

DISCRETIONARY APPLICATION

For Public Display

Applicant:

Smeekees Drafting Pty Ltd

Location:

644 Lower Marshes Road, Apsley

Proposal:

Resource Processing (Change of Use - Farm Shed to Distillery)

DA Number:

DA 2020 / 00033

Date Advertised:

30 June 2020

Date Representation Period Closes:

14 July 2020

Responsible Officer:

Jacqui Tyson (Senior Planning Officer)

Viewing Documents:

The relevant documents may be viewed at Council's website www.centralhighlands.tas.gov.au or at Council's Offices 19 Alexander Street, Bothwell & 6 Tarleton Street, Hamilton during normal office hours.

Representations to:

General Manager
19 Alexander Street
BOTHWELL TAS 7030

Email:

kbradburn@centralhighlands.tas.gov.au



central
highlands
COUNCIL

Development & Environmental Services
19 Alexander Street
BOTHWELL TAS 7030

Phone: (03) 6259 5503
Fax: (03) 6259 5722

www.centralhighlands.tas.gov.au

OFFICE USE ONLY

Application No.: _____

Property ID No.: _____

Date Received: _____

Application for Planning Approval Use and Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Applicant Name

Jay Weir

Postal Address

12 Warwick Street

Phone No: 03 6234 6185

Hobart, Tasmania

7000

Fax No:

Email address

jay.weir@smeekesdrafting.com.au

Owner/s Name

(if not Applicant)

Corey Hazelwood & Lauren Hazelwood

Postal Address

644 Lower Marshes Road

Phone No: 0423 007 844

Apsley, Tasmania

7030

Fax No:

Email address:

corey.h@hotmail.com

Description of proposed use and/or development:

**Address of new use
and development:**

644 Lower Marshes Road, Apsley TAS 7030

**Certificate of Title
No:**

Volume No

134822

Lot No:

1

**Description of
proposed use or
development:**

Change of Use - Farm Shed to Whiskey Distillery

ie: New Dwelling / Additions / Demolition
/ Shed / Farm Building / Carport /
Swimming Pool or detail other etc.

**Current use of land
and buildings:**

Rural / Residential

Eg. Are there any existing buildings
on this title?
If yes, what is the main building
used as?

Proposed Material

What are the proposed
external wall colours

N/A (existing)

What is the proposed roof colour

N/A (existing)

What is the proposed
new floor area m².

N/A (existing)

What is the estimated value of
all the new work proposed:

\$ N/A (existing)

Is proposed development to be staged:

Yes ☐

No ☒

Tick ✓

Is the proposed development located on land previously used as a tip site?

Yes ☐

No ☒

Is the place on the Tasmanian Heritage Register?

Yes ☐

No ☒

Have you sought advice from Heritage Tasmania?

Yes ☐

No ☒

Has a Certificate of Exemption been sought for these works?

Yes ☐


No ☒

Signed Declaration

I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Central Highlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. In relation to this application, I/we agree to allow Council employees or consultants to enter the site in order to assess the application.
3. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature");
Applies where the applicant is not the Owner and the land is not Crown land or owned by a council, and is not land administered by the Crown or a council.

Applicant Signature


(if not the Owner)

Applicant Name (Please print)

Jay Weir

Date

10/06/2020

Land Owner(s) Signature



Land Owners Name (please print)

Corey Hazelwood

Date

11/6/20

Land Owner(s) Signature



Land Owners Name (please print)

Lauren Hazelwood

Date

11/6/20

Information & Checklist sheet



1. A completed Application for Planning Approval – Use and Development form.
Please ensure that the information provides an accurate description of the proposal, has the correct address and contact details and is signed and dated by the applicant.



2. A current copy of the Certificate of Title for all lots involved in the proposal.
The title details must include, where available, a copy of the search page, title plan, sealed plan or diagram and any schedule of easements (if any), or other restrictions, including covenants, Council notification or conditions of transfer.



3. Two (2) copies of the following information -

- a) An analysis of the site and surrounding area setting out accurate descriptions of the following -
 - (i) topography and major site features including an indication of the type and extent of native vegetation present, natural drainage lines, water courses and wetlands, trees greater than 5 metres in height in areas of skyline or landscape importance and identification of any natural hazards including flood prone areas, high fire risk areas and land subject to instability;
 - (ii) soil conditions (depth, description of type, land capability etc);
 - (iii) the location and capacity of any existing services or easements on the site or connected to the site;
 - (iv) existing pedestrian and vehicle access to the site;
 - (v) any existing buildings on the site;
 - (vi) adjoining properties and their uses; and
 - (vii) soil and water management plans.



- b) A site plan for the proposed use or development drawn, unless otherwise approved, at a scale of not less than 1:200 or 1:1000 for sites in excess of 1 hectare, showing -
 - (i) a north point;
 - (ii) the boundaries and dimensions of the site;
 - (iii) Australian Height Datum (AHD) levels;
 - (iv) natural drainage lines, watercourses and wetlands;
 - (v) soil depth and type;
 - (vi) the location and capacity of any existing services or easements on the site or connected to the site;
 - (vii) the location of any existing buildings on the site, indicating those to be retained or demolished, and their relationship to buildings on adjacent sites, streets and access ways;
 - (viii) the use of adjoining properties;
 - (ix) shadow diagrams of the proposed buildings where development has the potential to cause overshadowing;
 - (x) the dimensions, layout and surfacing materials of all access roads, turning areas, parking areas and footpaths within and at the site entrance;
 - (xi) any proposed private or public open space or communal space or facilities;
 - (xii) proposed landscaping, indicating vegetation to be removed or retained and species and mature heights of plantings; and
 - (xiii) methods of minimizing erosion and run-off during and after construction and preventing contamination of storm water discharged from the site.
- c) Plans and elevations of proposed and existing buildings, drawn at a scale of not less than 1:100, showing internal layout and materials to be used on external walls and roofs and the relationship of the elevations to natural ground level, including any proposed cut or fill.



4. A written submission supporting the application that demonstrates compliance with the relevant parts of the Act, State Policies and the Central Highlands Interim Planning Scheme 2015, including for industrial and commercial uses, the hours of operation, number of employees, details of any point source discharges or emissions, traffic volumes generated by the use and a Traffic Impact Statement where the development is likely to create more than 100 vehicle movements per day.



5. Prescribed fees payable to Council. An invoice for the fees payable will be issued once application has been received.

<p>Information</p> <p>If you provide an email address in this form then the Central Highlands Council ("the Council") will treat the provision of the email address as consent to the Council, pursuant to Section 6 of the Electronic Transactions Act 2000, to using that email address for the purposes of assessing the Application under the Land Use Planning and Approvals Act 1993 ("the Act").</p> <p>If you provide an email address, the Council will not provide hard copy documentation unless specifically requested.</p> <p>It is your responsibility to provide the Council with the correct email address and to check your email for communications from the Council.</p> <p>If you do not wish for the Council to use your email address as the method of contact and for the giving of information, please tick ✓ the box</p>	<input type="checkbox"/>
<p>Heritage Tasmania</p> <p>If the Property is listed on the Tasmanian Heritage Register then the Application will be referred to Heritage Tasmania unless an Exemption Certificate has been provided with this Application. (Phone 1300 850 332 or email enquires@heritage.tas.gov.au)</p>	
<p>TasWater</p> <p>Depending on the works proposed Council may be required to refer the Application to TasWater for assessment (Phone 136992)</p>	

SEARCH OF TORRENS TITLE

VOLUME 134822	FOLIO 1
EDITION 5	DATE OF ISSUE 07-Jun-2012

SEARCH DATE : 15-May-2020

SEARCH TIME : 11.14 AM

DESCRIPTION OF LAND

Parish of SPRING HILL, Land District of MONMOUTH
Lot 1 on Plan 134822
Being the land described in Conveyance 72/4234
Derivation : Part of 115 acres, 200 acres and 500 acres,
Granted to John Bisdee
Derived from Y19404

SCHEDULE 1

D23195 TRANSFER to COREY JON HAZELWOOD and LAUREN MICHELLE
 HAZELWOOD Registered 08-Sep-2011 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
72/4234 BURDENING EASEMENT: Right of Carriageway [appurtenant
 to Lot 1 on Diagram 46755) over the Right of Way six
 metres wide shown on Plan 134822
D52458 MORTGAGE to Commonwealth Bank of Australia
 Registered 07-Jun-2012 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

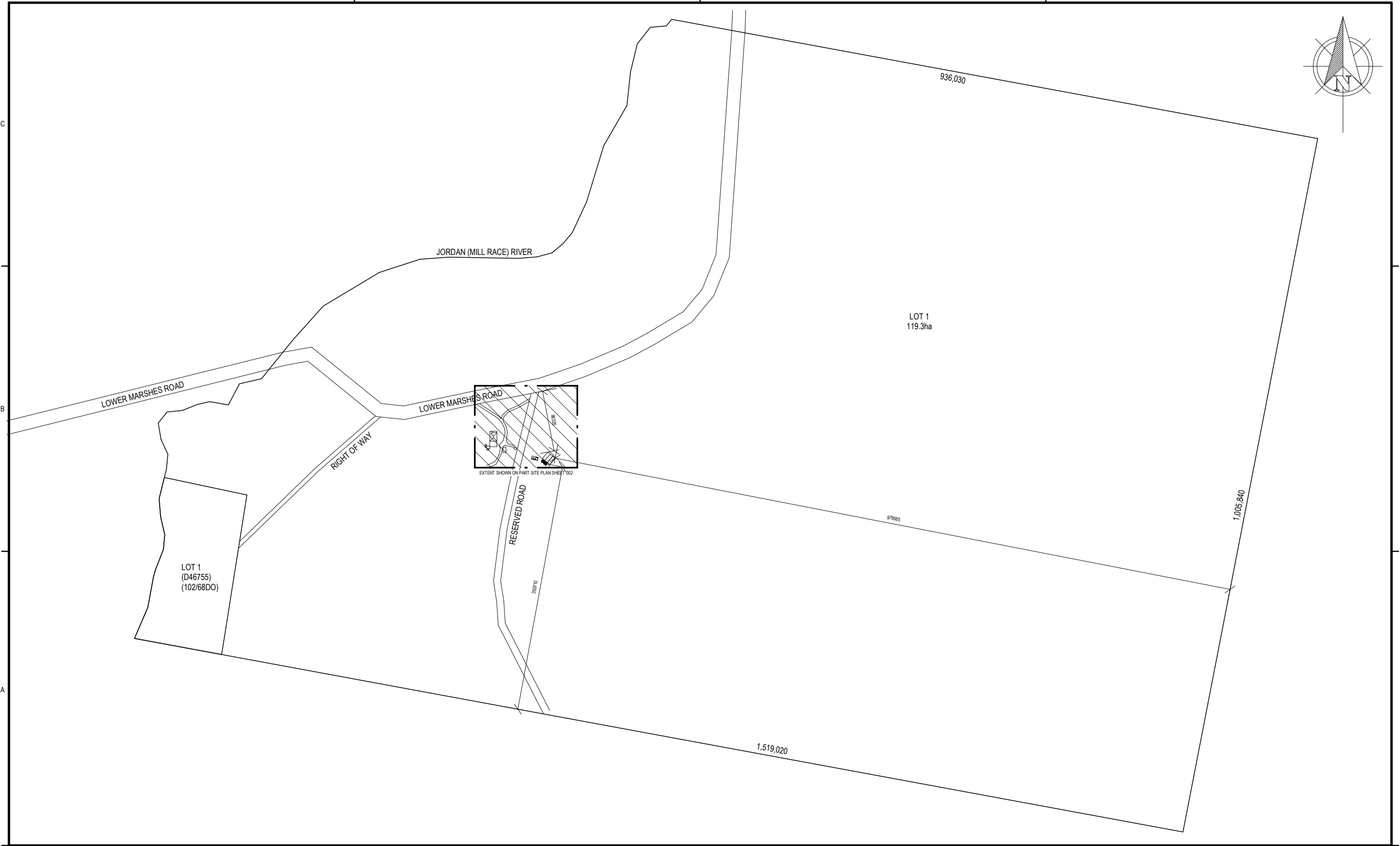
No unregistered dealings or other notations

<p>FILE NUMBER Y19404</p> <p>GRANTEE</p> <p>PART OF (115AC, 200AC & 500AC), GRANTED TO JOHN BISDEE</p>		<p style="text-align: center;">CONVERSION PLAN</p> <p>LOCATION</p> <p style="text-align: center;">MONMOUTH - SPRINGHILL</p> <p>CONVERTED FROM CONV 72/4234</p> <p>NOT TO SCALE LENGTHS IN METRES</p>		<p>Registered Number</p> <p style="text-align: center; font-size: 1.2em;">P.134822</p> <p>APPROVED 11 OCT 2000</p> <p style="text-align: center;"><i>Alice Kawa</i> Recorder of Titles</p>	
MAPSHEET MUNICIPAL CODE No. 105 (5030)	LAST UPI No. 1900945	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		DRAWN DJB	

SKETCH BY WAY OF ILLUSTRATION ONLY
"EXCEPTED LANDS"

BOUNDARY OF LOT 1 AMENDED PURSUANT
TO SEC 139 L.T.ACT 1980

Alice Kawa
Recorder of Titles
17/7/2001



REV.		DESCRIPTION		REFERENCE		DESIGNED		CLIENT	
0	ISSUED FOR CLIENT REVIEW 10.06.2020	LOCATION PLAN	HAZELWOOD-001			DRAWN	J. WEIR	C. HAZELWOOD	
1	ISSUED FOR DEVELOPMENT APPLICATION 16.06.2020	PART SITE PLAN	HAZELWOOD-002			CHECKED	R. SREEKES	TITLE	
2	ISSUED FOR AMENDED DEVELOPMENT APPLICATION 19.06.2020	PROPOSED FLOOR PLAN	HAZELWOOD-003					644 LOWER MARSHES ROAD, APSLEY TAS 7030	
		ELEVATIONS	HAZELWOOD-004					LOCATION PLAN	
		ORTHOGRAPHIC VIEW	HAZELWOOD-005					DRG No.	HAZELWOOD
								SHT.	001
								SCALE	1 : 5000
									A3

GENERAL NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SMEEKES DRAFTING PTY LTD STANDARD BUILDING NOTES, SHEETS STANDARD-001 TO 005.
2. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
3. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET-OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.
5. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1684.2 "TIMBER FRAMED CONSTRUCTION". T.P. DECK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLICATION FROM THE TIMBER PROMOTION COUNCIL "TIMBER DECKS - DESIGN AND CONSTRUCTION MANUAL".
6. FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2870 "RESIDENTIAL SLABS AND FOOTINGS".
7. PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH AS 3500.2 AND AS 3500.3 "THE NATIONAL PLUMBING AND DRAINAGE CODE". FIT ADJUSTABLE TEMPERING VALVES TO ALL ABLUTIONS IN ACCORDANCE WITH AS 1529 "CODE OF PRACTICE OF HOUSEHOLD TYPE HOT WATER SUPPLY SYSTEMS".
8. WATER PROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3740 "WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS".
9. ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000 "WIRING RULES". SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH TASMANIAN FIRE SERVICE AND AS 3786 "SMOKE ALARMS".
10. GLAZING SHALL BE IN ACCORDANCE WITH AS 1288 "GLASS IN BUILDINGS - SELECTION AND INSTALLATION", WINDOWS TO COMPLY WITH AS 2047 "WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION".
11. MIN. R6.0 INSULATION TO CEILING. MIN. R2.5 INSULATION TO ALL EXTERNAL WALLS.
12. ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES".

SITE DATA:

LAND TITLE REF. No. : LOT 1 ON PLAN 134822

CLIMATE ZONE : ZONE 7

DESIGN WIND SPEED : T.B.A.

SOIL CLASSIFICATION : T.B.A.

BAL RATING : T.B.A.

THE RISK IS CONSIDERED TO BE VERY LOW (THERE IS INSUFFICIENT RISK TO WARRANT ANY SPECIFIC CONSTRUCTION REQUIREMENTS BUT THERE IS STILL SOME RISK.)

