adopt conservative water usage practices.
Biological failure from power outage causing cessation of pumps and aerators	<ul style="list-style-type: none"> • Emergency numbers to be readily displayed. • Occupants directed to reduce the usage in system during power downtime.
Site constraints	<ul style="list-style-type: none"> • Occupants directed to adopt conservative water usage practices
High rainfall or torrential downpours	<ul style="list-style-type: none"> • We propose to provide adequate surface water and soil drainage controls to mitigate this risk

Table 9.2 OPERATION AND MAINTENANCE RISK REDUCTION MEASURES

Cause	Operation and maintenance risk reduction measures
Clogged outlet filter	<ul style="list-style-type: none"> • Occupants to regularly service tank filter in accordance with the manufacturers specifications. • Occupants to decrease organic solids in wastewater discharged. • Selection of appropriate wastewater treatment unit type.
Pipe blockage	<ul style="list-style-type: none"> • Provision of system care and maintenance guidelines to homeowner.
Sludge and scum solids fill tank and overflow to the soakage field	<ul style="list-style-type: none"> • Occupants instructed to inspect and or pumpout tank to a regular schedule. • Ensure pumpouts are carried out in accordance with maintenance requirements. • Educate property owners to decrease organic waste discharged.
Biological failure from power outage causing cessation of pumps	<ul style="list-style-type: none"> • Emergency numbers readily displayed. • Education of property owners to leave system on lower power setting during times of low use.
Build-up of excessive solids to land application area	<ul style="list-style-type: none"> • Installation of outlet filter. • Regular servicing of outlet filter. • Installation of other devices to reduce solids in effluent reserve area.
Uneven distribution system/broken/ damaged distribution lines	<ul style="list-style-type: none"> • Ensure occupants understand the importance of 'no-go' areas over land application system • Minimise compaction will be undertaken during installation • Commissioning trial to ensure equal pressure and distribution throughout land application system

10. NATURAL VALUES RISK ASSESSMENT

The site lies in within the Waterway & Coastal Protection Area overlay in the Central Highlands Council. There is an obvious need to protect the Great Lake waterway from greywater overflows. AS/NZS1547:2012 in Appendix R provides a risk matrix to determine acceptable horizontal setback distances from site features including surface water like a lake to the land application area. The recommended horizontal distance range to surface water is 15-100m Table R1. Table R1 refers to site constraint items of specific concern. The relevant concerns are Microbial quality of effluent, surface water after considering the soil category, slope of the application area and downhill slope, position of the land application area, drainage after considering soil category, flood potential and application method. Table R2 provides a Constraint Scale offering lower and higher conditions to determine the appropriate setback distance for the condition. The following table provides analysis of each of the site and system features

Table R2 Reference	Site System Feature	Constraint Scale (Lower – Medium-Higher)	Constraint Description	Estimated Setback Distance (15-100m)
A	Microbial quality of effluent	Lower to medium	Effluent quality less than 10^3 cfu/100ml	35m
B	Surface Water	Medium to Higher	Category 6 soils, max lake level 35m away	75m
D	Slope	Medium	Slope 10% and surface effluent application	50m
E	Land Application Position	Medium to Higher	Upgradient of Surface water	65m
F	Drainage	Medium	Slope and soil category	50m
G	Flood Potential	Lower	Above lake maximum level	15m
J	Application method	Medium to Higher	Above ground application	75m

From this table and consideration of the informative notes the risk to public health is the main consideration. As the effluent quality is reasonable, this lower risk should be the governing factor. The other favourable condition is large quantum of the water body. If effluent was to reach the water body the potentially effected area would be minimal.

Currently the proposed Land Application areas are at least 35m from the maximum high-water level of RL 1039.37m. Historically the lake levels vary because the water is used to generate hydroelectricity. The distances from the Land Application area to the lake, by referencing historical aerial images varies from 155m in November 2016 to 305m in January 2016.

The risk from treated effluent reaching the waterway is low and the type of treatment and type of land application method are considered to be adequate for this location. This complimented by the blackwater removal from the system.

11. PERFORMANCE

It is recommended for optimum performance of the system to reduce sludge build in the irrigation system:

- Scrape all dishes to remove fats, grease etc prior to washing
- Keep all possible solids out of system
- Do not use a garbage grinder or place hygiene products into system
- Use bio-degradable soaps and low phosphorus detergents and only use recommended quantity
- Do not pour paint/oil or other chemicals into system
- Install water saving fittings
- De-sludge tank every three to five years or when sludge exceeds two thirds of tank volume
- Clean outlet filter
- Inspection of system by accredited plumber regularly

The detail of this design is shown on our plan 221025 – C501

12. SUMMARY

For greywater we recommend utilising a 3000-litre greywater septic tanks discharging to a lint filter and making its way to a pit. From this pit, an on-demand irrigation pump is to distribute flow to an irrigation area with wobbler sprinklers.

For blackwater we recommend the adoption of a 23 000 litre pump out tank set up on a scheduled pump out with a contracted company.

The design is based on the accommodation being on tank water supply and utilizing water saving fixtures throughout.

The system is design for a maximum occupancy of 12 persons at any one time, any alteration this occupancy rate for extended periods will result in system failure.

RARE INNOVATION PTY LTD



Rodney Jesson
Director
Civil

APPENDIX A – GREYWATER LOADING CERTIFICATE

System Capacity	Based on AS/NZS 1547:2012 Table J1, a population equivalent of 12 has been adopted for this site.
Water Daily Flow	Based on AS/NZS 1547:2012 Table J2, for 12 persons a design flow of 864 l/d has been adopted.
Adopted soil category	-
Adopted DIR	2mm/Day
Summary of design criteria	<p>A 3000 litre septic tanks are required based on 12 persons with an average daily flow of 864 litres (Table J3 of ASNZS1547:2012)</p> <p>A total greywater design flow of 864 litres/day has been adopted for the 3 units (AS1547:2012 Table J1).</p> <p>The design flow will make its way through septic tanks and a lint filter and entering a pit. A pump from the pit will distribute the flow to irrigation sprinklers over an area of 434m²</p>
Fixtures	Water saving fixtures to be installed and appliances with High WELS rating.
Use of water efficient fixtures, fittings and appliances	Water efficient fixtures and fittings have been documented to be installed in this dwelling with high 'Water Efficiency Labelling Scheme" rated fittings.
Allowable variation from design flows	Any permanent variations to the number of occupants will require the land application are to be adjusted/increased as required.
Consequences of overloading the system	Constant overloading of the system may result in overflowing of the system and leak harmful bacteria, spread of diseases as well as spread of foul odours attracting insects and pest and overgrowing of weeds.
Consequences of under loading the system	No major adverse effects will occur if system is under loaded for short amount of periods.
Consequences of lack of operation, maintenance, and monitoring attention	<p>Maintenance in accordance with the manufacturer's specifications shall be carried out at regular intervals.</p> <p>All vehicular traffic, livestock and persons shall be kept out of the land application area at all times.</p>

Natural Values Atlas Report

Authoritative, comprehensive information on Tasmania's natural values.

Reference: Cramps Bay units

Requested For: Simco (Tas)

Report Type: Detailed Report

Timestamp: 03:58:51 PM Thursday 17 February 2022

Threatened Flora: buffers Min: 0m Max: 500m

Threatened Fauna: buffers Min: 0m Max: 500m

Raptors: buffers Min: 0m Max: 500m

Tasmanian Weed Management Act Weeds: buffers Min: 0m Max: 500m

Priority Weeds: buffers Min: 0m Max: 500m

TASVEG: buffer 500m

Threatened Communities: buffer 500m

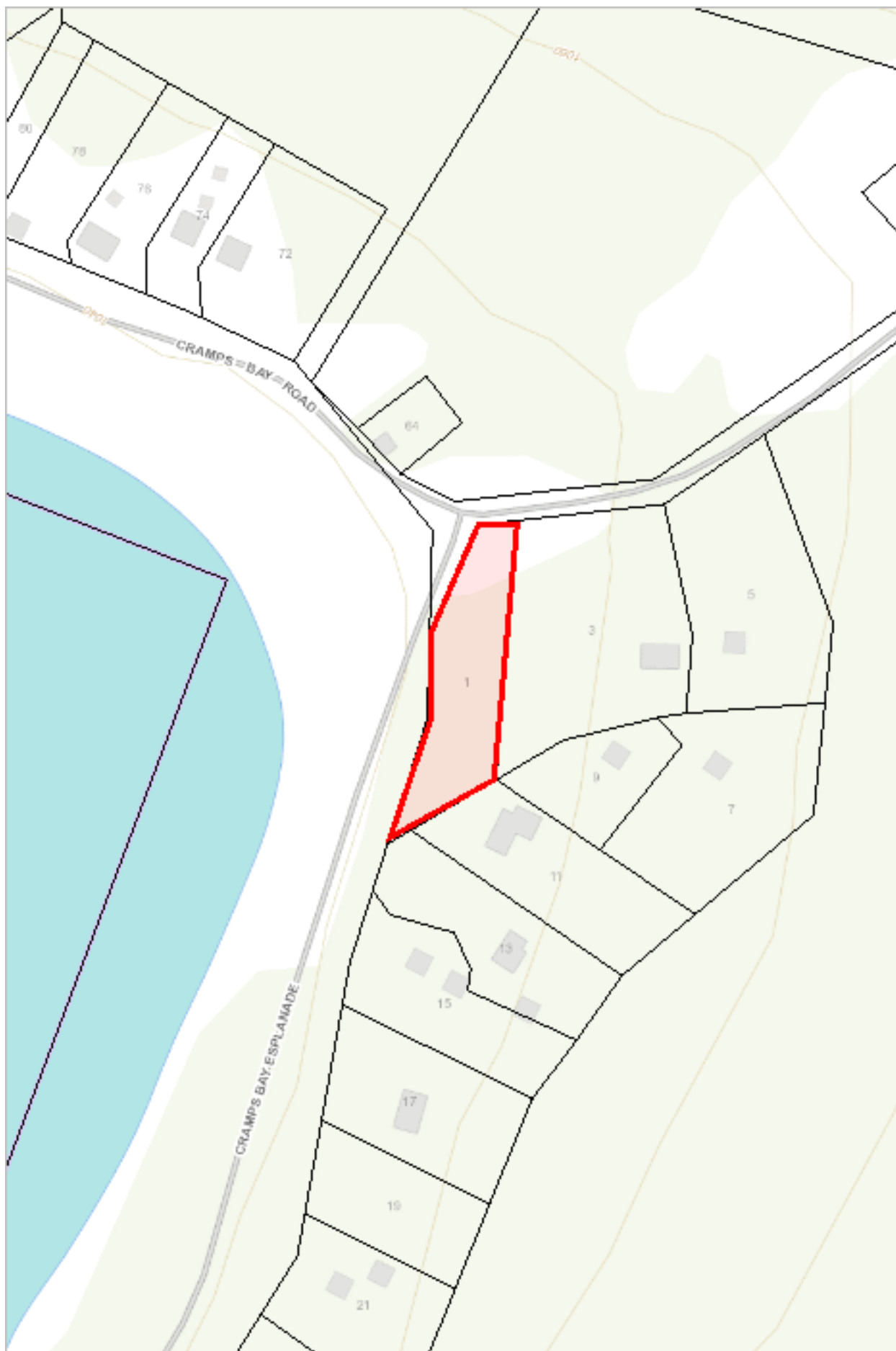


The centroid for this query GDA94: 485524.0, 5364082.0 falls within:

Property: 1985315

*** No threatened flora found within 0 metres ***

*** No threatened flora found within 500 metres ***



485345, 5363821

Please note that some layers may not display at all requested map scales

Threatened fauna within 0 metres

Legend: Verified and Unverified observations

- Point Verified

●

Point Unverified

▬

Line Verified

▬

Line Unverified

▭

Polygon Verified

▭

Polygon Unverified

Legend: Cadastral Parcels



Threatened fauna within 0 metres

Threatened fauna within 0 metres (based on Range Boundaries)

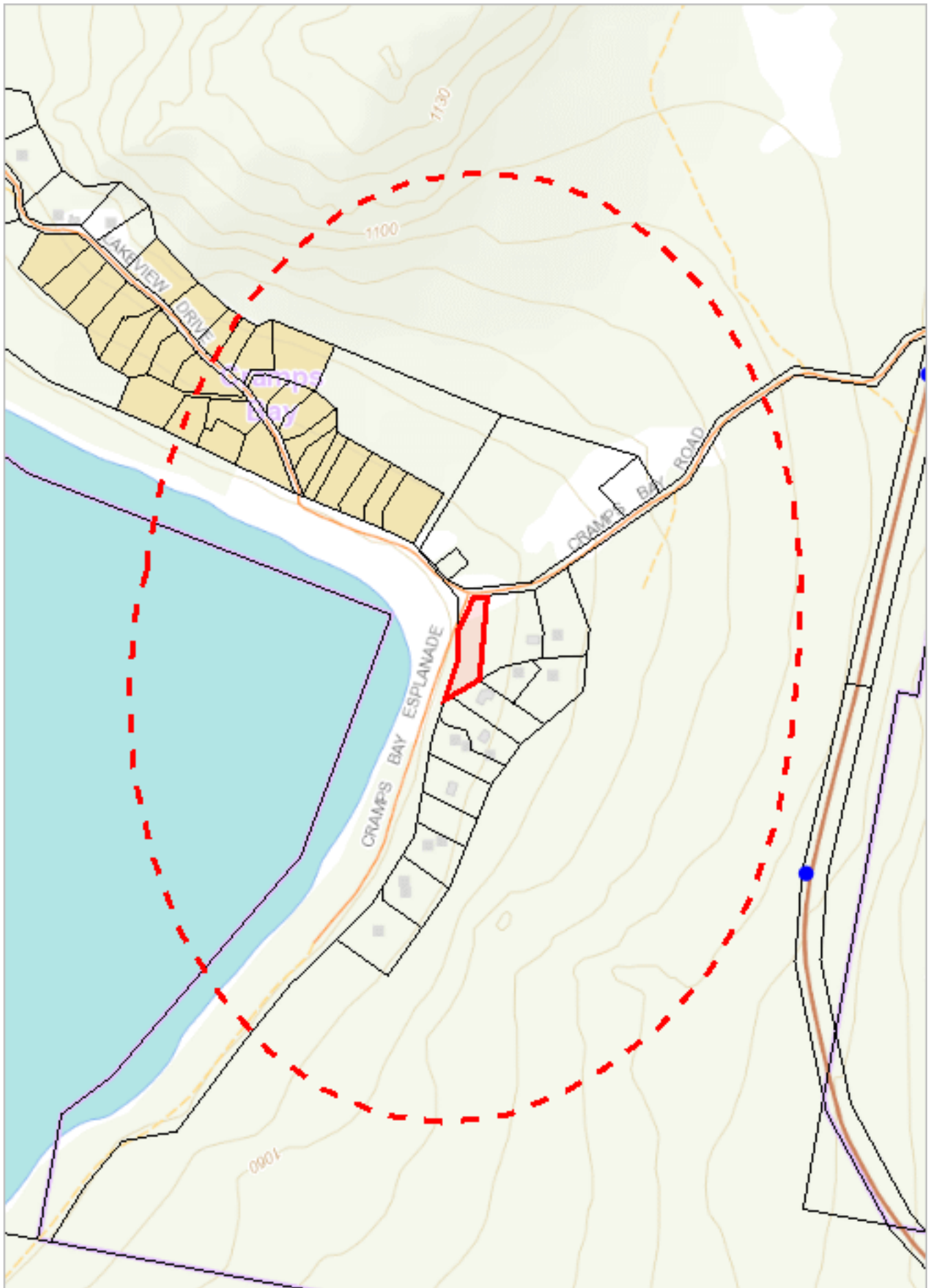
Species	Common Name	SS	NS	BO	Potential	Known	Core
Mesacanthotelson tasmaniae	isopod (great lake)	r		e	1	0	0
Dasyurus maculatus subsp. maculatus	spotted-tail quoll	r	VU	n	1	0	0
Paragalaxias dissimilis	shannon galaxias	v	VU	eH	1	1	0
Mesacanthotelson setosus	isopod (great lake)	r		e	1	0	0
Tasniphargus tyleri	amphipod (great lake)	r			1	0	0
Uramphisopus pearsoni	isopod (great lake)	r		e	1	0	0
Haliaeetus leucogaster	white-bellied sea-eagle	v		n	2	0	0
Castiarina insculpta	miena jewel beetle	e		e	1	1	0
Oreixenica ptunarra	ptunarra brown butterfly	v	EN	e	1	0	0
Tyto novaehollandiae subsp. castanops	masked owl (Tasmanian)	e	VU	e	1	0	0
Onchotelson brevicaudatus	isopod (great lake & shannon lagoon)	r		eH	1	0	0
Beddomeia tumida	hydrobiid snail (great lake)	e		eH	1	0	0
Paragalaxias eleotroides	great lake galaxias	v	VU	eH	1	0	0
Onchotelson spatulatus	isopod (great lake)	e		eH	1	0	0
Sarcophilus harrisii	tasmanian devil	e	EN	e	1	0	0
Accipiter novaehollandiae	grey goshawk	e		n	1	0	0
Benthodorbis pawpela	Great Lake glacidorbid snail	r		eH	1	0	0
Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	e	EN	e	1	0	0
Dasyurus viverrinus	eastern quoll		EN	n	0	0	1

For more information about threatened species, please contact Threatened Species Enquiries.

Telephone: 1300 368 550

Email: ThreatenedSpecies.Enquiries@nre.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000



484971, 5363320

Please note that some layers may not display at all requested map scales

Threatened fauna within 500 metres

Legend: Verified and Unverified observations

● Point Verified

✎ Line Unverified

● Point Unverified

□ Polygon Verified

✎ Line Verified

□ Polygon Unverified

Legend: Cadastral Parcels



Threatened fauna within 500 metres

Verified Records

Id	Species	Common Name	SS	NS	Bio	Observers	Date	Obs Type	Easting/Northing GDA94 Zone 55
1773790	Sarcophilus harrisii	tasmanian devil	e	EN	e	Anonymous Anonymous (16453)	22-Jan-2012	Carcass	485923, 5363815 +/- 2000m

Unverified Records

No unverified records were found!

Threatened fauna within 500 metres (based on Range Boundaries)

Species	Common Name	SS	NS	BO	Potential	Known	Core
Mesacanthotelson tasmaniae	isopod (great lake)	r		e	1	1	0
Dasyurus maculatus subsp. maculatus	spotted-tail quoll	r	VU	n	1	0	0
Paragalaxias dissimilis	shannon galaxias	v	VU	eH	1	1	0
Mesacanthotelson setosus	isopod (great lake)	r		e	1	1	0
Tasniphargus tyleri	amphipod (great lake)	r			1	1	0
Uramphisopus pearsoni	isopod (great lake)	r		e	1	1	0
Haliaeetus leucogaster	white-bellied sea-eagle	v		n	2	0	0
Castiarina insculpta	miena jewel beetle	e		e	1	1	0
Oreixenica ptunarra	ptunarra brown butterfly	v	EN	e	1	0	0
Tyto novaehollandiae subsp. castanops	masked owl (Tasmanian)	e	VU	e	1	0	0
Onchotelson brevicaudatus	isopod (great lake & shannon lagoon)	r		eH	1	1	0
Beddomeia tumida	hydrobiid snail (great lake)	e		eH	1	1	0
Paragalaxias eleotroides	great lake galaxias	v	VU	eH	1	0	0
Onchotelson spatulatus	isopod (great lake)	e		eH	1	1	0
Sarcophilus harrisii	tasmanian devil	e	EN	e	1	0	0
Accipiter novaehollandiae	grey goshawk	e		n	1	0	0
Benthodorbis pawpela	Great Lake glacidorbid snail	r		eH	1	0	0
Glacidorbis pawpela	hydrobiid snail (great lake)	pr			0	1	0
Aquila audax subsp. fleayi	tasmanian wedge-tailed eagle	e	EN	e	1	0	0
Dasyurus viverrinus	eastern quoll		EN	n	0	0	1

For more information about threatened species, please contact Threatened Species Enquiries.