PROPOSED BUILDING AREAS:

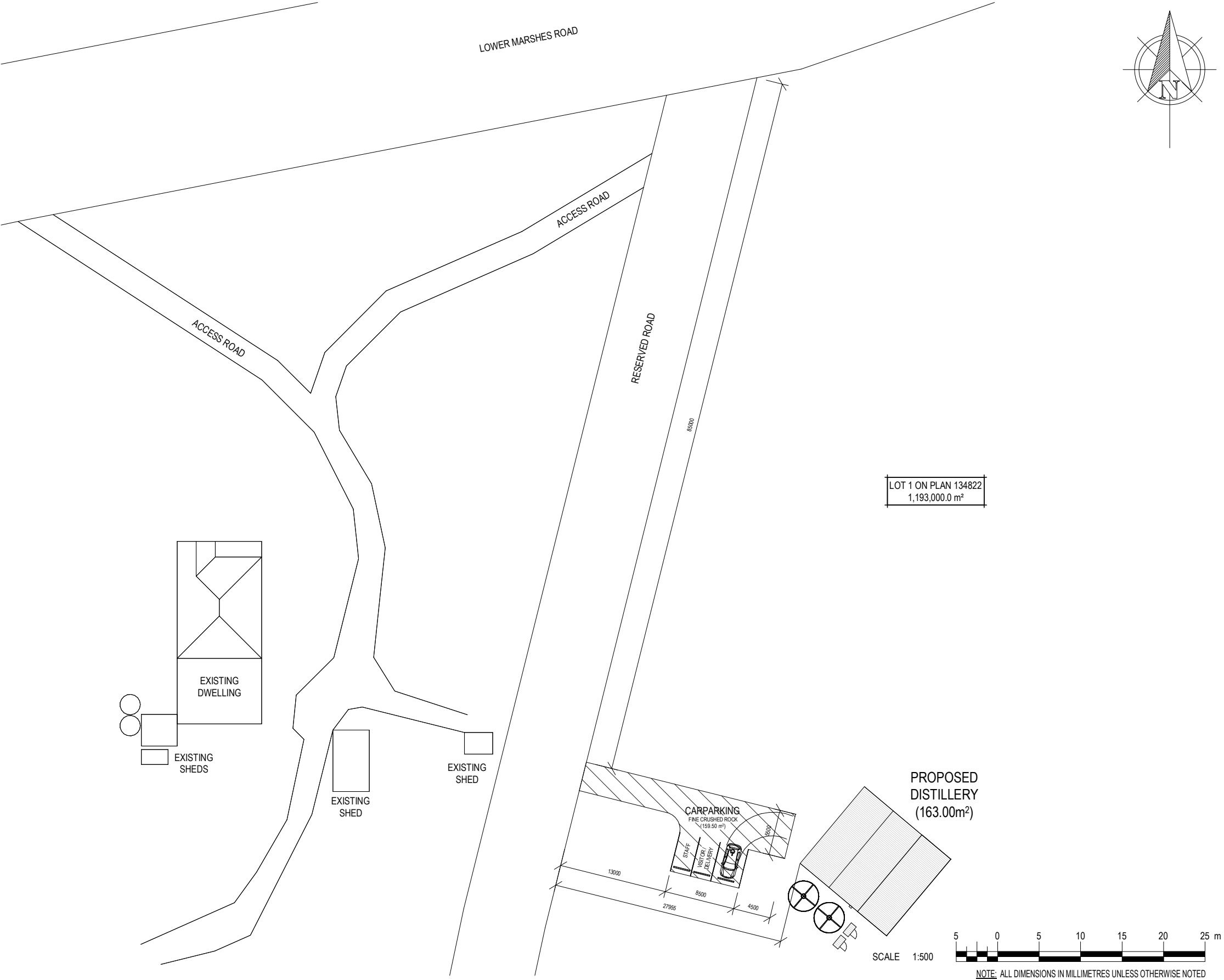
DISTILLERY : 163.00m2

SITE COVERAGE:

LOT SIZE : 1,193,000.00m2

TOTAL FOOTPRINT : 451.00m2

SITE COVERAGE : 0.038%



REV.	DESCRIPTION	REFERENCE	DESIGNED	DRWN	CHECKED	CLIENT	TITLE	DRG No.	SHT.	SCALE	A3
0	ISSUED FOR CLIENT REVIEW 10.06.2020	LOCATION PLAN HAZELWOOD-001 PART SITE PLAN HAZELWOOD-002	J. WEIR			C. HAZELWOOD	PROPOSED DISTILLERY				
1	ISSUED FOR DEVELOPMENT APPLICATION 16.06.2020	PROPOSED FLOOR PLAN HAZELWOOD-003	R. SMEEKES				644 LOWER MARSHES ROAD, APSLEY TAS 7030				
2	ISSUED FOR AMENDED DEVELOPMENT APPLICATION 19.06.2020	ELEVATIONS HAZELWOOD-004 ORTHOGRAPHIC VIEW HAZELWOOD-005					PART SITE PLAN				

SMEEKES DRAFTING PTY LTD

ABN 89 056 706 640

12 Warwick Street, Hobart, TAS 7000

Office Phone: (03) 6234 6185

Email: admin@smeekesdrafting.com

Website: www.smeekesdrafting.com

Building Designer Licence Nos. 723026951, 619068752 & CC6621

HAZELWOOD

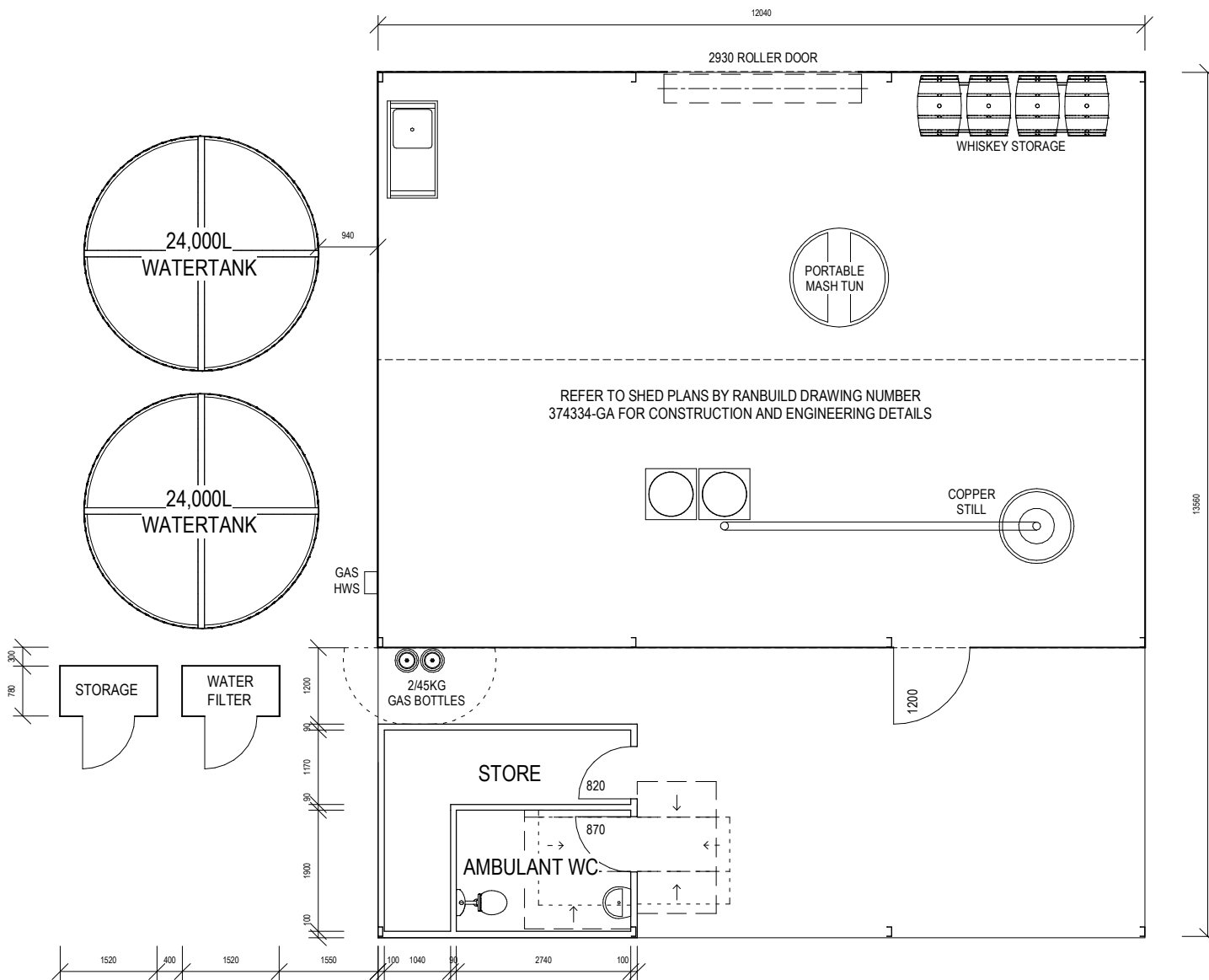
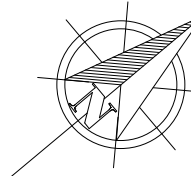
002

SCALE
1 : 500

A3

STAIRS / HANDRAIL NOTES:

1. CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.9.1
2. TREADS MUST HAVE A SLIP-RESISTANT FINISH OF A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.
3. RISER AND GOING DIMENSIONS IN ACCORDANCE WITH BCA PART 3.9.1.4.
RISER (R) MAX. 190 - MIN. 115
GOING (G) MAX. 355 - MIN. 240
SLOPE RELATIONSHIP
2R + G MAX. 700 - MIN. 550
4. INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.



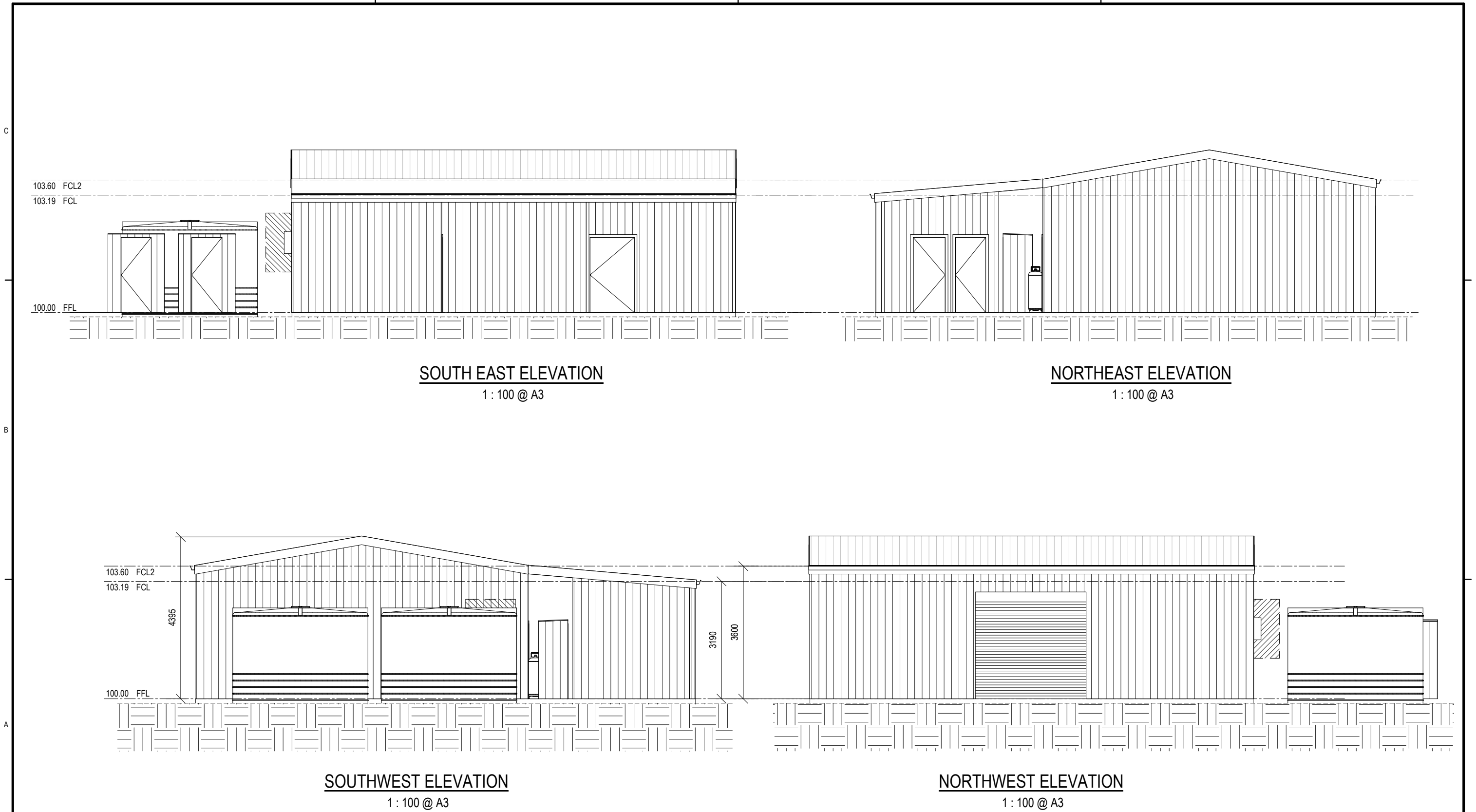
REV.	DESCRIPTION	REFERENCE	DESIGNED	J. WEIR	CLIENT	C. HAZELWOOD
0	ISSUED FOR CLIENT REVIEW 10.06.2020	LOCATION PLAN HAZELWOOD-001	DRAWN	J. WEIR	TITLE	PROPOSED DISTILLERY
1	ISSUED FOR DEVELOPMENT APPLICATION 16.06.2020	PART SITE PLAN HAZELWOOD-002	CHECKED	R. SMEEKES		644 LOWER MARSHES ROAD, APSLEY TAS 7030
2	ISSUED FOR AMENDED DEVELOPMENT APPLICATION 19.06.2020	PROPOSED FLOOR PLAN HAZELWOOD-003				PROPOSED FLOOR PLAN
		ELEVATIONS HAZELWOOD-004			DRG	HAZELWOOD
		ORTHOGRAHIC VIEW HAZELWOOD-005			No.	003
					SCALE	1:100
						A3

SMEEKES DRAFTING PTY LTD

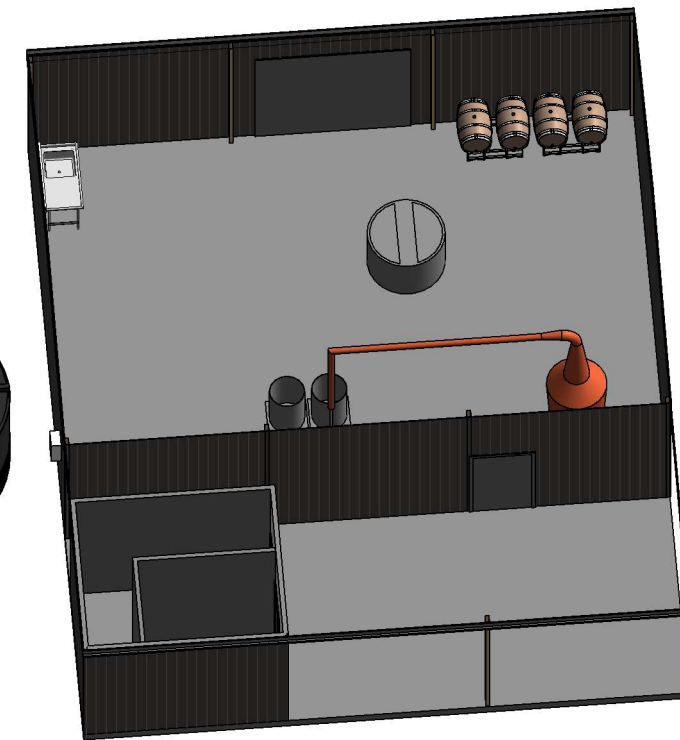
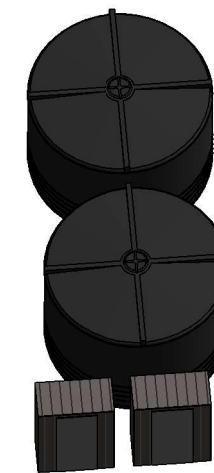
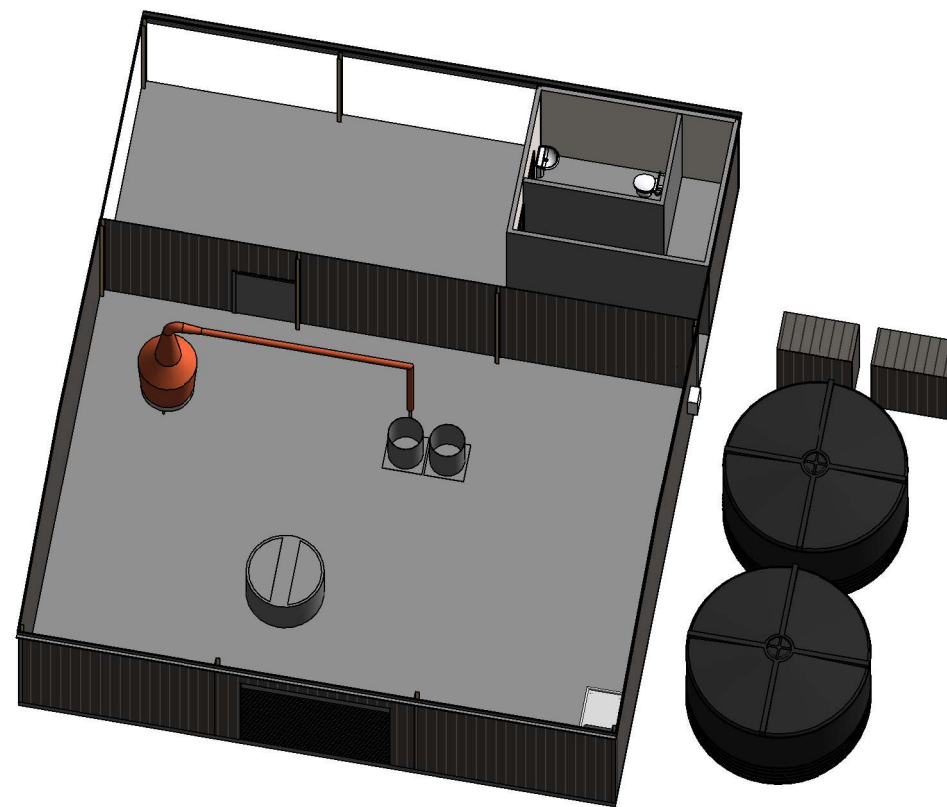
ABN 89 056 706 640
12 Warwick Street, Hobart, TAS 7000
Office Phone: (03) 6234 6185
Email: admin@smeekeedrafting.com
Website: www.smeekeedrafting.com

Building Designer Licence Nos. 723026951, 619068752 & CC6621





REV.		DESCRIPTION		REFERENCE		DESIGNED		DRAWN		CHECKED		CLIENT	
0		ISSUED FOR CLIENT REVIEW 10.06.2020		LOCATION PLAN	HAZELWOOD-001			J. WEIR				C. HAZELWOOD	
1		ISSUED FOR DEVELOPMENT APPLICATION 16.06.2020		PART SITE PLAN	HAZELWOOD-002			R. SMEEKES				PROPOSED DISTILLERY	
2		ISSUED FOR AMENDED DEVELOPMENT APPLICATION 19.06.2020		PROPOSED FLOOR PLAN	HAZELWOOD-003							644 LOWER MARSHES ROAD, APSLEY TAS 7030	
				ELEVATIONS	HAZELWOOD-004							ELEVATIONS	
				ORTHOGRAPHIC VIEW	HAZELWOOD-005							HAZELWOOD	
												004	
												1 : 100	
												A3	



REV.		DESCRIPTION		REFERENCE		DESIGNED				CLIENT				C. HAZELWOOD									
0		ISSUED FOR CLIENT REVIEW 10.06.2020		LOCATION PLAN		HAZELWOOD-001		DRAWN		J. WEIR		TITLE				PROPOSED DISTILLERY 644 LOWER MARSHES ROAD, APSLEY TAS 7030							
1		ISSUED FOR DEVELOPMENT APPLICATION 16.06.2020		PART SITE PLAN		HAZELWOOD-002		CHECKED		R. SMEEKES													
2		ISSUED FOR AMENDED DEVELOPMENT APPLICATION 19.06.2020		PROPOSED FLOOR PLAN		HAZELWOOD-003		 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA		 ABN 89 056 706 640 12 Warwick Street, Hobart, TAS 7000 Office Phone: (03) 6234 6185 Email: admin@smeekesdrafting.com Website: www.smeekesdrafting.com Building Designer Licence Nos. 723026951, 619068752 & CC6621		ORTHOGRAPHIC VIEW				DRG No.		HAZELWOOD		SHT. 005		SCALE A3	
				ELEVATIONS		HAZELWOOD-004																	
				ORTHOGRAPHIC VIEW		HAZELWOOD-005																	



BlueScope Steel Limited
ABN 16 000 011 058
27 Sterling Road Minchinbury NSW 2770
Telephone +612 8887 5114
Facsimile +612 9675 4911
www.bluescopesteel.com

Enquiries to: Alexander Filonov

24th August 2017

The Manager
Ranbuild
PO Box 170
HAMILTON NSW 2303



Dear Sir/Madam,

Re: STRUCTURAL ADEQUACY OF STEEL FRAMED BUILDING

Client: Corey Hazelwood
Ranbuild Job No.: 374334
Type: Sundown Deluxe
Location: 644 Lower Marshes Road APSLEY TAS 7030
Plans: D9.2-E-B2.5, DAN-RO-B2.5, DCON-NB, 374334-GA, 374334-ES

Being a professional engineer within the meaning of the Building Code of Australia (A1.1) with BlueScope Lysaght Technology we have undertaken a structural analysis of the steel framed building as described above. These plans were analysed in accordance with Codes of Practice: AS/NZS 1170.1, AS/NZS 1170.2, AS4100, AS2870 and AS/NZS 4600.

Based on our structural analysis, we are satisfied that the standard engineering drawings attached are suitable for the above project with the following modification.

No modifications required.

Yours faithfully,

Alexander Filonov
MIEAust, CPEng, NPER 1296608 (Structural), RPEQ 8094, CC4719P, EC27759, 24332ES
Product Development Manager
BlueScope Lysaght Technology

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
Business name: Phone No:
Business address:
 Fax No:
Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work ☒ Plumbing work ☐ (X all applicable)

Description of work:

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
<input checked="" type="checkbox"/>	Building design	Architect or Building Designer
<input checked="" type="checkbox"/>	Structural design	Engineer or Civil Designer
<input type="checkbox"/>	Fire Safety design	Fire Engineer
<input type="checkbox"/>	Civil design	Civil Engineer or Civil Designer
<input type="checkbox"/>	Hydraulic design	Building Services Designer
<input type="checkbox"/>	Fire service design	Building Services Designer
<input type="checkbox"/>	Electrical design	Building Services Designer
<input type="checkbox"/>	Mechanical design	Building Service Designer
<input type="checkbox"/>	Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
<input type="checkbox"/>	Other (specify)	

Deemed-to-Satisfy: ☒ Performance Solution: ☐ (X the appropriate box)

Other details:

Structural design of Steel frame Reinforced Concrete Footings for new building

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers: D9.2-E-B2.5 DAN-RO-B2.5 DCON-NB 374334-GA 374334-ES	Prepared by: Ranbuild RDS	Date:
Schedules:	Prepared by:	Date:
Specifications: Importance Level 2	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:

BCA PLUS Architectural elevations and plan ONLY Alexander Filonov has not been engaged to undertake any geotechnical condition to determine site classification and any inspections of the work to ensure the drawings and specifications with this certificate are complied with.

Any other relevant documentation:**Attribution as designer:**

I ALEXANDER FILONOV am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

Designer:

ALEXANDER FILONOV



24/08/2017

Licence No:

CC 4719P

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- ☐ The works will not increase the demand for water supplied by TasWater
- ☐ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☐ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☐ The works will not damage or interfere with TasWater's works
- ☐ The works will not adversely affect TasWater's operations
- ☐ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☐ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☐ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I ALEXANDER FILONOV being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	ALEXANDER FILONOV		24/08/2017

CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	CUSTOM ORB 0.42 BMT	CB	SH
WALLS	CUSTOM ORB 0.42 BMT	CB	SH
CORNERS	-	CB	SH
BARGE	-	CB	SH
GUTTER	HI-QUAD	CB	SH

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
1	RD1	B&D, Firmadoor, R.D, Residential "R1F", 2925 high x 3000 wide Clear Opening C/B
1	KAD1	Premium (TA650DO) Access Door Kit, C/B (D). (Not Available in WA)
3	SP1	Sheeting, Polycarbonate, Corrugated Profile (SGFGS/AFCB)

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

WIND DESIGN

IMPORTANCE LEVEL	REGION	TERRAIN	Ms
2	A	2	1.0

CLIENT

Corey Hazelwood

SITE

**644 Lower Marshes Road
APSLEY TAS 7030**

BUILDING

**SUNDOWN DELUXE
9000 SPAN x 3600 EAVE x 12000 LONG
PLUS 4560 ANNEXE**

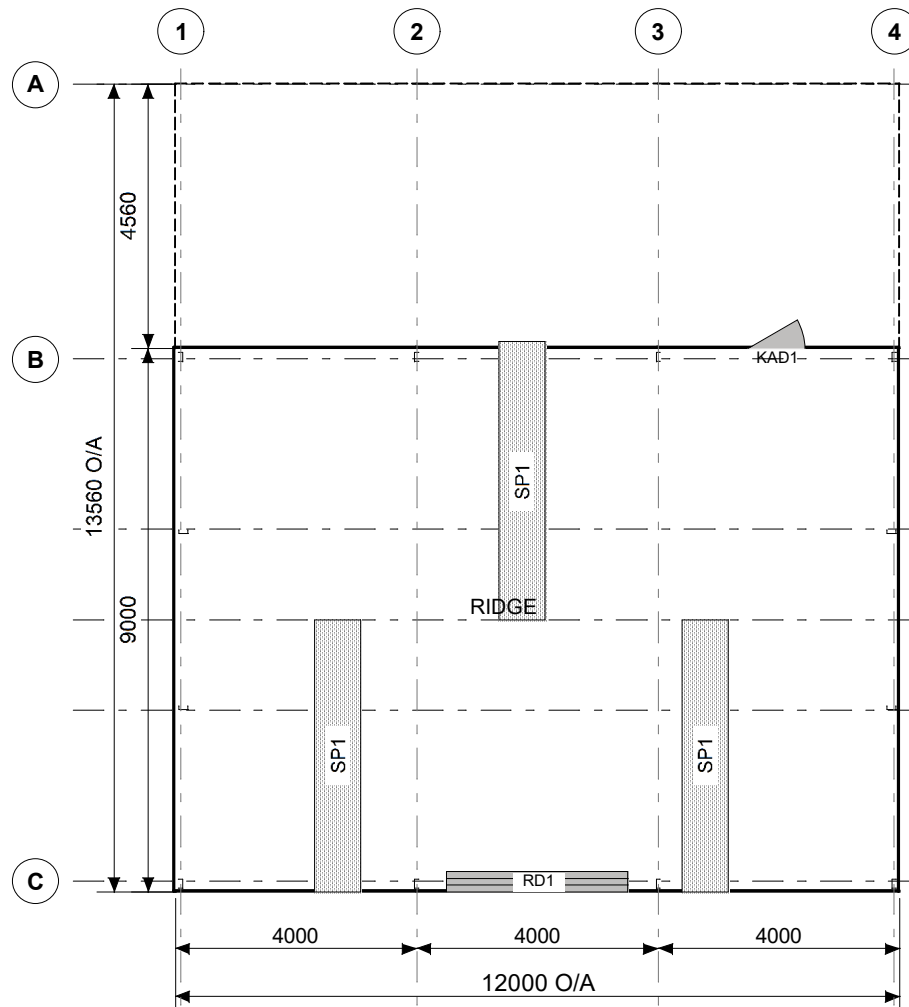
TITLE

GENERAL ARRANGEMENT

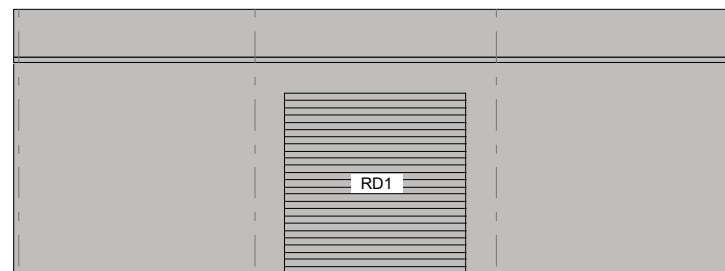
SCALE
A4 SHEET 1:125

DRAWING NUMBER
374334-GA

PAGE
1/4



FRAME ROOF PLAN



ELEVATION GRID C

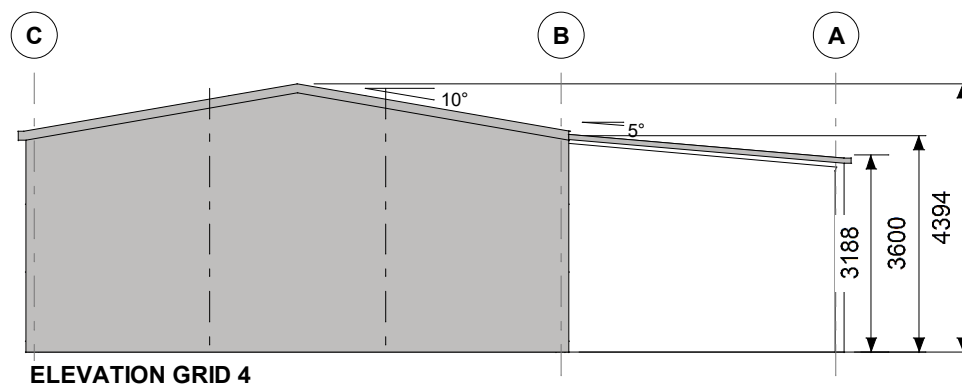
Cont. on page 3

Cont. on page 2



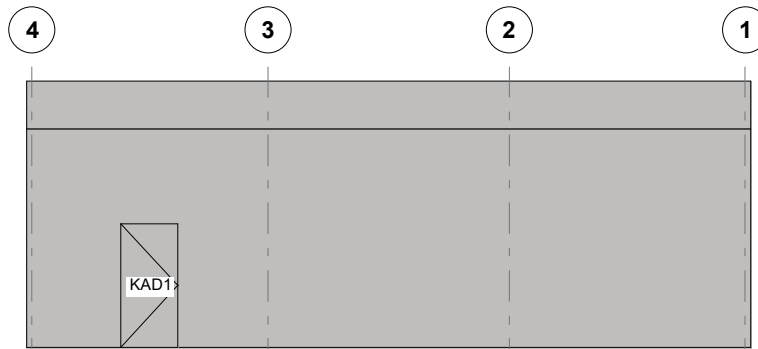
Better sheds. Bigger choice.

Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD



SCALE
A4 SHEET 1:125

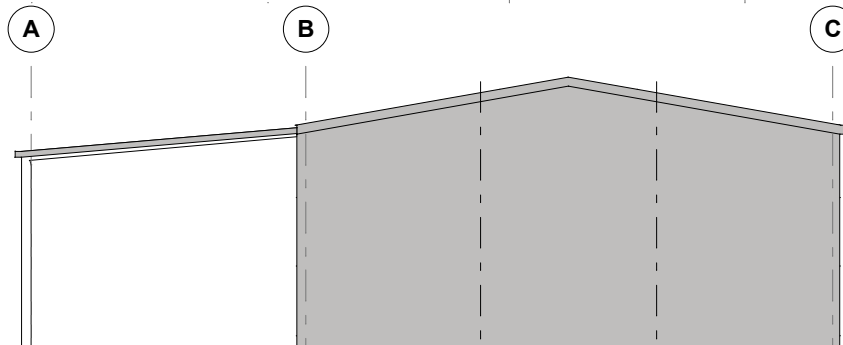
DRAWING NUMBER 374334-GA	PAGE 2/4
------------------------------------	--------------------



ELEVATION GRID B



ELEVATION GRID A



ELEVATION GRID 1



Better sheds. Bigger choice.

Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

SCALE
A4 SHEET 1:125

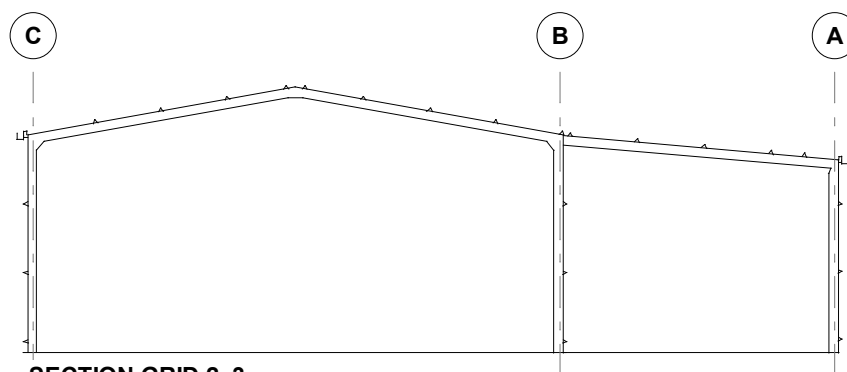
DRAWING NUMBER
374334-GA

PAGE
3/4



Better sheds. Bigger choice.

Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD



SECTION GRID 2, 3

SCALE
A4 SHEET 1:125

DRAWING NUMBER
374334-GA

PAGE
4/4

CERTIFICATION

- THIS DRAWING IS VALID ONLY WHEN ENDORSED BY A SEPARATE DESIGN CERTIFICATE FROM . THAT IS VALID FOR THE DATE OF ISSUE AND CONSTRUCTION. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING LAYOUT AND CONNECTIONS DRAWINGS.

GENERAL

- ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS AND APPLICABLE BUILDING REGULATIONS
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER CLIENT'S AND CONSULTANT'S DRAWINGS & SPECIFICATIONS.
- ALL DIMENSIONS ARE IN MILLIMETRES. DO NOT SCALE THESE DRAWINGS. DIMENSIONS MAY VARY FROM THESE STANDARD DRAWINGS. IT IS THE BUILDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS. SETTING OUT DIMENSIONS SHALL BE TAKEN FROM THE CLIENT'S DETAIL SHOP DRAWINGS.
- THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION DURING ERECTION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY ROOF AND / OR WALL BRACING MAY BE REQUIRED DURING CONSTRUCTION.
- FOR OPENING MODIFICATION, REFER TO RELEVANT DETAILS IN ASSEMBLY GUIDE.
- IT IS COMMON SENSE TO WORK SAFELY AND TO PROTECT YOURSELF AND OTHERS FROM ACCIDENTS ON SITE. TO DO THIS, YOU MUST ENSURE YOU HAVE IN PLACE SAFE WORK PRACTICES AND APPROPRIATE EQUIPMENT. SAFETY INVOLVES PERSONAL PROTECTION OF EYES, OF SKIN(FROM SUNBURN) AND OF HEARING(FROM NOISE). FALL PROTECTION MUST ALSO BE IN PLACE AS APPLICABLE INCLUDING SAFETY MESH, PERSONAL HARNESSES AND PERIMETER GUARDRAILS. IT IS RECOMMENDED THAT YOU FAMILIARIZE YOURSELF WITH APPLICABLE LAWS, REGULATIONS, RULES, GUIDELINES, CODES OF PRACTICE AND STANDARDS AND THAT YOU ADHERE STRICTLY TO THEM.

STRUCTURAL STEEL

- ALL STEELWORK TO COMPLY WITH AS 4100 STEEL STRUCTURES CODE AND AS/NZS 4600 COLD-FORMED STEEL STRUCTURES CODE.
- ALL STEEL FRAMING SHALL BE MANUFACTURED FROM HI-TENSILE HOT DIP ZINC COATED STEEL (G450 - G550) CONFORMING TO AS1397 u.n.o. AND INSTALLED TO MANUFACTURER'S INSTRUCTIONS.
- BRACING UNITS SHOULD BE SPLIT EQUALLY BETWEEN SIDES OF THE BUILDING.
- TOPSPAN PURINS & GIRTS SHOULD BE CONTINUOUS LAPPED WITH MINIMUM 15% OVERLAP.