Telephone: 1300 368 550

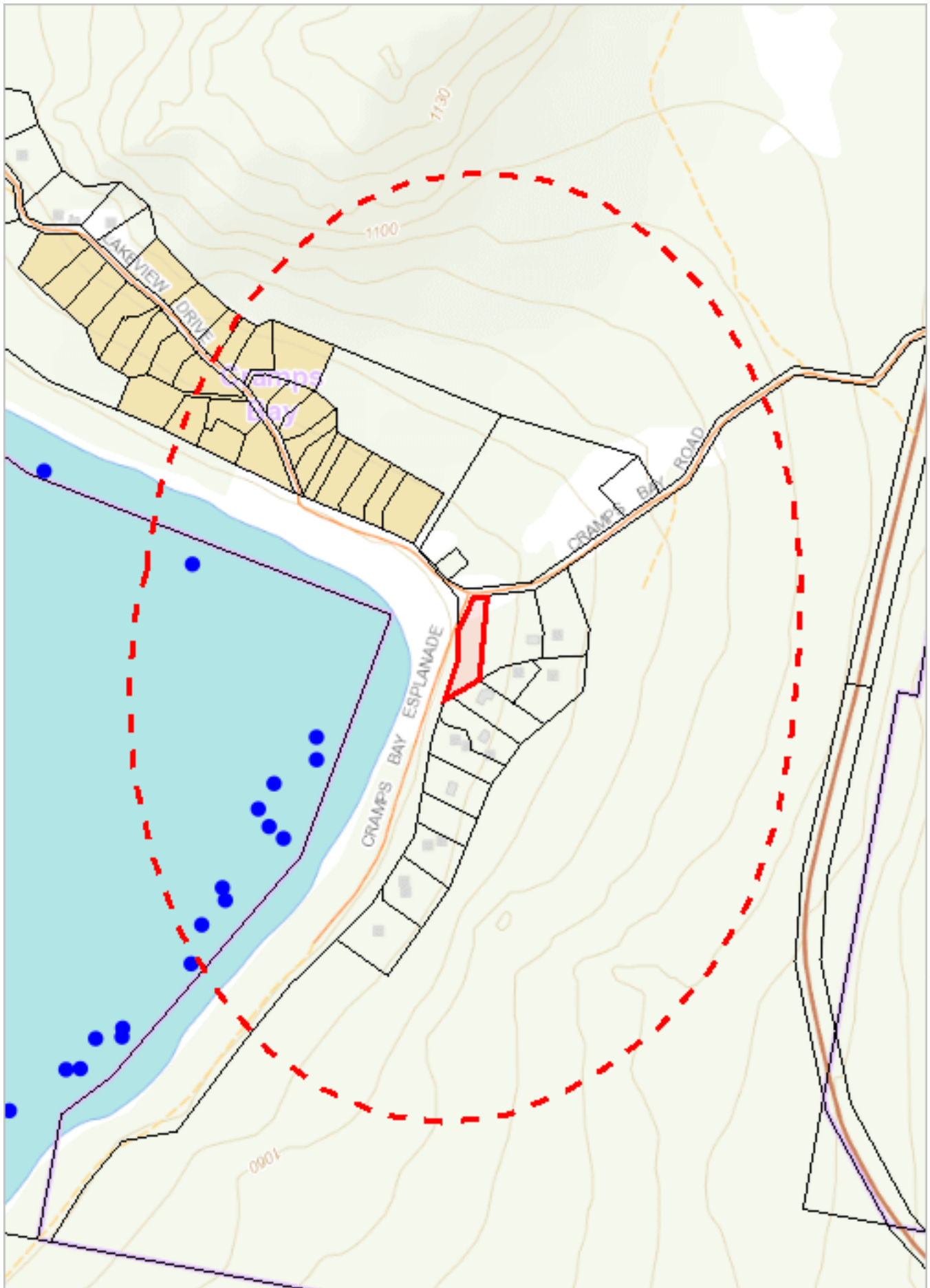
Email: ThreatenedSpecies.Enquiries@nre.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

*** No Raptor nests or sightings found within 0 metres. ***

*** No Raptor nests or sightings found within 500 metres. ***

*** No Tas Management Act Weeds found within 0 metres ***



484971, 5363320

Please note that some layers may not display at all requested map scales

Tas Management Act Weeds within 500 m

Legend: Verified and Unverified observations

● Point Verified

✎ Line Unverified

● Point Unverified

□ Polygon Verified

✎ Line Verified

□ Polygon Unverified

Legend: Cadastral Parcels



Tas Management Act Weeds within 500 m

Verified Records

Id	Species	Common Name	Observers	Date	Easting/Northing GDA94 Zone 55	Location Description	Wons Density	Data Source
1769187	Cirsium arvense var. arvense	creeping thistle	Laurie Kerr (32644)	08-Apr-2019	485304, 5363855 +/- 10m	The Great Lake	Present	
1769191	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	08-Apr-2019	485195, 5363707 +/- 10m	The Great Lake	Present	
1768693	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	02-Apr-2019	485235, 5363782 +/- 10m	The Great Lake	Present	
1768694	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	02-Apr-2019	485207, 5363753 +/- 10m	The Great Lake	Present	
1768695	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	02-Apr-2019	485232, 5363797 +/- 10m	The Great Lake	Present	
1768852	Cirsium arvense var. arvense	creeping thistle	Laurie Kerr (32644)	02-Apr-2019	485196, 5364178 +/- 10m	The Great Lake	Present	
1769228	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	08-Apr-2019	485343, 5363948 +/- 10m	The Great Lake	Present	
1768722	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	02-Apr-2019	485293, 5363920 +/- 10m	The Great Lake	Present	
1768723	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	02-Apr-2019	485343, 5363975 +/- 10m	The Great Lake	Present	
1769236	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	02-Apr-2019	485287, 5363869 +/- 10m	The Great Lake	Present	
1768696	Cirsium arvense var. arvense	creeping thistle	Sarah Bunce (32645)	02-Apr-2019	485274, 5363890 +/- 10m	The Great Lake	Present	

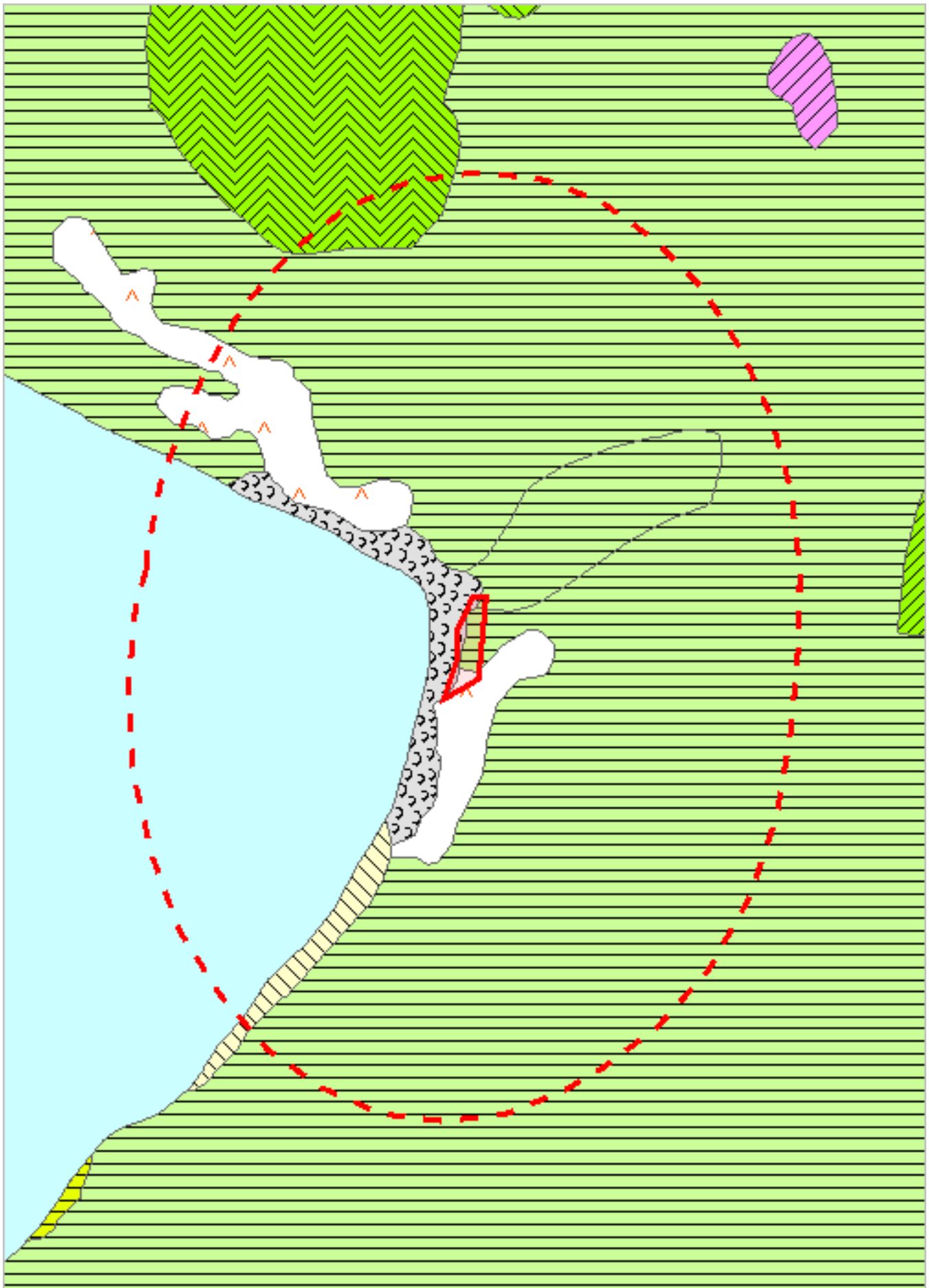
Unverified Records

For more information about introduced weed species, please visit the following URL for contact details in your area:

<https://www.nre.tas.gov.au/invasive-species/weeds>

*** No Priority Weeds found within 0 metres ***




























































*** No Priority Weeds found within 500 metres ***



484971, 5363320

Please note that some layers may not display at all requested map scales






















Legend: TASVEG 4.0

	(AAP) Alkaline pans
	(AHF) Freshwater aquatic herbland
	(AHL) Lacustrine herbland
	(AHS) Saline aquatic herbland
	(ARS) Saline sedgeland / rushland
	(ASF) Fresh water aquatic sedgeland and rushland
	(ASP) Sphagnum peatland
	(ASS) Succulent saline herbland
	(AUS) Saltmarsh (undifferentiated)
	(AWU) Wetland (undifferentiated)
	(DAC) Eucalyptus amygdalina coastal forest and woodland
	(DAD) Eucalyptus amygdalina forest and woodland on dolerite
	(DAM) Eucalyptus amygdalina forest on mudstone
	(DAS) Eucalyptus amygdalina forest and woodland on sandstone
	(DAZ) Eucalyptus amygdalina inland forest and woodland on Cainozoic deposits
	(DBA) Eucalyptus barberi forest and woodland
	(DCO) Eucalyptus coccifera forest and woodland
	(DCR) Eucalyptus cordata forest
	(DDE) Eucalyptus delegatensis dry forest and woodland
	(DDP) Eucalyptus dalrympleana - Eucalyptus pauciflora forest and woodland
	(DGL) Eucalyptus globulus dry forest and woodland
	(DGW) Eucalyptus gunnii woodland
	(DKW) King Island Eucalypt woodland
	(DMO) Eucalyptus morrisbyi forest and woodland
	(DMW) Midlands woodland complex
	(DNF) Eucalyptus nitida Furneaux forest
	(DNI) Eucalyptus nitida dry forest and woodland
	(DOB) Eucalyptus obliqua dry forest
	(DOV) Eucalyptus ovata forest and woodland
	(DOW) Eucalyptus ovata heathy woodland
	(DPD) Eucalyptus pauciflora forest and woodland on dolerite
	(DPE) Eucalyptus perriniana forest and woodland
	(DPO) Eucalyptus pauciflora forest and woodland not on dolerite
	(DPU) Eucalyptus pulchella forest and woodland
	(DRI) Eucalyptus risdonii forest and woodland
	(DRO) Eucalyptus rodwayi forest and woodland
	(DSC) Eucalyptus amygdalina - Eucalyptus obliqua damp sclerophyll forest
	(DSG) Eucalyptus sieberi forest and woodland on granite
	(DSO) Eucalyptus sieberi forest and woodland not on granite
	(DTD) Eucalyptus tenuiramis forest and woodland on dolerite
	(DTG) Eucalyptus tenuiramis forest and woodland on granite
	(DTO) Eucalyptus tenuiramis forest and woodland on sediments
	(DVC) Eucalyptus viminalis - Eucalyptus globulus coastal forest and woodland
	(DVF) Eucalyptus viminalis Furneaux forest and woodland
	(DVG) Eucalyptus viminalis grassy forest and woodland
	(FAC) Improved pasture with native tree canopy
	(FAG) Agricultural land
	(FMG) Marram grassland
	(FPE) Permanent easements
	(FPF) Pteridium esculentum fernland
	(FPH) Plantations for silviculture - hardwood
	(FPS) Plantations for silviculture - softwood
	(FPU) Unverified plantations for silviculture
	(FRG) Regenerating cleared land
	(FSM) Spartina marshland
	(FUM) Extra-urban miscellaneous
	(FUR) Urban areas
	(FWU) Weed infestation
	(GCL) Lowland grassland complex

TASVEG 4.0 Communities within 500 metres

	(GHC) Coastal grass and herbfield
	(GPH) Highland Poa grassland
	(GPL) Lowland Poa labillardierei grassland
	(GRP) Rockplate grassland
	(GSL) Lowland grassy sedgeland
	(GTL) Lowland Themeda triandra grassland
	(HCH) Alpine coniferous heathland
	(HCM) Cushion moorland
	(HHE) Eastern alpine heathland
	(HHW) Western alpine heathland
	(HSE) Eastern alpine sedgeland
	(HSW) Western alpine sedgeland/herbland
	(HUE) Eastern alpine vegetation (undifferentiated)
	(MBE) Eastern buttongrass moorland
	(MBP) Pure buttongrass moorland
	(MBR) Sparse buttongrass moorland on slopes
	(MBS) Buttongrass moorland with emergent shrubs
	(MBU) Buttongrass moorland (undifferentiated)
	(MBW) Western buttongrass moorland
	(MDS) Subalpine Diplarrena latifolia rushland
	(MGH) Highland grassy sedgeland
	(MRR) Restionaceae rushland
	(MSW) Western lowland sedgeland
	(NAD) Acacia dealbata forest
	(NAF) Acacia melanoxylon swamp forest
	(NAL) Allocasuarina littoralis forest
	(NAR) Acacia melanoxylon forest on rises
	(NAV) Allocasuarina verticillata forest
	(NBA) Bursaria - Acacia woodland
	(NBS) Banksia serrata woodland
	(NCR) Callitris rhomboidea forest
	(NLA) Leptospermum scoparium - Acacia mucronata forest
	(NLE) Leptospermum forest
	(NLM) Leptospermum lanigerum - Melaleuca squarrosa swamp forest
	(NLN) Subalpine Leptospermum nitidum woodland
	(NME) Melaleuca ericifolia swamp forest
	(OAQ) Water, sea
	(ORO) Lichen lithosere
	(OSM) Sand, mud
	(RCO) Coastal rainforest
	(RFE) Rainforest fernland
	(RFS) Nothofagus gunnii rainforest scrub
	(RHP) Lagarostrobos franklinii rainforest and scrub
	(RKF) Athrotaxis selaginoides - Nothofagus gunnii short rainforest
	(RKP) Athrotaxis selaginoides rainforest
	(RKS) Athrotaxis selaginoides subalpine scrub
	(RKX) Highland rainforest scrub with dead Athrotaxis selaginoides
	(RML) Nothofagus - Leptospermum short rainforest
	(RMS) Nothofagus - Phyllocladus short rainforest
	(RMT) Nothofagus - Atherosperma rainforest
	(RMU) Nothofagus rainforest (undifferentiated)
	(RPF) Athrotaxis cupressoides - Nothofagus gunnii short rainforest
	(RPP) Athrotaxis cupressoides rainforest
	(RPW) Athrotaxis cupressoides open woodland
	(RSH) Highland low rainforest and scrub
	(SAL) Acacia longifolia coastal scrub
	(SBM) Banksia marginata wet scrub
	(SBR) Broad-leaf scrub
	(SCA) Coastal scrub on alkaline sands
	(SCH) Coastal heathland
	(SCL) Heathland on calcareous substrates

TASVEG 4.0 Communities within 500 metres

	(SED) Eastern scrub on dolerite
	(SHS) Subalpine heathland
	(SHW) Wet heathland
	(SKA) Kunzea ambigua regrowth scrub
	(SLG) Leptospermum glaucescens heathland and scrub
	(SLL) Leptospermum lanigerum scrub
	(SLS) Leptospermum scoparium heathland and scrub
	(SMM) Melaleuca squamea heathland
	(SMP) Melaleuca pustulata scrub
	(SMR) Melaleuca squarrosa scrub
	(SRE) Eastern riparian scrub
	(SRF) Leptospermum with rainforest scrub
	(SRH) Rookery halophytic herbland
	(SSC) Coastal scrub
	(SSK) Scrub complex on King Island
	(SSW) Western subalpine scrub
	(SSZ) Spray zone coastal complex
	(SWR) Western regrowth complex
	(SWW) Western wet scrub
	(WBR) Eucalyptus brookeriana wet forest
	(WDA) Eucalyptus dalrympleana forest
	(WDB) Eucalyptus delegatensis forest with broad-leaf shrubs
	(WDL) Eucalyptus delegatensis forest over Leptospermum
	(WDR) Eucalyptus delegatensis forest over rainforest
	(WDU) Eucalyptus delegatensis wet forest (undifferentiated)
	(WGL) Eucalyptus globulus King Island forest
	(WGL) Eucalyptus globulus wet forest
	(WNL) Eucalyptus nitida forest over Leptospermum
	(WNR) Eucalyptus nitida forest over rainforest
	(WNU) Eucalyptus nitida wet forest (undifferentiated)
	(WOB) Eucalyptus obliqua forest with broad-leaf shrubs
	(WOL) Eucalyptus obliqua forest over Leptospermum
	(WOR) Eucalyptus obliqua forest over rainforest
	(WOU) Eucalyptus obliqua wet forest (undifferentiated)
	(WRE) Eucalyptus regnans forest
	(WSU) Eucalyptus subcrenulata forest and woodland
	(WVI) Eucalyptus viminalis wet forest

Legend: Cadastral Parcels



TASVEG 4.0 Communities within 500 metres

Code	Community	Canopy Tree
DCO	(DCO) Eucalyptus coccifera forest and woodland	
DDE	(DDE) Eucalyptus delegatensis dry forest and woodland	
FRG	(FRG) Regenerating cleared land	
FUR	(FUR) Urban areas	
OAQ	(OAQ) Water, sea	
ORO	(ORO) Lichen lithosere	

For more information contact: Coordinator, Tasmanian Vegetation Monitoring and Mapping Program.

Telephone: (03) 6165 4320

Email: TVMMPsupport@nre.tas.gov.au

Address: GPO Box 44, Hobart, Tasmania, Australia, 7000

*** No threatened Communities (TNVC 2020) found within 500 metres ***

18 March 2022

Attention: General Manager

Central Highlands Council

RE: Development Application DA 2022 / 00001

Dear Council,

, , would like to make a representation objecting to the Development Application relating to 1 Cramps Bay Esplanade, Cramps Bay.

act on behalf of land users of the yingina/Great Lake area and our core focus is to preserve and protect the current and traditional use and culture of the Lake and surrounding environment.

Cramps Bay is a small and quiet grouping of mainly shacks and several permanent residents, many of whom have raised concerns with us regarding this Development Application.

The main concern is the potential impact on the location in its current state of use. The visitor accommodation will likely be heavily used and with 3 separate dwellings will also significantly increase traffic and noise in the area.

The proposed dwellings are not separate residences being built independently of one another, they are being established as a group to be utilised as short-term accommodation (likely Airbnb type) which is in direct conflict with the current usage of this area, where quiet and peace is respected and enjoyed by permanent residents and shack owners alike.