SELF DRILLING SCREWS

- QUALITY AND MECHANICAL PROPERTIES OF STRUCTURAL SCREWS MUST COMPLY WITH AS3566.
- ALL TEK SCREWS SHALL BE NO. 12 - 14 X 20 U.N.O
- THE MINIMUM DISTANCE OF EDGE/END SCREWS MUST HAVE AN EDGE DISTANCE OF 1.5 X SCREW DIAMETER FROM THE EDGE.
- THE MINIMUM DISTANCE OF SCREW TO SCREW SPACING MUST NOT BE LESS THAN 3 X SCREW DIAMETER BETWEEN ANY SCREWS.

HIGH TENSILE BOLTS

- ALL BOLTS SHALL BE M16 / 8.8 / S U N O
 - CONNECTIONS WITH 8.8S BOLTS SPECIFIED ARE DESIGNED AS FRICTION TYPE JOINTS & BOLTS, NUTS & WASHERS SHALL COMPLY WITH THE RELEVANT REQUIREMENTS OF AS1252.
 - 8.8/S BOLTS TO BE INSTALLED IN ACCORDANCE WITH AS1511 & TENSIONED BY AN APPROVED METHOD TO PRODUCE THE FOLLOWING SHANK TENSIONS
- | BOLT SIZE | SHANK TENSION (KN) |
|-----------|--------------------|
| M12 | 50 |
| M16 | 90 |
- FOR THIS DESIGN AN ACCEPTABLE TENSIONING METHOD IS SNUG TIGHT (PODGER SPANNER TIGHT) PLUS HALF A TURN.

CLADDING

- ALL ROOF AND WALL CLADDING TO BE INSTALLED IN ACCORDANCE WITH AS1562 AND THE MANUFACTURER'S INSTRUCTIONS.
- ROOF AND WALL CLADDING ARE STRUCTURAL DIAPHRAGM BRACINGS. UNDER NO CIRCUMSTANCES SHOULD THE CLADDING BE REMOVED WITHOUT WRITTEN APPROVAL FROM A PRACTICING STRUCTURAL ENGINEER.

FOUNDATIONS

- NO GEOTECHNICAL SITE INVESTIGATION IS PROVIDED. TWO STANDARD DESIGN OPTIONS ARE OFFERED:-
- STIFF CLAY
 - CONFORMING TO AS2870.
 - SITE CLASSIFICATION CLASS M.
 - MINIMUM SAFE BEARING CAPACITY 100kPa.
 - SHAFT ADHESION 15kPa.
- DENSE SAND
 - CONFORMING TO AS2870.
 - SITE CLASSIFICATION CLASS A / S.
 - MINIMUM SAFE BEARING CAPACITY 100kPa.
 - SOIL ADHESION 10kPa.
- IF DIFFERENT SITE CONDITIONS ARE ENCOUNTERED A DIFFERENT FOOTING DESIGN MAY BE REQUIRED.
- ALL VARIATIONS REQUIRE ADDITIONAL CERTIFIED DOCUMENTATION FROM A CONSULTING STRUCTURAL ENGINEER WHO ASSUMES FULL RESPONSIBILITY FOR THE DESIGN.

FOOTINGS AND SLAB

- STRIP AND REMOVE ALL TOPSOIL FROM THE SITE.
- ALL FOOTINGS TO BE FOUNDED ON NATURAL GROUND. NO FOOTINGS TO BE FOUNDED ON FILL MATERIAL.
- FLOOR SLABS TO BE PLACED ON 50mm CONSOLIDATED CLEAN SAND LEVELLING BED. SLABS MAY BE PLACED ON 300mm MAXIMUM APPROVED GRANULAR FILL COMPACTED TO 98 % STANDARD COMPACTION.
- THE EXCAVATION MUST BE BACKFILLED WITH MANUALLY RODDED TAMPED SOIL.

CONCRETE

- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH AS3600.
- FOOTING / SLAB STRENGTH F_{cd} 20MPa MINIMUM.
- SHRINKAGE LIMITED TYPE (SL CEMENT).
- MAXIMUM AGGREGATE SIZE 20mm.
- SLUMP 80mm.
- FLOOR SLABS TO BE CURED FOR 7 DAYS AFTER PLACEMENT BY MAINTAINING A CONTINUOUSLY WET SURFACE BY APPROVED METHODS.
- PROVIDE TOOLED OR CUT CONTROL JOINTS IN FLOOR SLABS ON GRIDLINES AS INDICATED.

DESIGN LOADING

- THE STRUCTURAL COMPONENTS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR THE FOLLOWING LOAD CONDITIONS COMPLYING WITH AS/NZS 1170.0, 1, 2, 3:-

ROOF DEAD LOAD	SELF WEIGHT ONLY
ROOF LIVE LOAD	(1.8/A+0.12) BUT NOT LESS THAN 0.25kPa AND 1.1kN
WIND LOAD REGION	A
TERRAIN CATEGORY	2
Ms	1.0
Mt	1.0
INTERNAL PRESSURE COEFFICIENTS	C _{pi} = -0.3 or 0.0 (ENCLOSED) C _{pe} = -0.65 or +0.7 (OPEN)
GROUND SNOW LOAD S _g	0.5 kPa

- ALL DOORS AND WINDOWS SHALL HAVE THE SAME CYCLONIC WIND LOAD RATING AS THE REST OF THE BUILDING ENVELOPE, INCLUDING RESISTANCE TO FLYING DEBRIS AS SPECIFIED IN AS1170.2:2011 AND AS/NZS 4505:2012. DOORS AND WINDOWS SHALL BE CLOSED DURING STORMS. DOORS SHALL BE INSTALLED WITH WIND LOCKS IN CYCLONIC AREAS. SUPPORTING DOCUMENTATION INCLUDING TEST REPORTS SHALL BE AVAILABLE FROM DOORS AND WINDOWS MANUFACTURERS TO CONFIRM LOAD RATING AND ENSURE COMPLIANCE WITH ABOVE MENTIONED STANDARDS AND BCA. DOORS ARE ALSO REQUIRED TO BE SUPPLIED WITH A STICKER THAT SHOW A RANGE OF INFORMATION INCLUDING THE DESIGN PRESSURE OF THE DOC ACCORDING TO AS/NZS 4505:2012 REQUIREMENTS.

STRUCTURAL STEELWORK SCHEDULE

MARK	DESCRIPTION	SECTION
C1	COLUMN UNCLAD FRAME	C15015
C2	COLUMN CLAD FRAME	C15010
C3	COLUMN - END	C15015 (2)*
R1	RAFTER UNCLAD FRAME	C15015
R2	RAFTER CLAD FRAME	C15010
DH1(I)	RD HEAD - SIDE INT. BAY	TS6160+TS6160
RMSI	RD SIDE - POST (INT. BAY)	C15010
F1	FASCIA	0.75 FB
P1	PURLINS	TopSpan/6175 @ 1250
G1	GIRTS - SIDE	TopSpan/6160 @ 1190
G2	GIRTS - END	TopSpan/6160 @ 1190
rbr	ROOF BRACING	DIAPHRAGM
wbr	WALL BRACING	DIAPHRAGM
fbr	FLY BRACE - ROOF	95 x 0.6 STRAP (4)**
fbc	FLY BRACE - COLUMN	95 x 0.6 STRAP (1)***

REFER TO RDS REF DCON-NB, D9.2-E-B2.5

- * QUANTITY IN BRACKETS REFERS TO NUMBER OF ELEMENTS PER END FRAME
- ** QUANTITY IN BRACKETS REFERS TO NUMBER OF ELEMENTS PER ROOF FRAME
- *** QUANTITY IN BRACKETS REFERS TO NUMBER OF ELEMENTS PER COLUMN

ANNEXE 1

STRUCTURAL STEELWORK SCHEDULE

MARK	DESCRIPTION	SECTION
C1	COLUMN UNCLAD FRAME	C15010
R1	RAFTER UNCLAD FRAME	C15015
F1	FASCIA	0.75 FB
P1	PURLINS	TopSpan/6175 @ 1275
rbr	ROOF BRACING	DIAPHRAGM
wbr	WALL BRACING	DIAPHRAGM
fbr	FLY BRACE - ROOF	95 x 0.6 STRAP (2)*

REFER TO RDS REF DAN-RO-B2.5

- * QUANTITY IN BRACKETS REFERS TO NUMBER OF ELEMENTS PER ROOF FRAME

FOOTING SCHEDULE - CLAY

MARK	DESCRIPTION	SIZE
PF1	PAD FOOTING (DxWxW)	600x600x600
PF2		500x500x500
PF3		400x400x400
SF1	SLAB FOOTING (DxWxW)	200x200x200
S1	SLAB ON GRADE	100RC SLAB SL62T

ANNEXE 1

FOOTING SCHEDULE - CLAY

MARK	DESCRIPTION	SIZE
PF1A	PAD FOOTING (DxWxW)	550x550x550
PF1B		700x700x700
PF2B		575x575x575
SF1A	SLAB FOOTING (DxWxW)	250x250x250
S1	SLAB ON GRADE	100RC SLAB SL62T

DRAWING SCHEDULE

- 374334-ES - ENGINEERING SCHEDULE
- 374334-GA - GENERAL ARRANGEMENT
- 374334-RSP - RC SLAB PLAN
- ENG-DELUXE-01 - ENGINEERING LAYOUT
- ENG-DELUXE-02 - CONNECTION DETAILS

DESCRIPTION

ENGINEERING SCHEDULE

DRAWING NUMBER

374334-ES

PAGE

1/1



Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

REV	DESCRIPTION	DATE
A	DRAWN BY RDS	26/08/2017

PRODUCT RANGE

DELUXE

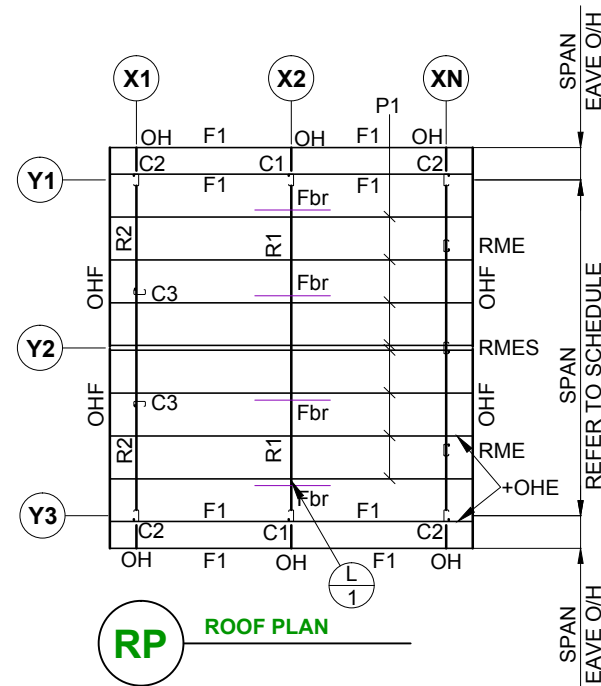


I CERTIFY THAT THE DESIGN OF THIS STEEL FRAMED BUILDING IS STRUCTURALLY ADEQUATE, MEETS SERVICEABILITY REQUIREMENTS AND COMPLIES WITH THE RELEVANT REGULATIONS WITH ALL AMENDMENTS CURRENT TO DATE.
I FURTHER CERTIFY THE PROPOSED STEEL FRAMED BUILDING WILL BE STRUCTURALLY ADEQUATE WHEN CONSTRUCTED TO GOOD BUILDING PRACTISES, IN ACCORDANCE TO RANBUILD ASSEMBLY GUIDE AND THESE DRAWINGS. APPROVED 24/08/2017.

ALEXANDER FILONOV
MIEAust, CPEng, NPER 1296608
(Structural), RPEQ 8094, CC4719P,
EC27759, 24332ES
BlueScope Lysaght Technology

NOTES: EAVES EXTENSION OPTIONS

- SIDE EAVES OVERHANG
- GABLE END EAVES OVERHANG
- "C-100" F1 WHEN SIDE EAVES OVERHANG ADDED



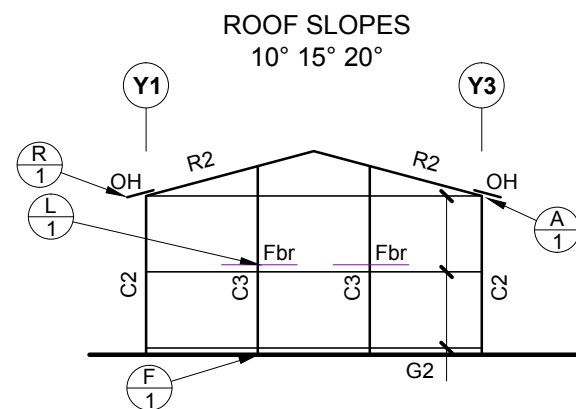
NOTE:

LAYOUT SHOWN IS INDICATIVE ONLY. REFER TO THE SITE SPECIFIC ENGINEERING SCHEDULE FOR THE FOLLOWING INFORMATION:

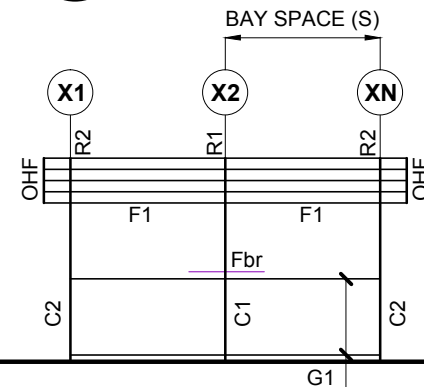
- PURLIN SPACING - P1
- GIRT SPACING - G1 & G2 (WHERE APPLICABLE)
- ACTUAL SPAN
- EAVE HEIGHT
- MEMBER SIZES
- ROOF SLOPE

SIDE ROLLER DOOR MULLIONS ALTHOUGH NOT SHOWN ARE IDENTIFIED AS RMS ON THE ENGINEERING SCHEDULE

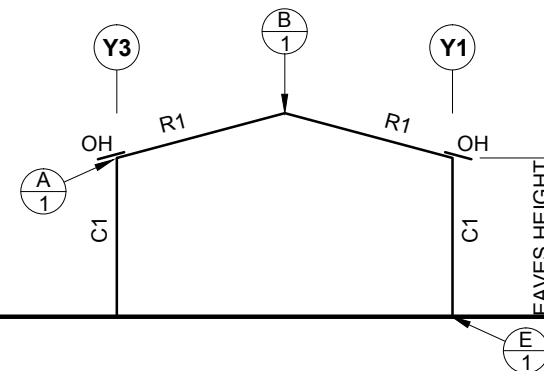
THESE DRAWINGS ARE ALSO TO BE READ IN CONJUNCTION WITH THE CONNECTION DETAIL DRAWINGS (ENG-DELUXE-02)



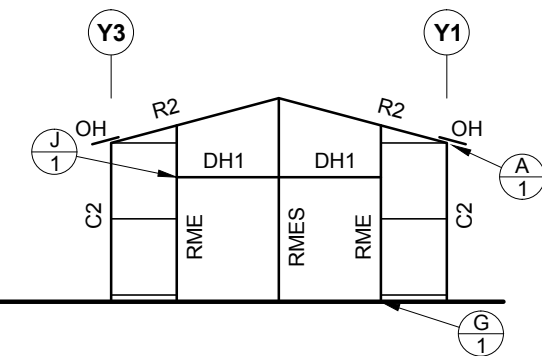
X1 ELEVATION - END FRAME
ENDWALL COLUMN



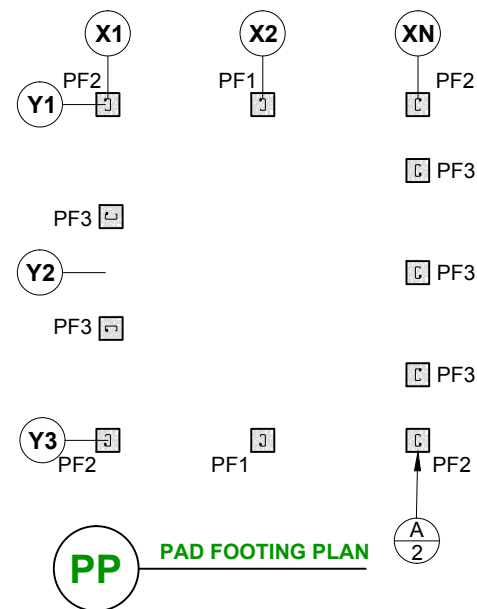
Y3 ELEVATION - SIDE WALL
ENCLOSED



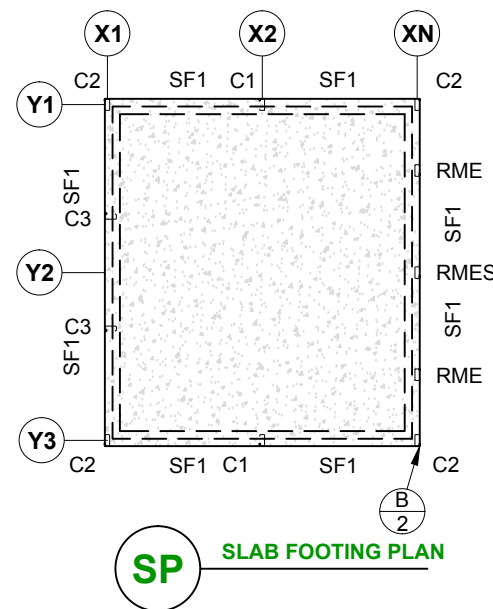
X2 SECTION - INTERNAL FRAME
INTERNAL FRAME



XN ELEVATION - EXTERNAL FRAME
ROLLER DOOR ARRANGEMENT



PP PAD FOOTING PLAN



SP SLAB FOOTING PLAN

ENGINEERING CRITERIA	
OPEN / ENCLOSED	ENCLOSED
SPAN RANGE	7.6M - 9.2M
WIND / TERRAIN RANGE	A/2.5 - B/2.5
RDS REF	D9.2-E-B2.5

SCALE **NTS**



COPYRIGHT 2013
LYSAGHT BUILDING
SOLUTIONS Pty. Ltd.
TRADING AS RANBUILD

REV	DESCRIPTION	DATE	DRAFTER
3	EAVES OVERHANG ADDED	03/10/13	B.L.M
2	LT REVISED ENGINEERING	06/07/11	SB
1	LT REVISED ENGINEERING	04/07/08	DRL
0	LT REVISED ENGINEERING	12/05/08	DRL

PRODUCT RANGE
DELUXE



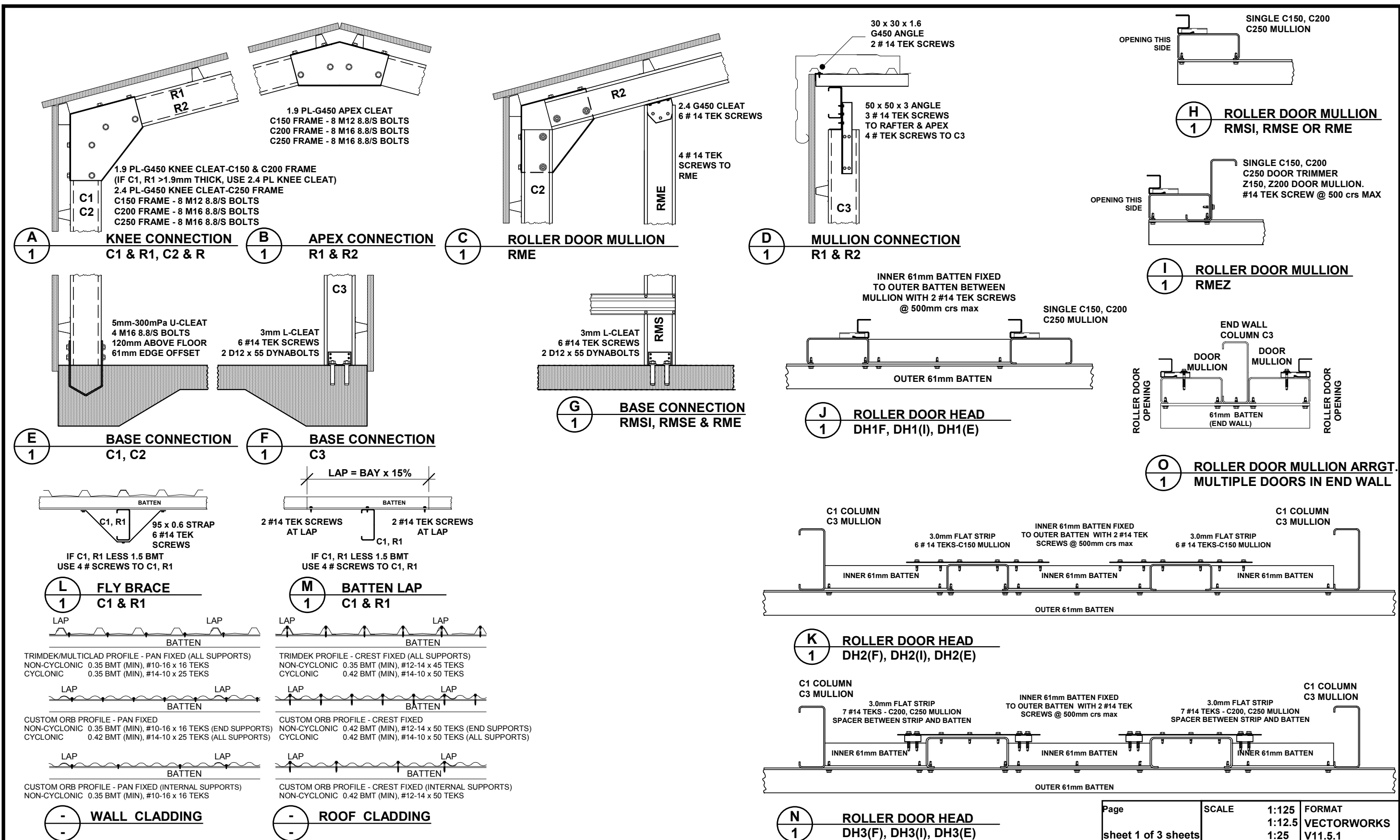
I CERTIFY THAT THE DESIGN OF THIS STEEL FRAMED BUILDING IS STRUCTURALLY ADEQUATE, MEETS SERVICEABILITY REQUIREMENTS AND COMPLIES WITH RELEVANT REGULATIONS WITH ALL AMENDMENTS CURRENT TO DATE.

I FURTHER CERTIFY THE PROPOSED STEEL FRAMED BUILDING WILL BE STRUCTURALLY ADEQUATE WHEN CONSTRUCTED TO GOOD BUILDING PRACTICES, IN ACCORDANCE TO RANBUILD ASSEMBLY GUIDE AND THESE DRAWINGS.

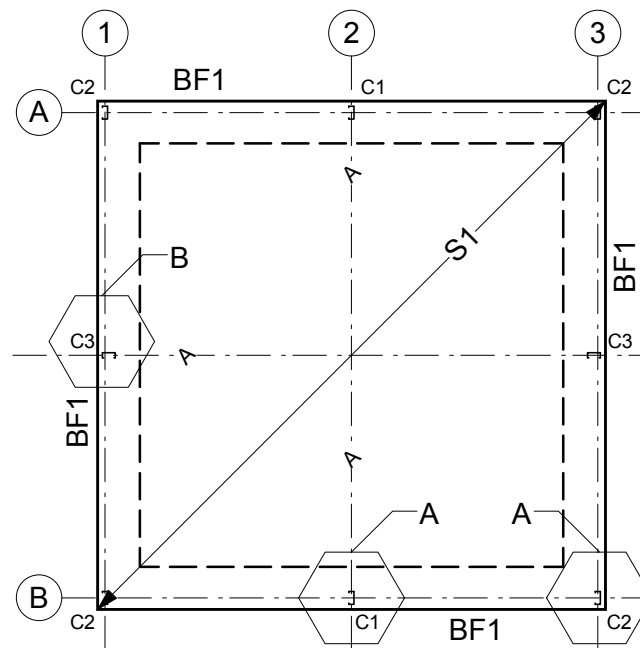
ALEXANDER FILONOV
MIE Aust. CP Eng. NPER 1296608 (Structural)
RPEQ 8094, CC4719P, EC27759, 24332ES

DESCRIPTION
ENGINEERING LAYOUT

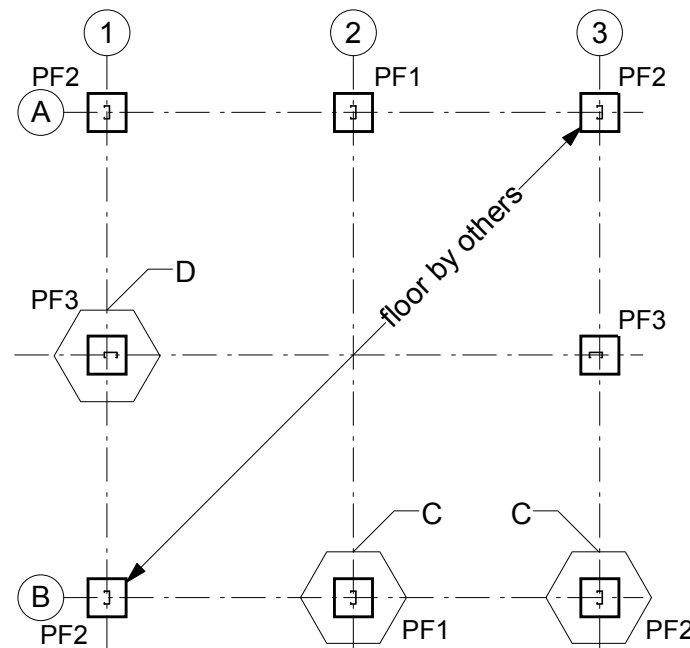
DRAWING NO.
ENG-DELUXE-01



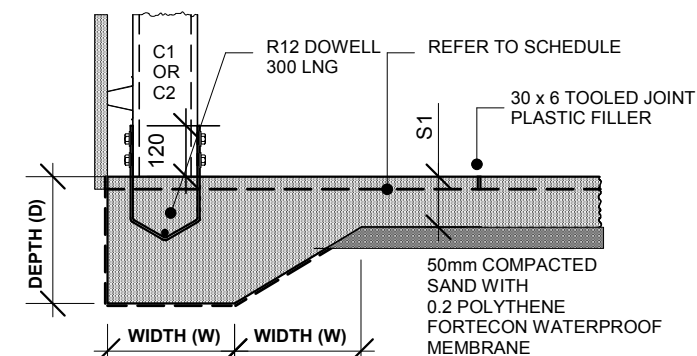
		REV	DATE	DESCRIPTION	INITIAL		I CERTIFY THE DESIGN OF THIS STEEL FRAMED BUILDING IS STRUCTURALLY ADEQUATE, MEETS SERVICEABILITY REQUIREMENTS AND COMPLIES WITH THE RELEVANT REGULATIONS, WITH ALL AMMENDMENTS CURRENT TO DATE. I FURTHER CERTIFY THE PROPOSED STEEL STRUCTURE WILL BE STRUCTURALLY ADEQUATE WHEN CONSTRUCTED TO GOOD BUILDING PRACTISES, IN ACCORDANCE TO RANBUILD ASSEMBLY GUIDES AND THESE DRAWINGS. APPROVED 05/12/2008.		RDS REFERENCE DCON-NB DESCRIPTION CONNECTION DETAILS DRAWING NUMBER ENG-DELUXE-02
		8	3/10/2013	OVERHANG REVISION	PKR				
		7	2/07/2013	CORO ROOF FIXING MODIFIED	PKR				
		6	27/08/2012	REVISION TO CLADDING, CYCLONIC, LOGOS	NJC				
		5	02/12/2011	REVISION TO APEX AND KNEE CONNECTIONS	NJC				



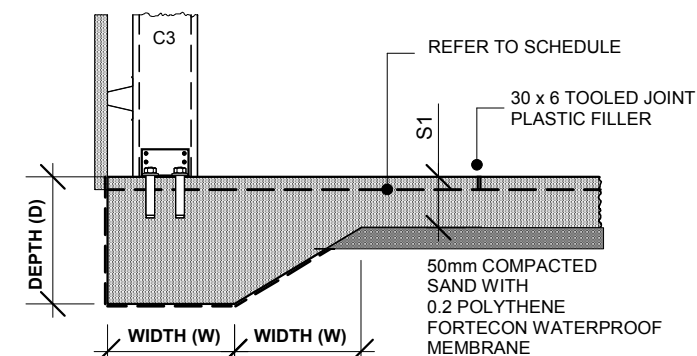
SLAB FOOTING PLAN
2



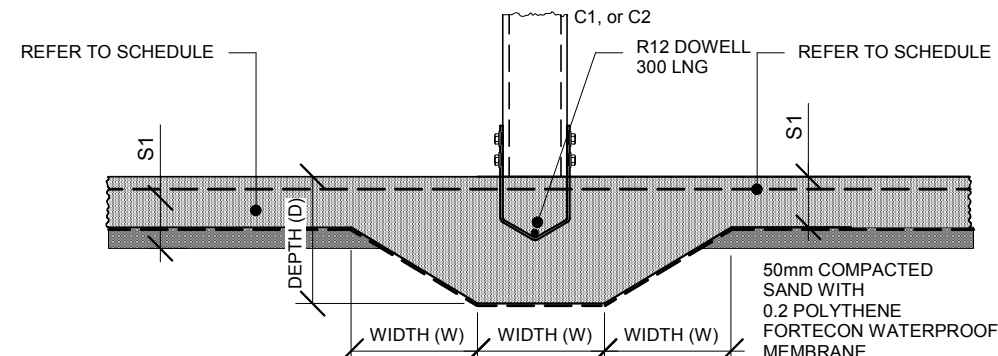
PAD FOOTING PLAN
2



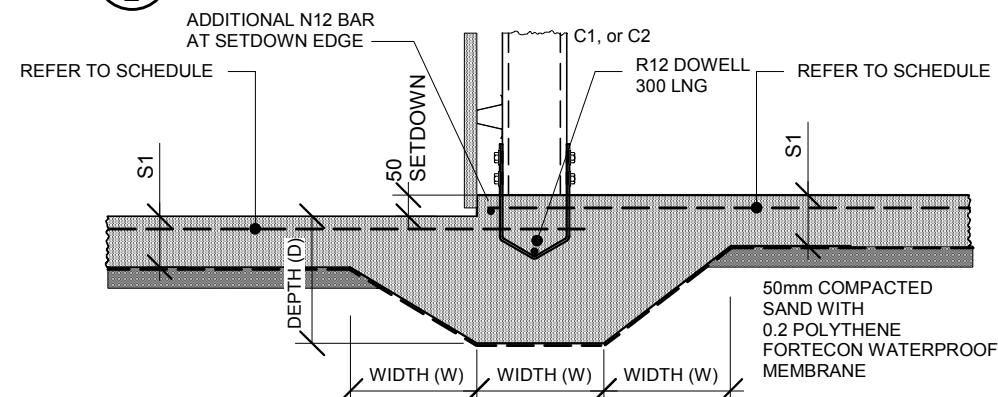
SLAB FOOTING DETAIL
SF1
2



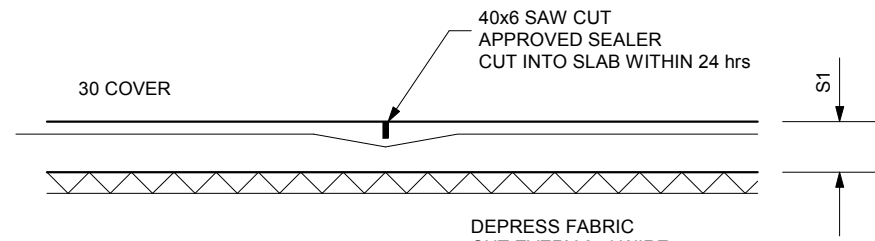
SLAB FOOTING DETAIL
SF1
2



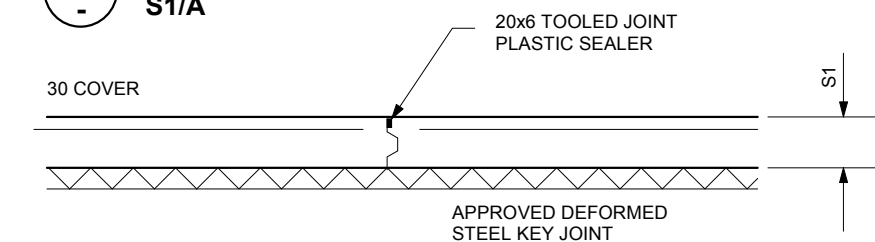
SLAB FOOTING DETAIL
2



SLAB FOOTING SETDOWN DETAIL
TOP MESH TO LAP 300mm MINIMUM
2

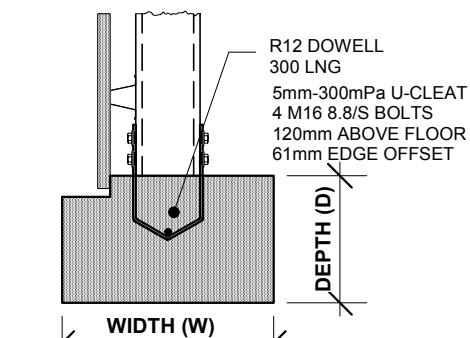


CONTROL JOINT DETAIL
S1/A

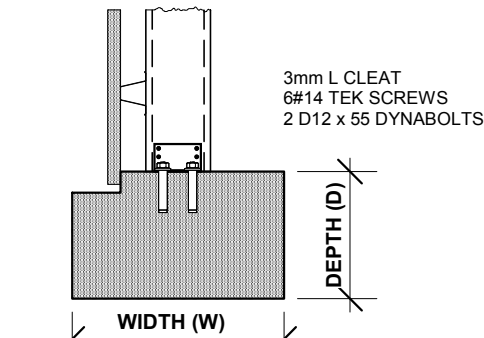


CONSTRUCTION JOINT DETAIL
S1/C

NOTE
Construction joints must be supplied where an unbroken run of concrete pour exceeds 20m in any direction



PAD FOOTING DETAIL
PF1, PF2
2



PAD FOOTING DETAIL
PF3
2

Page	SCALES	1:125	FORMAT
sheet 2 of 3 sheets		1:12.5	VECTORWORKS
		1:25	V11.5.1



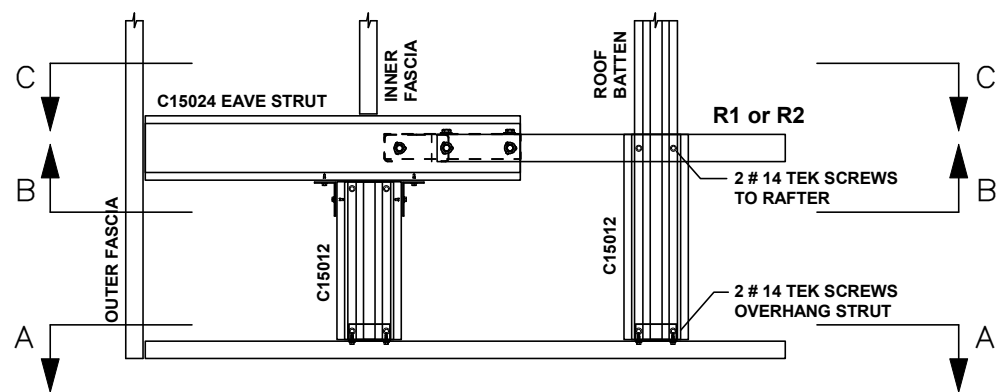
REV	DATE	DESCRIPTION	INITIAL
9	7/04/2014	SLAB REVISION	PKR
8	3/10/2013	OVERHANG REVISION	PKR
7	22/07/2013	GENERAL REVISION	PKR
6	27/08/2012	REVISION TO CLADDING, CYCLONIC, LOGOS	NJC



I CERTIFY THE DESIGN OF THIS STEEL FRAMED BUILDING IS STRUCTURALLY ADEQUATE, MEETS SERVICEABILITY REQUIREMENTS AND COMPLIES WITH THE RELEVANT REGULATIONS, WITH ALL AMMENDMENTS CURRENT TO DATE. I FURTHER CERTIFY THE PROPOSED STEEL STRUCTURE WILL BE STRUCTURALLY ADEQUATE WHEN CONSTRUCTED TO GOOD BUILDING PRACTISES, IN ACCORDANCE TO RANBUILD ASSEMBLY GUIDES AND THESE DRAWINGS. APPROVED 05/12/2008.