Such a disproportionately large development cannot be of an intensity to respect the character of the use of the area which is the requirement under **Performance Criteria 1 c)** as per the **Central Highlands Interim Planning Scheme**, and we respectfully ask Council to carefully consider the negative impact this will have on the privacy and quiet enjoyment of existing land owners.

Three new dwellings are being proposed (as opposed to a single, existing residence simply undergoing a change of use to visitor accommodation) and this leads to immense concern over the future of Cramps Bay and potential further arbitrary disposal of Crown Land to more developers.

Once this type of development is approved, it naturally sets a precedent for future changes to the existing residential amenity and privacy enjoyed by current rate payers.

18 March 2022

There is still much Crown Land in the yingina/Great Lake area and it has been made clear following previous processes that no more freehold blocks would be sold around the lake, however as the Minister may dispose of the land at his discretion under the **Crown Lands Act 1976**, there is nothing to prevent more and more blocks being sold for commercial development.

Once one Development Application is approved under these circumstances, the flood gates have been opened so to speak, and there will be little room to prevent the future development and commercialism of one of the last truly unique shack communities in Tasmania.

We respectfully submit that this Development Application does not align with the current residential amenity of adjoining properties and is not of an intensity that respects the character of the area and request that approval of Development Application DA 2022 / 00001 be denied.

Please don't hesitate to contact us if you would like to discuss further.

Kind Regards,

Louisa Brown

From:

Sent:

To:

Subject: Fwd: Visitor Accommodation (3 units) 1 Cramps Bay Esplanade, Cramps Bay

Sent from my iPhone

Begin forwarded message:

From:

Date: 6 March 2022 at 1:55:25 pm AEDT

To: developement@centralhighlands.tas.gov.au

Subject: Visitor Accommodation (3 units) 1 Cramps Bay Esplanade, Cramps Bay

As a shack owner at Cramps Bay I'm writing to advise you of my concerns and that I'm definitely against the above development application.

When we purchased our shack we were told there was to be no more new blocks to be built on. The land for this proposed development is supposed to be a reserve and to left untouched. Why has this changed?

Mr Steven Simeoni has admitted that the visitors units will be a source of income for him and his family. This is of great concern to many of the residents of Cramps Bay. Is Mr Simeoni to be registered as a business with ABN and all the necessary safety requirements? Is the area zoned for such a business? This opens up so many concerns than just a private shack/dwelling being constructed!!

I hope the Bothwell Council takes on board all these concerns from all the residents at Cramps Bay and understands the impact they will have

To General Manager & Planning Officer

Notification of Application for planning approval
Proposal for 3 units

To whom it may concern

Letter dated 2nd March received 9th March reply to be returned 18th March 2022 we feel Council should look at the policy on how much notice should be given to Shack owners 9 days to reply isn't much time to view plans get advice and submit.

Our piece of **paradise** not only the bike trail now development

Year 2000 Shack owners were requested to distribute to the infrastructure of the roads & sewerage in the Cramps Bay area costing thousands of dollars.

Meeting shack owners were advised that 1 shack had to be removed a property offered and there would be no more developments in the area, If he has sold his allotted property why is assisting 1 still there, the 1 in question was told to remove his shack about 20 odd years ago yet it is still standing also used at times & houses a caravan on the property. WHAT HAS CHANGED

We were told that no trees were to be taken out

Our property must be a specific colour with no extensions, no other caravan or cabin could be housed on property

Simco Tas Pty Mr Steven Simeoni openly commented on social media he brought this land of his friend his fishing mate and intends to rent unit to assist him in retirement isn't this a commercial driven venture ultimately to retreat an income to support retirement, commented he had been part of the community for 40 years yet most of us have no idea who he is, and wouldn't name his other fishing buddies he claims supports him, if he has been in the community this long surely, he will understand why shack owners are against this project.

Concerns

Fire break	can there be 1 there that won't allow unlawful access to other property
sewage	will this affect other properties
grey water	will it be disposed of properly

Will the roads accommodate the extra heavy trucks & machinery

Will shack owners be able to proceed to their property without being held up

Rates & taxes will these increase with a higher price property in the area

Insurances will they increase

Rubbish will this become a problem with renters or will it just be left laying around

If snowed in who will be responsible cost wise for rescues to tourists etc., as you will be aware many don't know what the conditions can get like in the highlands.

Looking around the central highlands area there is plenty of positions for the more modern design of development Swan- bay, Dollarmite drive or Wilburville to just to name a few, that the modern design would not look out of place.

If this development is approved, then there will no doubt there will be other investor's looking to make the almighty dollar as soon this piece of paradise will become a development opportunity.

Will every shack owner be able to lodge applications & be approved to build extra accommodation on their property to rent to assist them in their retirement?

And the biggest question will the Council be reimbursing all shack owners their infrastructure money as opening this to development should not have to be the responsibility of the shack owners to have funded council for sewage & roads.

We owned our shack & was requested to pay for infrastructure with the understanding our piece of paradise would not be a development area what has changed for the proposal to be submitted.

Yours faithfully

Louisa Brown

From:
Sent: Wednesday, 16 March 2022 3:57 PM
To: development
Cc: |
Subject: Respresentation DA2022/00001 1 Cramps Bay Esplanade, Cramps Bay Visitor Accommodation (3 Units)

Good Afternoon,

I wish to put in my concerns in relation to this development application, my husband and I own a shack at Cramps Bay and have done for 3 years, but my extended family have lived and frequently visited this remote, beautiful and quiet part of the world since the 70's. This area has been a small community for many years, its occupants are people who love their fishing, their hunting, their bushwalking and love the natural wilderness, the quiet, the serenity and remoteness of Cramps Bay. Many of the shack owners come to their site every 2-3 weeks, summer and winter and we are all look out for each other but are very respectful of people's space up here as we understand many of the occupants are here for rest and relaxation and to get away from the hustle and bustle of normal life.

I am extremely concerned that the amenities of all the shack owners within this area will be affected, in relation to our privacy, the noise, the increased traffic and rubbish/waste that will come from this site, specifically due to the construction of three visitor accommodation sites.

I note that there has been a risk management of site and soil constraints, and that it is quite detailed regarding 'no go' areas and what occupants should do if a situation occurs. As this development is for short term accommodation and will not be occupied by the owner. Who will be responsible for the maintenance of this site? How do the shack owners within this area, who will be the ones that identify any problems get in touch with the responsible person regarding problems with maintenance and amenities of this site. As a shack owner, I can attest to the need for the regular ongoing maintenance of our property due to the remote location and harsh climate.

I would be expecting that Council would require an approved Visitor management plan providing details as to who is the responsible person should any problems arise, when and how short term accommodation occupants are notified of the requirements to comply with any restrictions or rules that may pertain to this site, and a list of the rules and requirements of the site and contact details of the responsible person, including alternative persons should responsible person not be available, to be supplied to all shack owners within this area.

As a compliance officer, I have a clear understanding of the frustrations that short term accommodation have caused many neighbours and how hard it is to police, many of these problems occur at night and with the very limited police within this area and Council either closed or with no resources to gather evidence and enforce planning requirements.

I am also concerned how this site, which will be absolutely filled to capacity with three new buildings, (obviously being used to make money for the owner), the required parking, wastewater disposals and landscaped areas for spray irrigation. It is not in keeping with this area with the majority of shacks albeit some that are better maintained than others but each have one shack and a couple of sheds on the title.

The access roads to Cramps Bay run adjacent to this property on two sides and the Great Lake is just over the road, as there will obviously be intense excavation and soil disturbance (as the site is mainly rocks), it raises great concerns on the amount of heavy machinery that will need to get onto the site using the

access road into Cramps Bay and the right of way onto the site. How will the road into Cramps Bay be protected from any damage caused by heavy machinery and if damaged during construction, who will be responsible and how will that be enforced? How will you ensure that all excavation works and building debris remain within the site, I would expect at a minimum that a detailed Soil and Water Management Plan would be required. What measures do you have in place to enforce and make sure they remain compliant within this very sensitive Waterway and Coastal Protection area. There is also a watercourse that runs beside this property and excavation and building debris will easily be picked up and dumped directly into the Great Lake.

The winters up here are beautiful, but long and harsh, most of the shacks owners here understand to need to close off their pipes from their tanks to the shack at night to stop water freezing in the pipes, causing damage with the expansion of frozen water, our pipes are insulated and continually have to be maintained and we just know it is part of a winter up here, the application documentation provided also talks of spray irrigation to landscaped areas using wobbler sprinklers, the majority of the winter up here will mean that the spray irrigation will be frozen and wobbler sprinklers will be unable to function efficiently or effectively.

The plans show a total of 456m² as waste water areas at each end of the site to which the Greywater is to be irrigated to after treatment and yet the geological evaluation shows the site is located on Mesozoic aged rock consisting of Tasmanian Dolorite and not being suitable for absorption, so where will that run-off go? The wastewater areas and any potential run-off are both very close to the boundaries of the site, one close to the access road into Cramps Bay and the other adjacent to the boundary of Cramps Bay Esplanade and the right of way used as access by several properties on Cramps Bay Esplanade, what measures will be put in place to protect those areas from potential run-off due to non-absorption or incapacitated irrigation systems?

I also note the documentation specifies that this is a mains powered site, there is no power up here, we are off the grid in Cramps Bay. Most of the shacks have solar panels and battery systems in place, some have the additional wind turbines for backup during winter as the sun is extremely limited through the winter months. Our hot water and cooking is gas or wood fire.

I also note in the applications documentation, that it is recommended for optimal performance of the system to reduce sludge build up in the irrigation system:

- Scrape all dishes to remove fats, grease etc prior to washing
- Keep all possible solids out of the system
- Do not use rubbish grinder or place hygiene products into the system
- Use bio-degradable soaps and low phosphorous detergents and only use recommended quantities
- Do not pour paint/oil or other chemicals into the system
- Install water saving fixtures
- De-sludge tank every 3 to 5 years or when sludge exceeds two thirds of tank volume
- Clean outlet filter
- Inspection of system by accredited plumber regularly

Can totally understand the benefits of using the recommendations for optimal performance of the irrigation system and as an owner/occupier would definitely be using those recommendations but the reality is that this is not a property being used by an owner/occupier, it will be used by transient people who would not care less about the recommendations for optimal performance of the irrigation system, which makes the inefficient use of this system less effective and a much higher risk to this sensitive environment.