Alexander Filonov.
MIEAust, CPEng, NPER 1296608 (STRUCTURAL)
RPEQ 8094, CC4719p, EC27759, 24332ES

RDS REFERENCE	DCON-NB
DESCRIPTION	CONCRETE DETAILS
DRAWING NUMBER	ENG-DELUXE-02



2.4 L CLEAT +
2.4 PL CLAMP PLATE
2 M12 4.6S BOLTS
3 # 14 TEK SCREWS
TO END O/H FASCIA

END OVERHANG FASCIA

1.5 L CLEAT
2 # 14 TEK SCREWS
TO BARGE
SUPPORT RAFTER

SECT A-A

1.9 L CLEAT
2 # 14 TEK SCREWS
TO OVERHANG
STRUT

END STRUT CONNECTION
C15010
2 #14 TEKS
TO RAFTER

OUTER FASCIA

R1 or R2

C1 or C2

SECT B-B

OUTER FASCIA
2.4 PL-G450 CLEAT
2 M12 4.6/S BOLTS
TO OVERHANG STRUT
4 M12 4.6/S CUP HEAD BOLTS
TO FASCIA

EAVE STRUT CONNECTION
C15024
3 M16 8.8/S BOLTS
TO KNEE CLEAT

R1 or R2

INNER FASCIA
1.9 PL-G450 L CLEAT
2 M12 4.6/S BOLTS
TO OVERHANG STRUT
2 M12 4.6/S CUP HEAD BOLTS
TO FASCIA
EACH SIDE

C1 or C2

SECT C-C

R
1

OVERHANG CONNECTION
C1, C2 & R1, R2

Page	SCALES	1:125	FORMAT
sheet 3 of 3 sheets		1:12.5	VECTORWORKS
		1:25	V11.5.1



Better sheds. Bigger choice.



REV	DATE	DESCRIPTION	INITIAL
8	3/10/2013	OVERHANG REVISION	PKR



I CERTIFY THE DESIGN OF THIS STEEL FRAMED BUILDING IS STRUCTURALLY ADEQUATE, MEETS SERVICEABILITY REQUIREMENTS AND COMPLIES WITH THE RELEVANT REGULATIONS, WITH ALL AMMENDMENTS CURRENT TO DATE. I FURTHER CERTIFY THE PROPOSED STEEL STRUCTURE WILL BE STRUCTURALLY ADEQUATE WHEN CONSTRUCTED TO GOOD BUILDING PRACTISES, IN ACCORDANCE TO RANBUILD ASSEMBLY GUIDES AND THESE DRAWINGS. APPROVED 05/12/2008.

Alexander Filonov.
MIEAust, CPEng, NPER 1296608 (STRUCTURAL)
RPEQ 8094, CC4719p, EC27759, 24332ES

[Signature]

RDS REFERENCE	DCON-NB
DESCRIPTION	CONNECTION DETAILS
DRAWING NUMBER	ENG-DELUXE-02

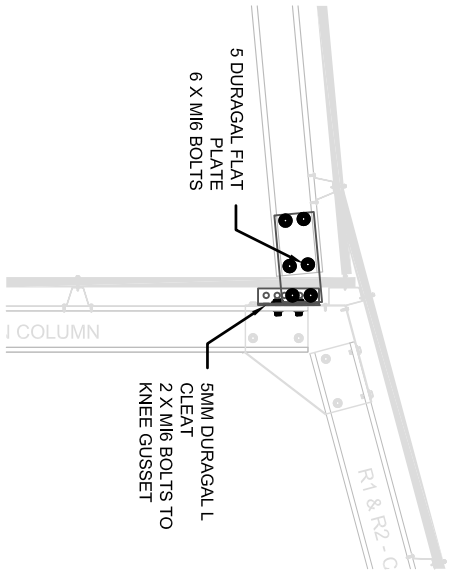
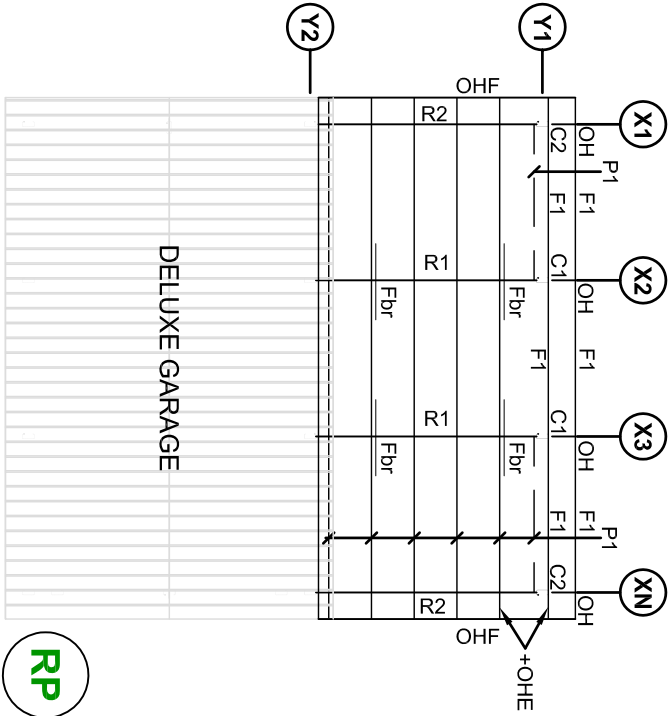
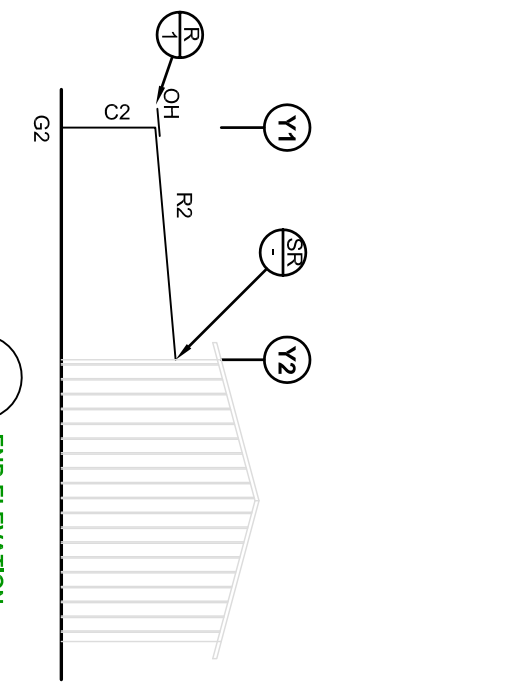
NOTE:

LAYOUT SHOWN IS INDICATIVE ONLY. REFER TO THE SITE SPECIFIC ENGINEERING SCHEDULE FOR THE FOLLOWING INFORMATION:

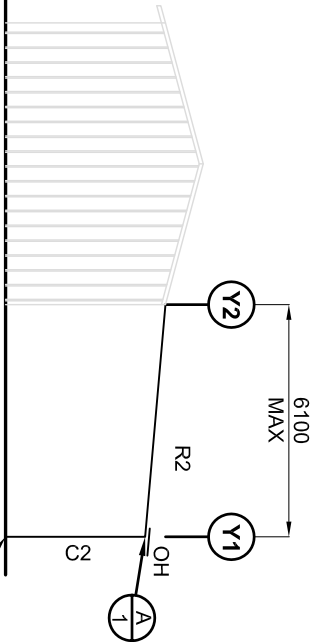
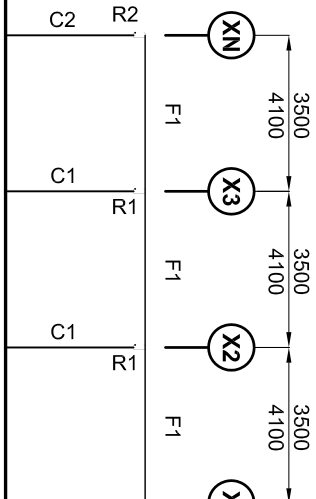
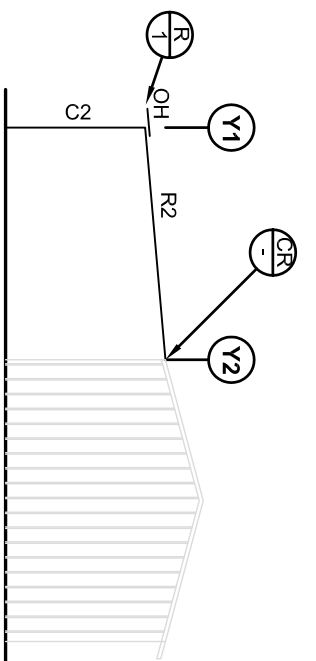
- PURLIN SPACING - P1
- GIRT SPACING - G1 & G2 (WHERE APPLICABLE)
- ACTUAL SPAN
- EAVE HEIGHT
- MEMBER SIZES
- ROOF SLOPE

SIDE ROLLER DOOR MULLIONS ALTHOUGH NOT SHOWN ARE IDENTIFIED AS RMS ON THE ENGINEERING SCHEDULE

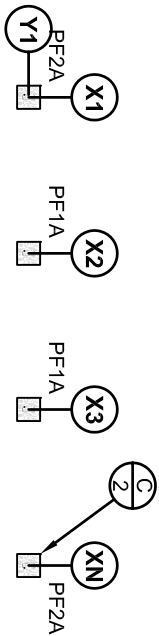
THESE DRAWINGS ARE ALSO TO BE READ IN CONJUNCTION WITH THE CONNECTION DETAIL DRAWINGS (ENG-DELUXE-02)



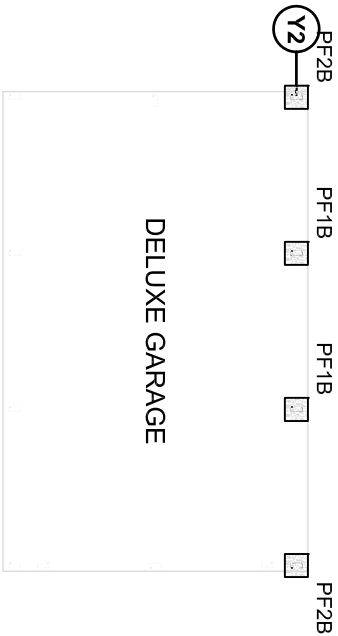
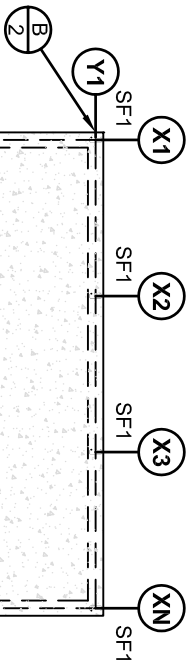
CR CONNECTION
CRANKED ROOF



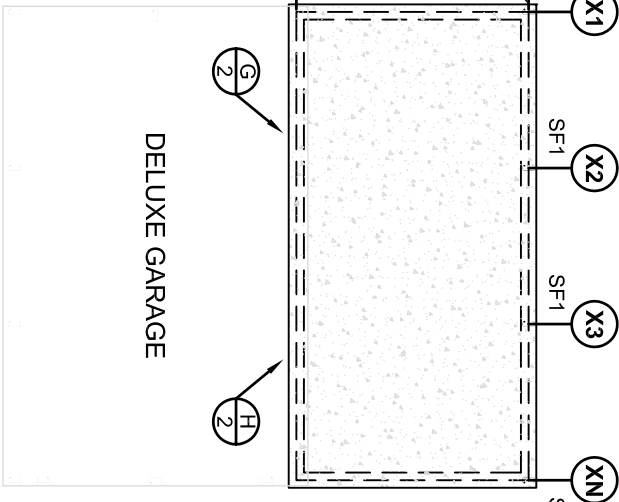
XN END ELEVATION
CRANKED ROOF



Y1 SIDE ELEVATION



X1 END ELEVATION
CRANKED ROOF



SP SLAB FOOTING PLAN

PP PAD FOOTING PLAN

COPYRIGHT 2014
LYSAGHT BUILDING
SOLUTIONS TRADING
AS RANBUILD

REV	DESCRIPTION	DATE	DRAFTER
3	GCFS REVISED ENG	07/03/14	PKR
2	LT REVISED ENGINEERING	06/07/11	SB
1	LT REVISED ENGINEERING	04/07/08	DRL
0	LT REVISED ENGINEERING	12/05/08	DRL

PRODUCT RANGE

DELUXE

I CERTIFY THAT THE DESIGN OF THIS STEEL BUILDING IS IN ACCORDANCE WITH THE REQUIREMENTS AND COMPLIES WITH RELEVANT REGULATIONS WITH ALL AMENDMENTS CURRENT TO DATE.

I, ENGINEER CERTIFY THE PROPOSED STEEL FRAMED BUILDING WILL BE STRUCTURALLY ADEQUATE WHEN CONSTRUCTED TO GOOD BUILDING PRACTICES IN ACCORDANCE TO RANBUILD ASSEMBLY GUIDE AND THESE DRAWINGS.

ALEXANDER FLINOV
MEMBER, CPEng, NREng 1296008 (Structural)
P1203001, CPEng P1202709, 24532283
Bluescope (Lynght Technology)

SCALE

NTS

ENGINEERING CRITERIA	DESCRIPTION
OPEN / ENCLOSED	OPEN
SPAN RANGE	MAX 6.1M
WIND / TERRAIN RANGE	A/3.0 - B/2.5
RDS REF	DAN-R0-B2.5

DRAWING NO.

ENG-DELUXE-01

NOTES

ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS.

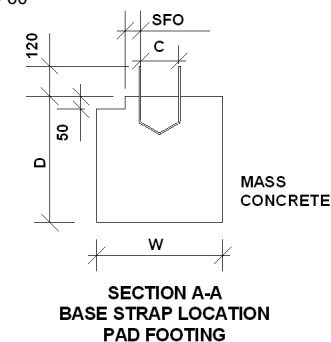
IF SLIDING DOORS ARE INCLUDED ON THIS PROJECT, A STRIP FOOTING OR PAD FOOTINGS WILL BE NECESSARY, AND MUST BE POURED IN CONJUNCTION WITH THIS GARAGE'S SLAB OR FOOTINGS.