This site is also within a Coastal protection Zone, so the safeguard of all flora and fauna within this area should be carefully considered throughout this application.

I also would also like to make comment and understand that this information will probably not be considered as it is not part of this application, but the developer who is the owner of the current property you are assessing has also just bought another property in LakeView Drive Cramps Bay, apparently to accommodate his workers who will be onsite during the construction of this development. I certainly hope that approval of this site will not set a precedence, in this area and leave the owners of shacks in Cramps Bay dealing with another application to come to demolish the existing shack on site and fill with more short term accommodation, to the detriment of this small and unprotected community. Unfortunately, my job means I have had many dealing with arrogant and non-compliant developers, I can't help but feel that this is someone cashing in on the potential to provide short term accommodation in an area that is also currently being threatened by a bike trail on its doorstep. Unfortunately, we will say goodbye to this isolated and most wonderful part of the world.

Regards

This communication and any files transmitted with it are intended for the named addressee, are confidential in nature and may contain legally privileged information.

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Please consider the environment - Do you really need to print this email?

Louisa Brown

From:
Sent: Tuesday, 15 March 2022 11:32 AM
To: Kathy Bradburn
Subject: Fwd: Visitors Accommodation 1 Cramps Bay

Sent from my iPhone

Begin forwarded message:

Date: 14 March 2022 at 9:00:04 pm AEDT
To: developement@centralhighlands.tas.gov.au
Subject: Visitors Accommodation 1 Cramps Bay

As a shack owner at Cramps Bay who was told that there was to be no new developments this project is a slap in the face.

An article written about Mr Simeoni in the CEO Magazine 19th August 2021 stated that his company Tas City Building had acquired waterfront property at the Great Lake and planned to build three chalets. Rather presumptive of him I thought. Especially because the applicant is asking it to be considered while it's not accommodated in an existing building. This application shouldn't be permitted by just relying on the performance criteria alone.

My concern is also these 3 New Units @ 118.6m² ea = 355.8m² total living area.

The entrance to these units will be on the main road into Cramps Bay definitely a safety hazard for sure. Being unsealed and narrow in places it's not for two cars to pass safely in parts and very close to a T junction. During winter months this road is treacherous with snow n ice. Very slippery as the locals know. Many inexperienced tourists have ended sliding into the drains on the side of the roads or indeed onto the rocks. It's the shack owners they gone looking for to get them out of trouble. Which we do. Will we be expected to rescue more of these inexperienced visitors to these units by towing cars up the hill to the highway because of inadequate vehicles.

Mr Simeoni has stated that these units are for fishermen. No where on the plans are there sufficient plans for boats on trailers n adequate turning circles. This will all be of great disruption to the adjoining properties/neighbours. Who's going police the noise/parties at the units? There is no resident manager on site. You can't just build them and walk away and expect the money to roll in. There is responsibility beyond the build. All shack owners have their names n contact number visible on their shacks for emergency purposes. Will this be a requirement for the units? Will there be some sort of visitors emergency plan?

I'm concerned that Unit 2 and Unit 3 are constructed within the Waterways and Coastal Protection Area rather significantly. Damage to this area should be non negotiable.

Also the irrigation areas for the grey water either side of Units 1 and Units 3 totalling 456m² is within the Waterways and Coastal Protection Area. Totally disagree with this. That area is there to protected for a reason. As stated in the Wastewater System Recommendation the Grey water will be piped into a tank for treatment. That treatment is a lint filter. I don't consider that to be enough treatment so close to the lake. This Grey water will then be irrigated on demand by wobble sprinkles onto the landscape area. Which is in the protected area!!! No other shack is permitted this. This is the Highlands pipes above ground freeze and

burst in winter.

Stated in the Geological Evaluation the site is located on Mesozoic aged rock and the rock is not suitable for absorption. So all the irrigated Grey water will/must end up washed into the beautiful Great Lake. Especially with the amount of rainfall and snow we receive. At what cost. Priority must be given to the health and well being of the water of the Great Lake not \$\$\$.

The Black water tank only has a capacity for 1 month of full accommodation in peak season. Is there a guarantee of this tank being emptied or are we to expect overflow and stench.

All the risk management falls back on the occupants of the units at the time. Seeing as there is no resident manager will there be some visitors guide as to what to do when the hydraulics fail, the pipes freeze, the sewage backs up etc. Or will there be a plumber on call? As shack owners we are all pretty handy and self sufficient it's part of the shack life. As a paying guest that's not a requirement. Will they just walk out with sewage overflowing every where.

The project criteria also states that the Wastewater System is on Mains Power.

Cramps Bay is NOT connected to Mains Power. All shacks are generators or solar.

The increase in waste will be of concern as well. Especially even now when the three bins that are currently at Cramps Bay are never emptied. It's always two of the three.

Since the pontoon at the boat ramp was installed the amount of tourist n fishermen has increased. The bins are always overflowing. No lids don't help either with the wildlife spreading the rubbish. These units will only exasperate the situation.

Please take all the points into consideration when deciding. We all love this place and want the best for it.

18 March 2022

General Manager
Central Highlands Council
19 Alexander Street
BOTHWELL TAS 7030

We would like to lodge an objection to the proposed building at 1 Cramps Bay Esplanade, Cramps Bay (DA 2022 / 00001)

Listed below are our concerns regarding the above application:-

Sewage

I understand that they are going to have a scheduled pump-out of this – how frequent and who will be monitoring that this does happen in an appropriately timely manner.

Fire escape

What will be put in place for escape from Cramps Bay should a fire event occur.

Power to the Units

What is the planned source of power for these units? Solar panels don't charge if the sun isn't shining – what is the back-up plan for this.

Grey water

Is the grey water distribution on the block by a sprinkler system the best fit for this location? And if it is how would that work? Could there not be the opportunity here for harmful run off in a pristine area. Is there not some concern regarding pathogens and other contaminants from soap and detergents in grey water reticulation

that has been raised about this method which precludes it from being widely used as a residential irrigation method.

Obviously in winter such a system would be frozen.

Who is going to monitor the area that this takes place on to ensure that the land doesn't get over "water saturated".

And if it's so good why isn't it widely used in the community.

Is it believable that short stay renters of these units will have the ability or common sense to adopt the water saving practices and waste removal from cooking practices outlined in the proposal?

We, the shack owners, have used and effectively maintained septic systems for many years. If it's accepted by a regulatory body as best available practice then I can see it becoming popular with everyone as a method of lawn and garden irrigation in other areas.

Road conditions

How will this development impact the Cramps Bay access road, which is the only road in or out of the Bay.

In winter this road becomes icy and extremely difficult, even for shack owner who have experience with this road, to negotiate.

The option of sealing this road could create a catastrophe like Haulage Hill on the other end of Great Lake where there are repeated retrievals of inexperienced drivers slipping off the road. At some points Cramps Bay Road has very deep ditches at the edge of the road and over the many years that we have been using it erosion is making these ditches wider and closer to the driving surface.

Will the council and other government entities be responsible for any capital outlay for any changes to the Status Quo or will any infrastructure/changes to roads and amenities be covered wholly by the proponents?

What effect will the lighting from this development have on the general ambience of Cramps Bay which is currently solely shacks powered by solar, wood fired heating and a few with generator power with minimal floodlighting of outside areas.

What procedures will be put in place for when people staying in the proposed visitor accommodation get snowed in? What resources will that require and who will be providing/financially responsible for them?

Is this proposed development fit for purpose for Cramps Bay.

The initial intention for Cramps Bay was, and still is as far as we residents feel, for this to be a traditional shack type community shared and cared for by a group of like-minded fishing enthusiasts that love and respect the environment they are privileged to share.

When we purchased our sites as part the government initiative I am pretty sure that we were assured that there would be no major expansion to the Cramps Bay settlement with numbers capped at the level at that time. I believe the number was between 30 and 40 shacks. It was meant to be for shacks that are self-sufficient, non-intrusive to the environment and self-maintained and respectful of the land that they are on. The proposed development will not meet this criteria, in fact, it will have a huge impact in all aspects of what Cramps Bay is about.

The conclusion being reached by many is that this is the thin end of the wedge that will alter and eventually destroy the traditional highland experience that we have enjoyed over the past 45 years. The introduction of itinerant visitors that have no connection to, or affinity with, the area will cause a community disconnect with, and a loss of culture in general. Commercial development for profit via short term rental is not what this area is about. If sanctioned this trend could see all future development in the highland area being solely for income generating short term accommodation. This appears to be the current path that developers are going down willy nilly in an attempt to attract tourists to areas that are not equipped to deal with the pressures of tourists.

This application and the recent developments of site usage at Arthurs Lake along with the possibility of people riding bikes and walking a trail around the Great Lake (theres a whole different problem of waste disposal/camping areas and environmental damage) causes alarm and bewilderment at what the future holds

for one of Tasmania's last bastions of uncommercialised wilderness type areas accessible to all users.
Regards

Signed by:

Louisa Brown

From:
Sent: Thursday, 17 March 2022 4:30 PM
To: development
Cc:
Subject: Re: DA 2022/00001, 1 Cramps Bay Esplanade

The General Manager.

>
 > Dear Sir,
 >
 > We like to make the following representation
 >
 > We raise the following concerns in relation to this submission.
 >
 > 1: We have owned our property for over 30 years and when the Hydro Tas offered up the land for purchase we were told that Lot 13 will be put aside as reserve, the surveyor at the time confirmed this. SO its was quite a surprise that the land is now privately owned and has a development application underway.
 >
 > This design does not fit the required allocation of the waterway and coastal protection area, in fact it clearly intruding into this zone.
 >
 > 2: There is misleading notations in relation to Bushfire Attack compliance .
 >
 > It's noted that and I quote: (Arrangement with Neighbour established to cull necessary vegetation for bushfire attack compliance).
 >
 > There has been no communication at all with any interested parties and for the record we will not allow any vegetation to be removed from our property.
 >
 > We have rare specifiers of Hakier , Native pepper Berry and some of the original Eucalyptus trees that survived the construction of the Lake . We also have nesting zones of rare honey eaters and Carrawong .
 >
 > 3: The location of 2 of the Units clearly are a visual intrusion of our view of the lake and our privacy . Our View was a fundamental reason for our purchase and we own the rights to that skyline and thus needs to remain untarnished and uninhibited .
 >
 > I believe that 3 Buildings on such a small site is far too excessive .
 >
 > 4.The current Irrigation Area Zone 2, is not suitable , every winter that whole area is flooded by water run form the highway and the access road, all this water flows into the lake, so All grey water will find its way to contaminate the lake.
 >
 > 5. The recommended Sewer management plan Table 9:1, is flawed. We are talking about a harsh environment where we have Snow, ice, heavy rain, power outages, internet access outages . and extreme freezing down to minus 10.
 >
 > There is no way a client ## tenant will phone through a issue in relation to a failed sewer line , The rocky land can not handle any spillage so close to the waterway reserve so I have huge concerns with the fact that there can be 12 Adults putting load on the system daily . 12 Adults using ablutions, showering, washing up.. that a massive load on such a small site that is all rock, has no natural absorption and is clearly too small to construct 3 Buildings. So again any failure will immediately contaminate the lake and water ways.

- >
- > We trust that you will take the time to consider our objections and concerns.
- >
- > Kind regards
- >

Good Morning,

I wish to voice my concerns regarding this development application.

We are shack owners at Cramps Bay, (for approximately 3 years) but our extended family has strong ties to the area going back to the 1970s. The community is a close knit group of people who come to the area for the peace and quiet, outstanding natural beauty of the lake and surrounds and to pursue activities, such as fishing, hunting and bushwalking. Most of the owners come to their site on a regular basis throughout the year and although we, “look out for one another” are respectful of peoples privacy and desire to get away from the normal demands of our increasingly busy lives.

I am extremely concerned that the amenities of all shack owners within this area will be affected in relation to privacy, noise, increased traffic and rubbish/waste that will be generated from this site, specifically due to the construction of three visitor accommodation units.

There has been a risk management of site and soil constraints, which is quite detailed in regards to “no go” areas and what steps occupants should take if a situation/problem occurs. This development is identified as specifically for short term accommodation and will not be occupied by the owner. Who will be responsible for the maintenance of this site? How are they to be contacted should inevitable problems with maintenance and amenities of the site arise? As a shack owner, I can attest to the need for the regular ongoing maintenance of our property due to the remote location and harsh climate.

I would also expect that council would require an approved Visitor Management Plan for the site. This should include up to date contact details for the person responsible for the site. When and how short term accommodation occupants are notified of the requirements to comply with any restrictions or rules that may pertain to the site. A list of those rules and requirements and contact details for a person responsible for the site including alternative contacts if they not be available, should be distributed to all shack owners within this area. Unfortunately, due to the remote nature of Cramps Bay, it will be extremely difficult to police things like noise complaints, or anti-social behaviour, particularly on weekends as the Council offices will be closed and the nearest Police Officer is stationed at Liawenee.

Another concern for us is the density of the site, with three new buildings, their required parking areas and wastewater disposal for all three dwellings into landscaped areas for spray irrigation. It is not in keeping with the area where properties have one shack/dwelling and a couple of sheds on the title. We are concerned that should this proposal be passed, it will set a precedent whereby other properties could be acquired by developers solely for the potential of the land, the dwellings /sheds demolished and replaced with several buildings for short term accommodation built in their place.

The access roads to Cramps Bay are gravel and are seeing an increase in traffic due to the recent upgrade of the boat ramp. We are concerned that, as there will need to be intense excavation and soil disturbance requiring heavy machinery due to the nature of the site, that there will arise issues with damage to the road surface and right of way onto the site. Who is responsible for any damage to the road as a result of the construction on the site and how will that be enforced? How will you ensure that all excavation works and building debris remain within the site. Is there a Soil and Water Management plan? What measures do you have in place to make sure that the developer remains

compliant within this very sensitive Waterway and Coastal Protection area? There is a watercourse on the other side of the road of this property which runs directly into the lake and we are concerned about the possibility of excavated material and building debris ending up in it and inevitably making its way into Great Lake.

Winter in this area is long and harsh. Cramps bay is at an elevation of 1030m above sea level and is frequently subject to below freezing temperatures and heavy snowfall. Pipes freeze and can split due to ice expansion. We are concerned that part of the proposed grey water system, in the application documentation relies on the use of wobbler sprinklers for spray irrigation to landscaped areas. The efficiency and effectiveness of this system will be severely compromised in winter due to the freezing temperatures, particularly overnight.

The plans show a total of 456m² waste water absorption areas at each end of the site to which the Grey water is to be irrigated to after treatment, yet the geological evaluation shows that the site is located on "Mesozoic aged rock, consisting of Tasmanian Dolorite and not being suitable for absorption." Where will that run off go? The wastewater areas and therefore potential run off are very close to the boundaries of the site. What measures will be put in place to protect those areas from potential run off due to non absorption and non-functioning irrigation systems?

I also note in the applications documentation, that it is recommended for optimal performance of the system to reduce sludge build up in the irrigation system:

- Scrape all dishes to remove fats, grease etc prior to washing
- Keep all possible solids out of the system
- Do not use rubbish grinder or place hygiene products into the system
- Use bio-degradable soaps and low phosphorous detergents and only use recommended quantities
- Do not pour paint/oil or other chemicals into the system
- Install water saving fixtures
- De-sludge tank every 3 to 5 years or when sludge exceeds two thirds of tank volume
- Clean outlet filter
- Inspection of system by accredited plumber regularly

Can totally understand the benefits of using the recommendations for optimal performance of the irrigation system and as an owner/occupier would definitely be using those recommendations but the reality is that this is not a property being used by an owner/occupier, it will be used by transient people who would not care less about the recommendations for optimal performance of the irrigation system, which makes the inefficient use of this system less effective and a much higher risk to this sensitive environment.

I also note that Black water is to be retained on site and removed/pumped out following a regular maintenance schedule. This will need to be monitored diligently. I do note that the system has been designed to cater to the requirements of the site, (based on the estimated number of people and length of stay), however this maintenance procedure will need to be given the utmost priority by the owner or any future owners of the property. I hope that the commercial nature of self contained

accommodation does not mean that the costs associated with this extremely important maintenance, mean that it is given less priority over time.

I also note that the documentation specifies that this is a mains powered site, but there is no mains power at Cramps Bay. All the shacks are “off grid” Solar, 12 and 24V systems, gas cooking and wood fire. This is another aspect of living in the area and one that also requires maintenance and attention.

This site is also within a Coastal Protection Zone, so the safeguard of flora and fauna within this area should be carefully considered throughout this application.

Louisa Brown

From:
Sent:
To:
Subject: FW: Re application for development permit 1 cramps bay esplanade proposal da2022/1

From: Graham Rogers <GRogers@centralhighlands.tas.gov.au>
Sent: Tuesday, 15 March 2022 11:27 AM
To: Planner <planner@centralhighlands.tas.gov.au>
Subject: Fwd: Re application for development permit 1 cramps bay esplanade proposal da2022/1

Sent from my iPhone

Begin forwarded message:

To: Graham Rogers <GRogers@centralhighlands.tas.gov.au>
Subject: Fwd: Re application for development permit 1 cramps bay esplanade proposal da2022/1

Date: Tue, 15 Mar 2022 at 8:59 am
 Subject: Re application for development permit 1 cramps bay esplanade proposal da2022/1
 To: grogers@centralhighlands.tas.gov.au

As a family we are disappointed with the proposal for this development at cramps bay when we purchased the leased land from Hydro Tas it was stated that there would be no more development at cramps bay, owners couldn't subdivide any of their lots nor erect fences. This development seems to make that null and void, when initially surveyed the surveyor told me this lot would be a foreshore reserve because if ever Great Lake would fill up to the top of the dam parts of the esplanade would be under water and cover the road in front of the proposed units.

The previous owner of this lot 13 had a shack on lot 14 which was supposed to be demolished about 20 years ago, this shack is still standing and has been used over that period. The owner at the time had been given the opportunity to have lot 19 or 1 he chose lot 1. Who's responsibility is it to demolish that shack now? maybe Simco should be given lot 19 and build there.

As for the 3 proposed units and having the family shack at 3 cramps bay esplanade, behind this development we don't understand why you would put 3 units there when one would suffice or eradicate the middle unit at least, seems to me a money making venture as the developer intends to rent them out

We as a family will be very disappointed if this development proceeds and is approved.

We will be looking at 3 solar paneled roofs and have 3 fireplace flues blowing in our direction with the prevailing north westerlies

The modern style of the proposed units are not in keeping with the cramps bay shack image

On the site drawing it states that permission will be asked to remove vegetation for bushfire attack level of on our property, we will not allow any removal of any vegetation on our site. The native flora is already under threat at cramps, especially the endemic hakea which is dying off in the area at an alarming rate, we feel any cull of vegetation is irresponsible.

I am in my mid seventies and love seeing my children, grandchildren and great grandchildren enjoy this environment and lifestyle for years to come as it will be handed down to them,

We would ask council to carefully consider this proposal as I know many shack owners around the lake are opposed to new development, also the proposed bike track.

Yours sincerely

.

Louisa Brown

From:
Sent: Friday, 18 March 2022 6:11 PM
To: development
Subject: Objection to 1 Cramps Bay, esplanade Cramps Bay

To whom it may concern,

I would like to object to the planning development permit put forward to council regarding the commission of accomodation units in the area of cramps bay.

It is our belief as long standing shack owners and recreation users of the Great Lake that these units will take away from the peaceful laid back lifestyle we are accustomed to in the central highlands. The three units will greatly affect the residents of cramps bay. With people constantly coming and going and as tourists and short time users generally do will not show the same respect for the environment as nearby residents and land as an owner occupier would.

I also believe this was previously land owned by the crown, I understand it I perfectly legal for the crown to sell off parcels of land but what kind of precedent does this set. Will more and more land be sold off to the highest bidder, just so they can develop it to line their own pockets.

This is not what the Great Lake is about, it is not a cash cow and should be kept as quiet and pristine. We get away and enjoy the Great Lake and surrounds as a shack style community as it has been used by many individuals for the last 3-4 generations. Everyone comments on how beautiful and quiet it is up there but it seems that some individuals want to commercialise on it to make a dollar, which at the end of the day changes it for the worst.