SEE ERECTION INSTRUCTIONS FOR PAD DETAILS

SEE FOR ADDITIONAL DET'S NOTES & CONCRETE SPECIFICATION

"C" = 154 FOR SGBS15

"SFO" = 60



CLIENT

Corey Hazelwood

SITE

**644 Lower Marshes Road
APSLEY TAS 7030**

BUILDING

**SUNDOWN DELUXE
9000 SPAN x 3600 EAVE x 12000 LONG
PLUS 4560 ANNEXE**

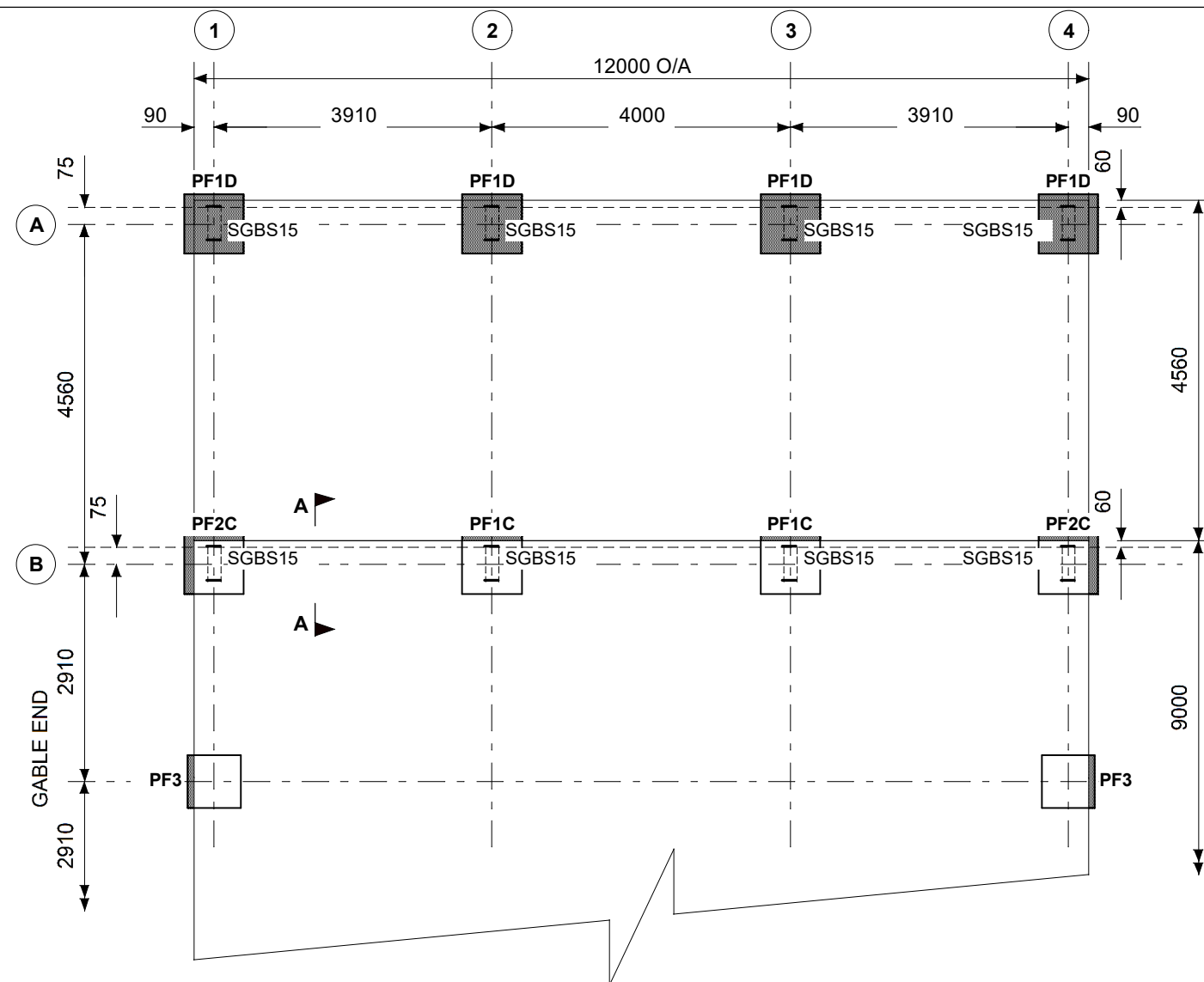
TITLE

PAD FOOTING PLAN

SCALE
NTS

DRAWING NUMBER
374334-PFP


PAGE
1/2



PAD FOOTING LEGEND

BASE STRAP & HD BOLT SCHEDULE

12 REQ'D BASE STRAP SGBS15

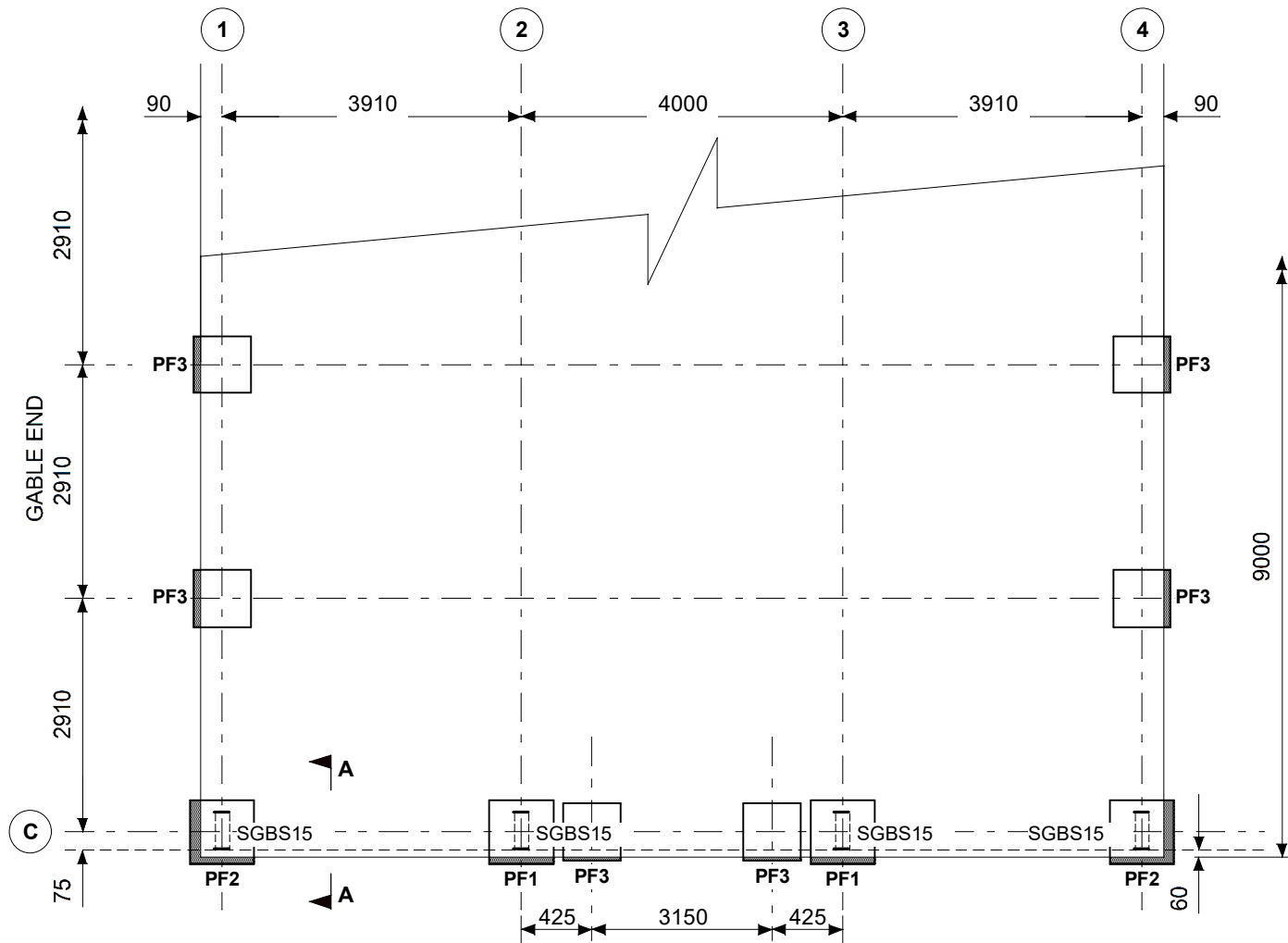
	"W"x"W"x"D"	
PF1	= 600x600x600	 SET DOWN 50mm BELOW TOP OF GARAGE PADS
PF1C	= 700x700x700	
PF1D	= 550x550x550	
PF2	= 500x500x500	
PF2C	= 575x575x575	
PF3	= 400x400x400	

Cont. on page 2



Better sheds. Bigger choice.

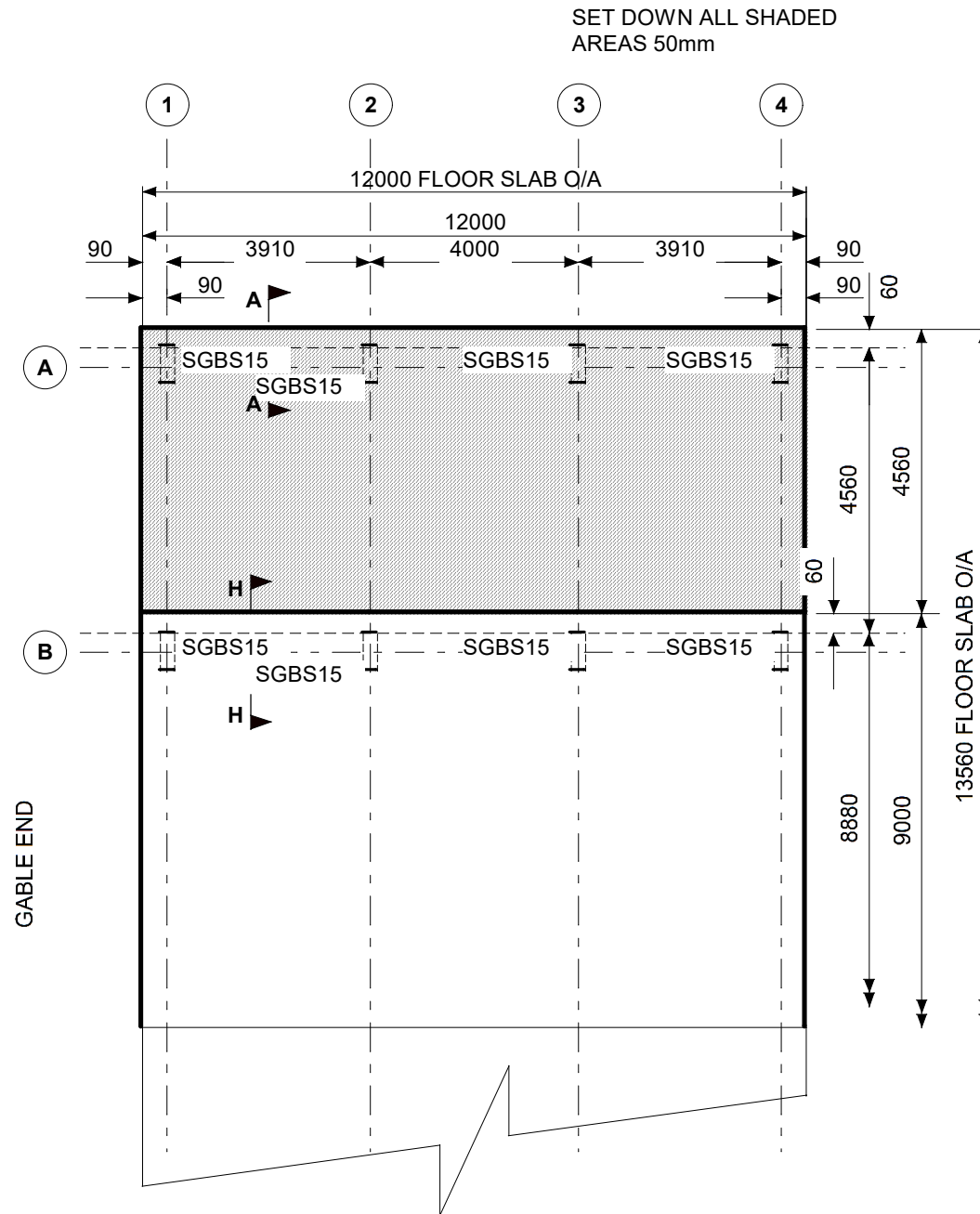
Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD



SCALE
NTS

DRAWING NUMBER
374334-PFP

PAGE
2/2



BASE STRAP & HD BOLT SCHEDULE
12 REQ'D BASE STRAP SGBS15

Cont. on page 2



Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

NOTES

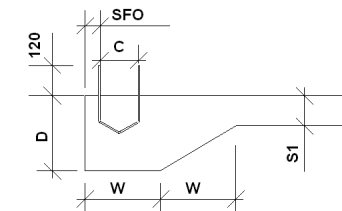
ALL DIMENSIONS SHOULD BE CHECKED AND VERIFIED
PRIOR TO COMMENCEMENT OF ANY WORKS.

IF SLIDING DOORS ARE INCLUDED ON THIS PROJECT, A
STRIP FOOTING OR PAD FOOTINGS WILL BE
NECESSARY, AND MUST BE POURED IN CONJUNCTION
WITH THIS GARAGE'S SLAB OR FOOTINGS.

SEE ERECTION INSTRUCTIONS FOR SECTION & SLAB
DETAILS

SEE FOR ADDITIONAL DET'S NOTES & CONCRETE
SPECIFICATION

"D" = 250 "W" = 250
"C" = 154 FOR SGBS15
"S1" = 100
"SFO" = 60



SECTION A-A
BASE STRAP LOCATION
SLAB

CLIENT

Corey Hazelwood

SITE

644 Lower Marshes Road
APSLEY TAS 7030

BUILDING

SUNDOWN DELUXE
9000 SPAN x 3600 EAVE x 12000 LONG
PLUS 4560 ANNEXE

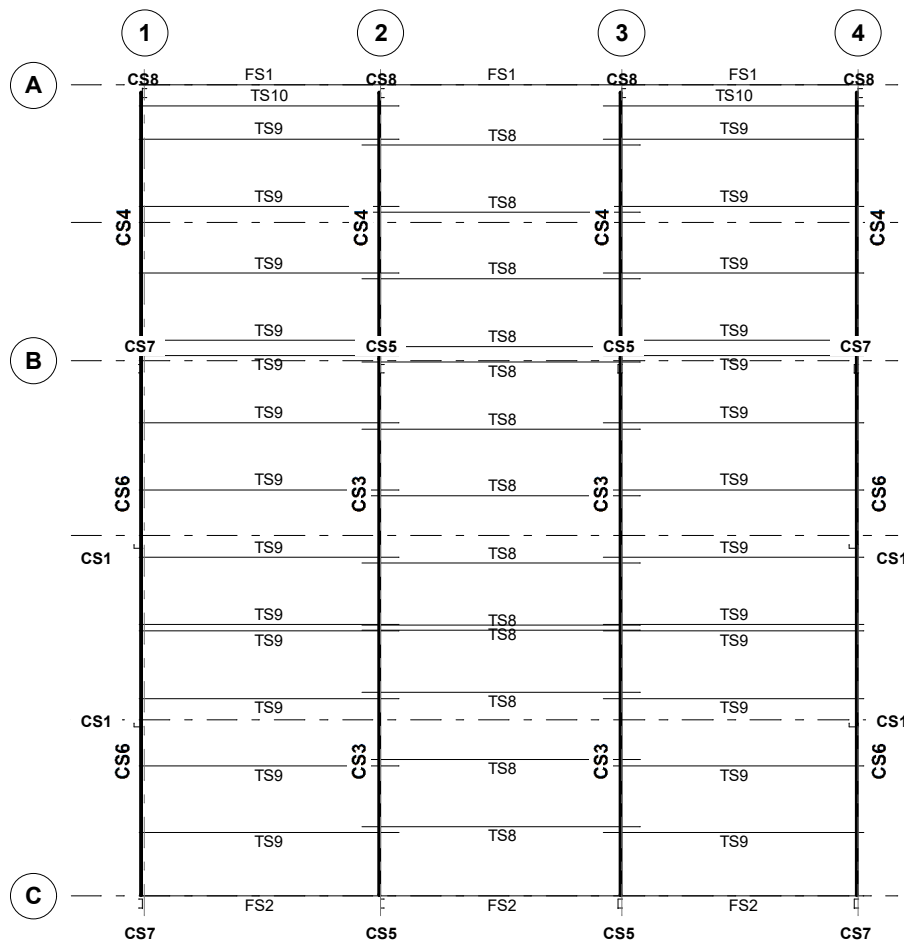
TITLE

RC SLAB PLAN

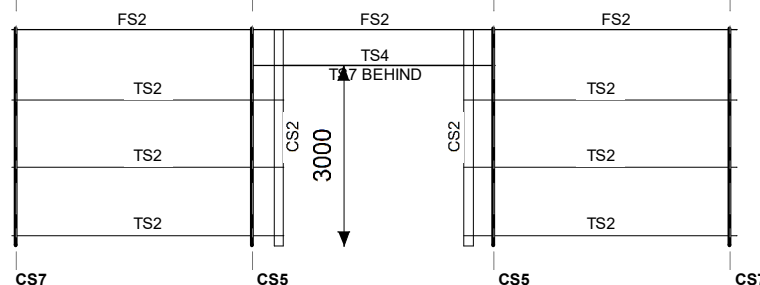
SCALE
NTS

DRAWING NUMBER
374334-RSP

PAGE
1/2



FRAME ROOF PLAN



ELEVATION GRID C

Cont. on page 3

Cont. on page 2

NOTES

ALL MODIFICATIONS REQUESTED ON THE STRUCTURAL ADEQUACY CERTIFICATE MUST BE MADE IN ADDITION TO THIS PLAN

SEE BILL OF MATERIALS FOR MEMBER DESCRIPTION

SEE DRG N° 374334-CLD FOR CLADDING LOCATION DIAGRAM

FOR EXACT BRACING QUANTITIES AND TYPES PLEASE REFER TO THE ENGINEERING SCHEDULE. FOR LOCATING AND FIXING, REFER TO THE ASSEMBLY GUIDE.

IF SLIDING DOORS ARE PRESENT ON THIS PROJECT, REFERENCE TO THE SLIDING DOOR ASSEMBLY GUIDE SUPPLEMENT WILL BE NECESSARY FOR LOCATION OF ANY SLIDING DOOR FRAMING MEMBERS. FOR CONFIRMATION OF SLIDING DOOR AND DOOR TRACK LOCATIONS, REFER TO FLOOR PLAN AND ELEVATION DRAWING.

CLIENT

Corey Hazelwood

SITE

**644 Lower Marshes Road
APSLEY TAS 7030**

BUILDING

**SUNDOWN DELUXE
9000 SPAN x 3600 EAVE x 12000 LONG
PLUS 4560 ANNEXE**

TITLE

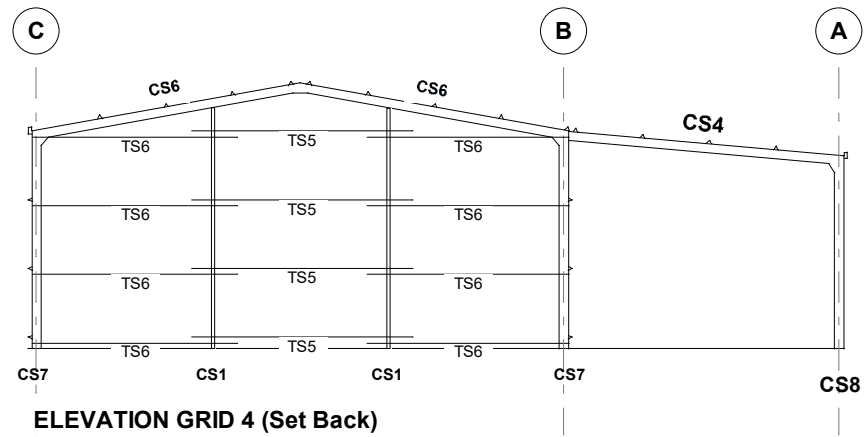
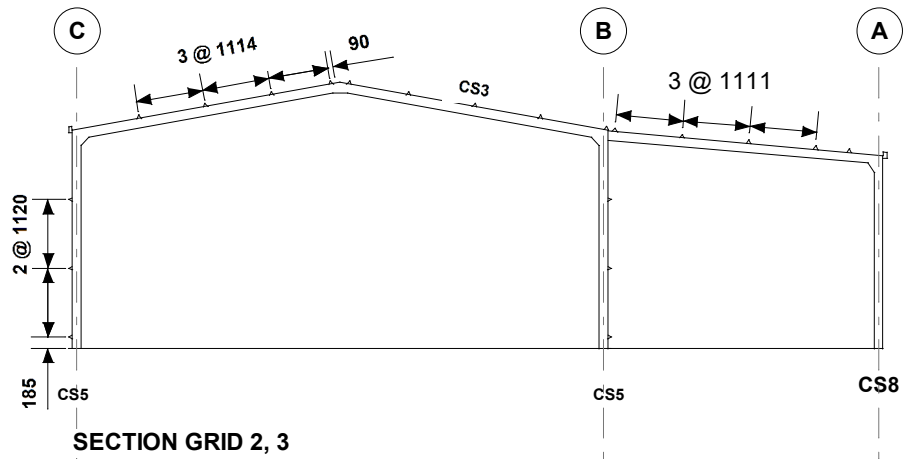
STEELWORK MARKING DIAGRAM

SCALE
A4 SHEET 1:125

DRAWING NUMBER
374334-SMP

PAGE
1/4

Cont. on page 1



Better sheds. Bigger choice.

Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

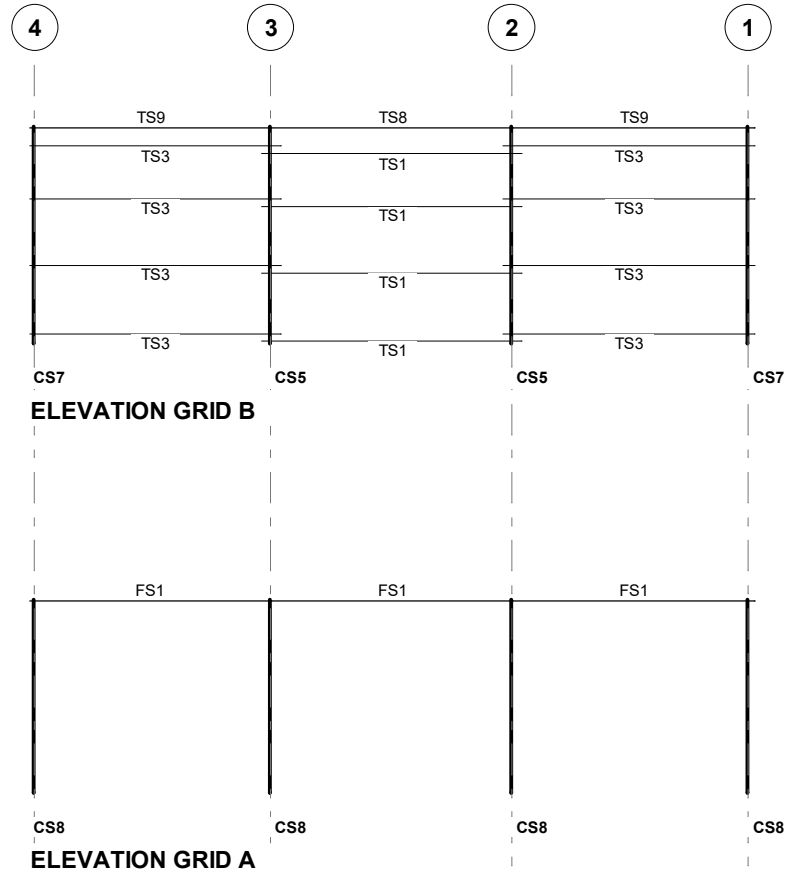
SCALE
A4 SHEET 1:125

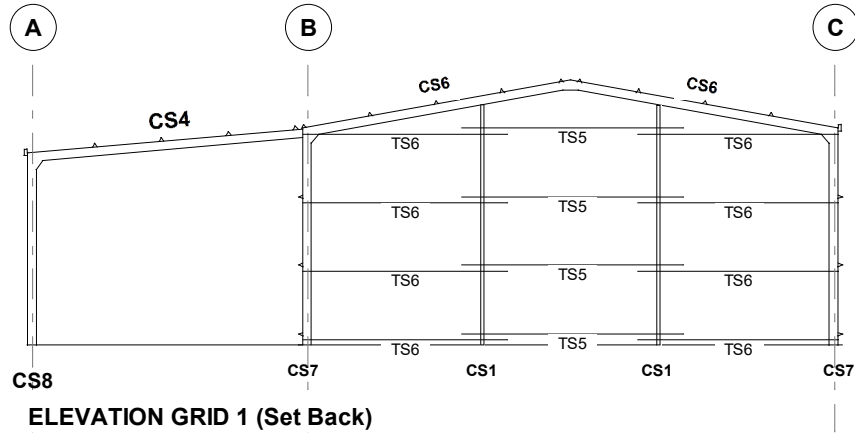
DRAWING NUMBER
374334-SMP

PAGE
2/4

Cont. on page 4

Cont. on page 4





Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

SCALE
A4 SHEET 1:125

DRAWING NUMBER
374334-SMP

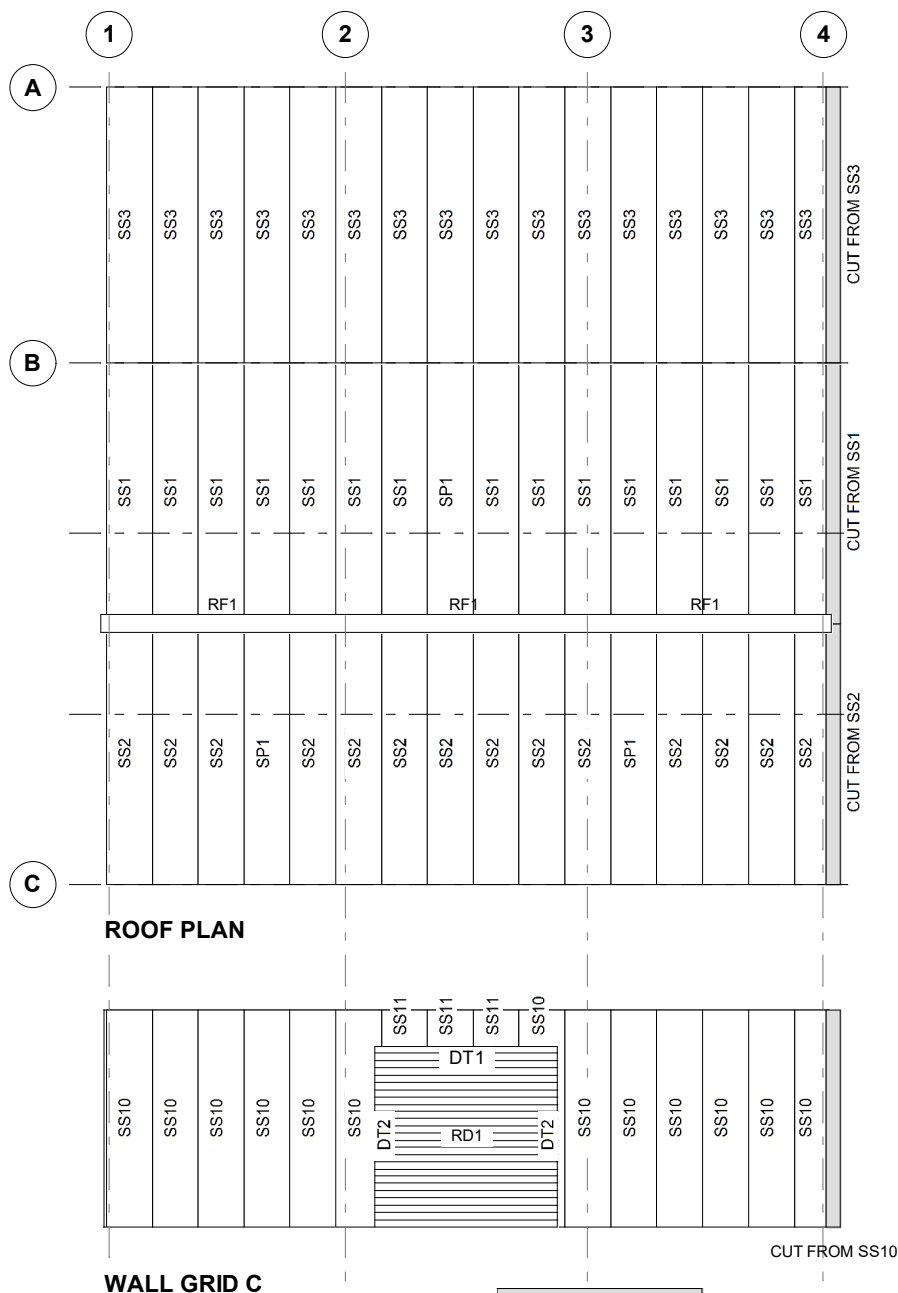
PAGE
4/4

NOTES

SEE BILL OF MATERIALS FOR CLADDING
DESCRIPTION

SEE DRG N° 374334-SMP FOR STEELWORK
MARKING DIAGRAM

Cont. on page 2



Cont. on page 3

CLIENT

Corey Hazelwood

SITE

**644 Lower Marshes Road
APSLEY TAS 7030**

BUILDING

**SUNDOWN DELUXE
9000 SPAN x 3600 EAVE x 12000 LONG
PLUS 4560 ANNEXE**

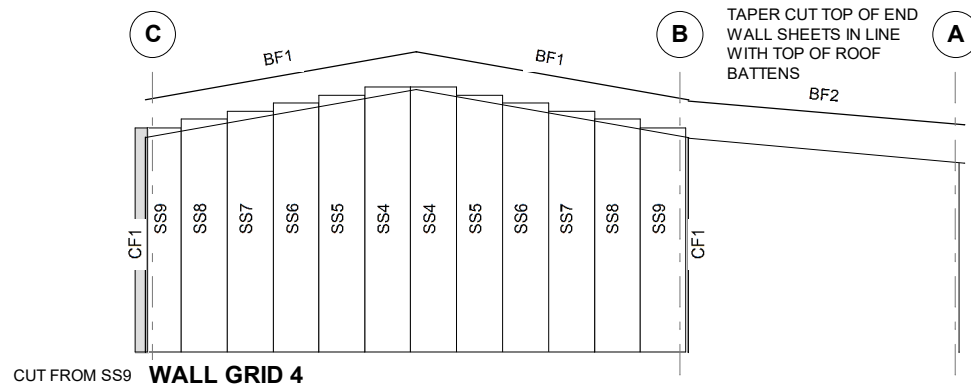
TITLE

CLADDING LOCATION DIAGRAM

SCALE
A4 SHEET 1:125

DRAWING NUMBER
374334-CLD

PAGE
1/3



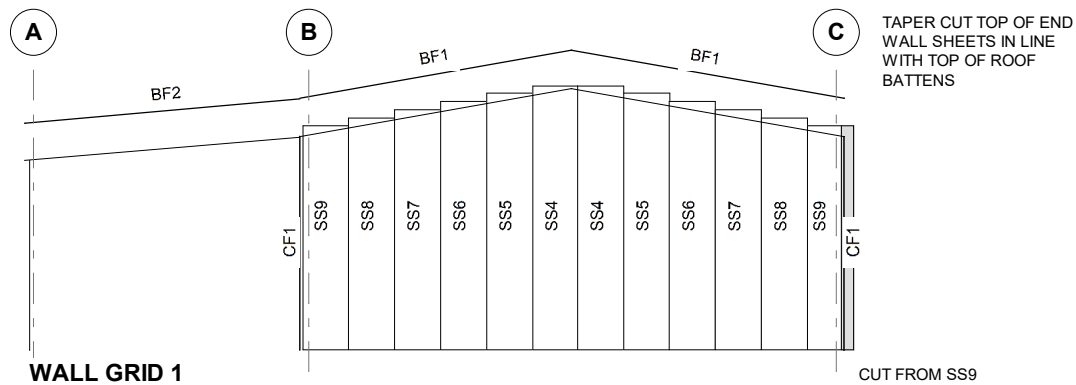
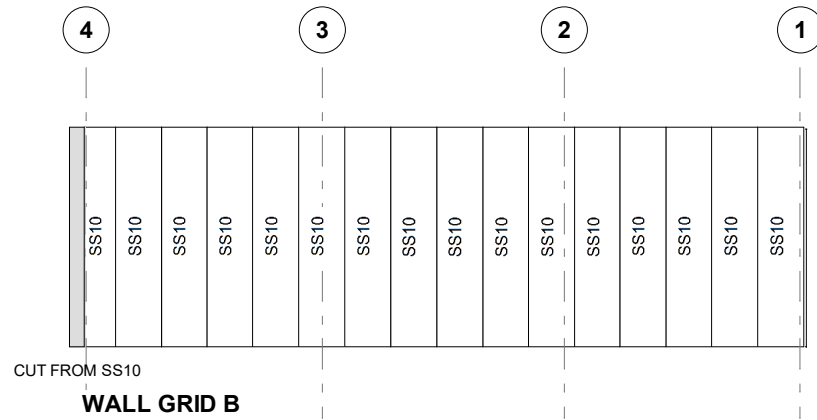
Better sheds. Bigger choice.

Copyright 2017
Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

SCALE
A4 SHEET 1:125

DRAWING NUMBER
374334-CLD

PAGE
2/3





SMEEKES DRAFTING PTY LTD

ABN 89 056 706 640

12 Warwick Street
HOBART TAS 7000

Phone: (03) 62 34 6185
Mobile: 0418 352 503

Email: admin@smeekesdrafting.com
www.smeekesdrafting.com

Building Designer Licence Nos. 723026951, 619068752 & CC6621

19 June 2020

Central Highlands Council
Development & Environmental Services
Alexander Street, Bothwell, TAS 7030

Re: Response to RFI (DA 2020 / 00033)
Proposed Change of Use – Farm Shed to Distillery: 644 Lower Marshes Road, Apsley

Dear Kathy,

Can we please amend the change of use from Farm Shed to Whiskey Distillery to Farm Shed to Distillery.

Please find further information in support of the application. Our client is seeking a change of use from an existing colorbond farm shed (refer to shed plans by Ranbuild – Drawing number 374334-GA for construction and engineering details) to distillery with online sales and postage.

The distillery will be staffed by one – two people with hours of operation between 9am – 5pm. When distilling some earlier starts and late finishes may be required. On average, the distillery will operate one week a month.

The distilling equipment is 1x 100L copper pot still, 4x 1000L fermentation tanks, 1x 1300L mash ton and an existing farm tractor for loading & unloading.

Vehicle Movements:

Staff Vehicle – One vehicle on average seven times per month when the distillery is operating.

Delivery vehicles – One utility or small truck delivery vehicle once per eight weeks.

Visitors will be by booking only with the primary distribution via online sales and postage.

The Cellar door can also be visited via booking only with light prepacked snacks, water and soft drink being provided at the same time. Currently no signage will be visible from the street.

In response to the performance criteria P1 of standard 26.3.3 for Discretionary Use in the Rural Resource Zone;

- (a) Existing agricultural use – Mixed farming.



- (b) Proposed non-agricultural use – Distillery with primary online sales and distribution. Both uses benefit as the mixed farming produces ingredients for the distillery and the by-product from the distilling can be used as feed for livestock.
- (c) Refer to the Smeeke's Drafting Drawing HAZELWOOD-001 & 002 for site setback and separation between proposed and existing agricultural use zones.
- (d) As the proposed distillery is wholly contained within the existing farm shed and no visible signage from the street, there is no adverse impacts on the amenity from the existing or likely agricultural use.

Please refer to the below images on the existing farm shed and surrounding area.

Existing Aerial Image (Source: Google Maps)



Existing Farm Shed





View from Farm Shed to Lower Marshes Road



View from Farm Shed to Existing Residential Dwelling at 644 Lower Marshes Road, Apsley



Sincerely,

Roland Smeekes
(Director)