There are already two pubs and several other smaller accommodation type lodges around the Great Lake do we really need anymore?

With regards

Sent from my iPhone

Louisa Brown

From:
Sent: Saturday, 19 March 2022 9:34 PM
To: development
Subject: 1 Cramps Bay Esplanade, Cramps Bay

General Manager,
19a Alexander St, Bothwell Tas

Dear Sir,

We would like to object to this application to build 3 units at the Cramps Bay address as we never expected commercialism to impact on the peace and tranquility of Cramps Bay, where we have a holiday chalet nearby, which WE DONT rent out!

yours sincerely,

Date 24/03/2022

General Manager
Central Highlands Council

Via Email: planner@centralhighlands.tas.gov.au

RE: Development Application DA2022/00001 – 1 Cramps Bay Esplanade, Cramps Bay – Visitor Accommodation (3 Units).

Dear Sir/Madam

We have reviewed the representations which were received in relation to the above-mentioned development application. A response is provided in relation to a number of matters raised, along with comments on the application generally.

In providing this response, we note that the application has been prepared and lodged with consideration of relevant criteria under the *Central Highlands Interim Planning Scheme 2015* (the Scheme), and included discussions with Council officers prior to formal lodgement.

Use Status

The property is within the Low-Density Residential Zone. Within the **Use Table 12.2**, 'Visitor Accommodation' is a **Permitted** Use. While the application is 'discretionary', the use remains permitted within the zone.

Subsequently, and in accordance with clause 8.10.2 of the Scheme, the Planning Authority cannot take into consideration the zone purpose statements provided in section 12.1, noting that the characteristics and style of accommodation is compatible with existing residential amenity.

Building and Design

The owner of the land, Steven Simeoni, is providing a development which respects the existing character and nature of Cramps Bay. The proposed accommodation consists of three, two-bedroom cabins. The cabins are modest in form and design, being low profile and with colours that complement the surrounding natural environment. Utilising the topography of the site, the buildings have a maximum height at the rear of 3.1m. They are not large or visually intrusive structures. The cabins, set in front of a backdrop of established vegetation, are congruous with the landscape by design when viewed from public areas of Cramps Bay Road, Cramps Bay Esplanade, and Cramps Bay itself.

Each proposed cabin is of a scale which respects existing development within the Cramps Bay area. The surrounding area is made up of simple dwellings and outbuildings, which have been added onto, modified, or extended over the years.

Private allotments along Cramps Bay Road, and Lake View Drive are in close proximity to one another. Many of the lots have either completely cleared, or substantially cleared vegetation from the land.

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When compared to existing dwellings in Cramps Bay, the development is considered to be of a scale which takes this character into consideration. The size of each cabin aligns with the existing built environment along Cramps Bay Road, Lake View Drive, and Cramps Bay Esplanade. Photos of existing dwellings in the Cramps Bay area can be seen online, demonstrating the accommodation will be in harmony with the existing area's development pattern.

Low Density Residential Zone - Clause 12.3.2 – Visitor Accommodation

The objective for the clause is shown below:

To ensure visitor accommodation is of a scale that accords with the residential character and use of the area.

The word 'Accords' is not defined within the Scheme. The Macquarie Dictionary defines the word 'accords', as "*to be in agreement or harmony with*". When assessing whether the proposal is in harmony, both the built structure and use are examined.

This submission has already touched on the built form, and how the straightforward two-bedroom design complements the existing built character of Cramps Bay.

In relation to the use, the accommodation development provides for a total of six bedrooms over the entire site. It is not part of a larger tourism development, motel or hotel complex, but rather provides a small number of rooms for those seeking to visit the area. It does not provide onsite staff or special facilities. It seeks to give visitors the same quiet experience that those living or holidaying in Cramps Bay currently enjoy.

Given that many of the dwellings in Cramps Bay are currently holiday homes or 'shacks', the use will, in most respects, operate in a very similar manner to what is existing throughout the area.

In relation to clause 12.3.2 P1, the following is noted:

- a) The accommodation does not adversely impact residential amenity and privacy. The accommodation is contained within a defined area. Views are oriented towards Cramps Bay, and away from other residential properties. The closest dwelling is approximately 27m away, with vegetation providing a buffer between buildings. The existing buildings at CT134169/12 and CT134169/9 are at higher elevations than the subject site which affords them protection of their sense of space and privacy.

There is no outdoor flood lighting directed towards adjoining properties. While there will be three wood heaters in total, given the number of dwellings with existing wood heaters in Cramps Bay, this minor increase would not be expected to make any meaningful difference.

The wording of this clause includes the word 'adversely', as opposed to 'unreasonable impact'. Based on the wording, it is evident that the proposal would need to have a severe impact on an adjoining property in order to be considered noncompliant with this clause.

In the context of what is proposed, and after reviewing the separation to adjoining dwellings, along with vegetation screening between buildings, it is my opinion that the

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accommodation cabins will have an objectively minimal impact on residential amenity or privacy. It is evident that care has been taken with regard to the existing character and amenity against the proposed design and layout.

- b) Sufficient parking and manoeuvring areas have been provided. The application provides for two spaces per cabin, more than the current scheme requirement of “1 space for each unit”. Vehicles have the ability to exit the site in a forward direction.
- c) The accommodation is of an intensity that respects the area. Attention is drawn to the word “intensity” within the clause. As previously stated, the accommodation provides for six beds across three buildings. The three cabins are not an *intense* development. Buildings are not crammed onto the site. The site coverage of 14.9%, falls far short of the 25% acceptable solution site coverage under clause 12.4.3. The number of visitors at its peak would be 12, which is not considered extreme or unreasonable.

The very nature of Cramps Bay is that family shacks are used intermittently, along with some full-time residents. There are vehicles coming and going on a regular basis, with increased usage over weekends and holidays. This development has had regard to that existing character, and will essentially operate in a similar way with people coming and going on an informal basis. It is expected the accommodation will be used by visitors coming to fish and use the lake, further limiting vehicle travel to and from the site.

- d) At its peak, the traffic movements from the site will be less than 20 per day. Traffic generation rates have been sourced from the RMS Guide. The RMS Guide states that for ‘motels’ (the closest referenced accommodation land use within the RMS Guide), the traffic generation is 3 trips per day per unit, and 0.4 trips per hour per unit during the evening peak period. The nature of Cramps Bay would likely see far less movements in the evening period than accommodation in built up areas.

Given there are approximately 49 dwellings within Cramps Bay, the overall increase onto a Council maintained road is considered negligible. Any new crossover would be constructed as per Councils standard requirements. The impact as a result of traffic is considered of no meaningful consequence. There are no identified safety issues given the low-speed environment on Cramps Bay Road. There is no resulting disadvantage for users of the existing Right of Way.

Representations

The representations have been written by residents and land owners who are not familiar with development in Cramps Bay. Understandably, they have an interest in any development that occurs within the Community. The submissions indicate that many of the cabins and shacks are family owned, having been passed through generations. There is a strong sense of place and value associated with Cramps Bay for these land owners.

While all of the above is noted, “new development” is not a reason for objecting. There can be no assumption that this will “open the flood gates”, and result in Cramps Bay becoming a tourism hot spot. Ultimately the destination of Cramps Bay and the Great Lake is a public one, and while individual lots are privately owned, this does not constitute ownership of the public space. All development will be subject to the provisions of the Scheme, as this application has been. The attractive qualities of the area are indeed the very reason why Steven Simeoni has

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sought to provide this modest accommodation development. It is anticipated that visitors to the area also seek to enjoy the quiet and secluded surroundings.

In relation to the submissions received, the following points are noted:

- The visitor accommodation is small scale. It would not be expected that all cabins would be occupied throughout the year. Practically speaking, there will be extended periods of vacancies, especially through the winter months.
- The onsite wastewater system has been designed in accordance with the relevant Australian standard. The system will be subject to a plumbing permit, which will allow assessment by Councils Environmental Health Officer. The system will be pumped out approximately every two months, with only grey water being irrigated onsite.
- A visitor accommodation management plan and guidelines will be provided for all users of the site. A copy of this can be provided to Council. Generally, this would form a condition of any permit. The guidelines set out guest responsibilities, and provide guidance for a range of situations. Emergency and site manager contact details would be provided within this document to ensure the smooth operation of use.
- While not a relevant planning consideration, many representations indicate they were under the impression there was to be no more development within Cramps Bay. While this may have been their understanding, it must not impact Council's assessment of the application before them. All use and development is required to be assessed in accordance with relevant scheme provisions.
- The bushfire assessment will be in accordance with AS3959:2018. This assessment will be provided as part of a building application, and doesn't form part of a planning application. E1.0 Bushfire Code does not apply to this development.
- While some vegetation clearance is required to meet bushfire requirements, select trees can still remain within the hazard management area around buildings. Branches and limbs below 2m in height should be pruned, however some larger and established trees can be retained, ensuring a minimum canopy separation of >5m. The bushfire hazard management plan will cover these issues as part of its assessment.
- Any impact the development has on private views is not relevant. Land owners do not own a view. The statement in one of the representations that "we own the rights to that skyline" is incorrect. The planning scheme does not protect views from privately owned lots.
- A soil and water management plan would be provided prior to any works commencing on site. This would ensure protection of the bay during construction.

The representations essentially paint a worst-case scenario of a development that will have a permanent and detrimental change to the Cramps Bay landscape. Such exaggerated statements should not be taken literally and do not accurately reflect what is being proposed.

We acknowledge that Cramps Bay has not experienced this style of development, and representors are understandably cautious, however the proposal which has been put forward is

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modest, appropriate to the site and will not compromise or restrict enjoyment of the area by existing residents and land owners.

We would also like to note that support in principle for the proposal has been provided at both a Federal and State Government level.

In my opinion, the application put forward complies with relevant zone and code criteria within the *Central Highlands Interim Planning Scheme 2015*, and is therefore appropriate for Council approval.

If you have any questions regarding the contents of this letter, please don't hesitate to contact me on the numbers provided.

Kind regards
Woolcott Surveys



James Stewart
Senior Town Planner

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